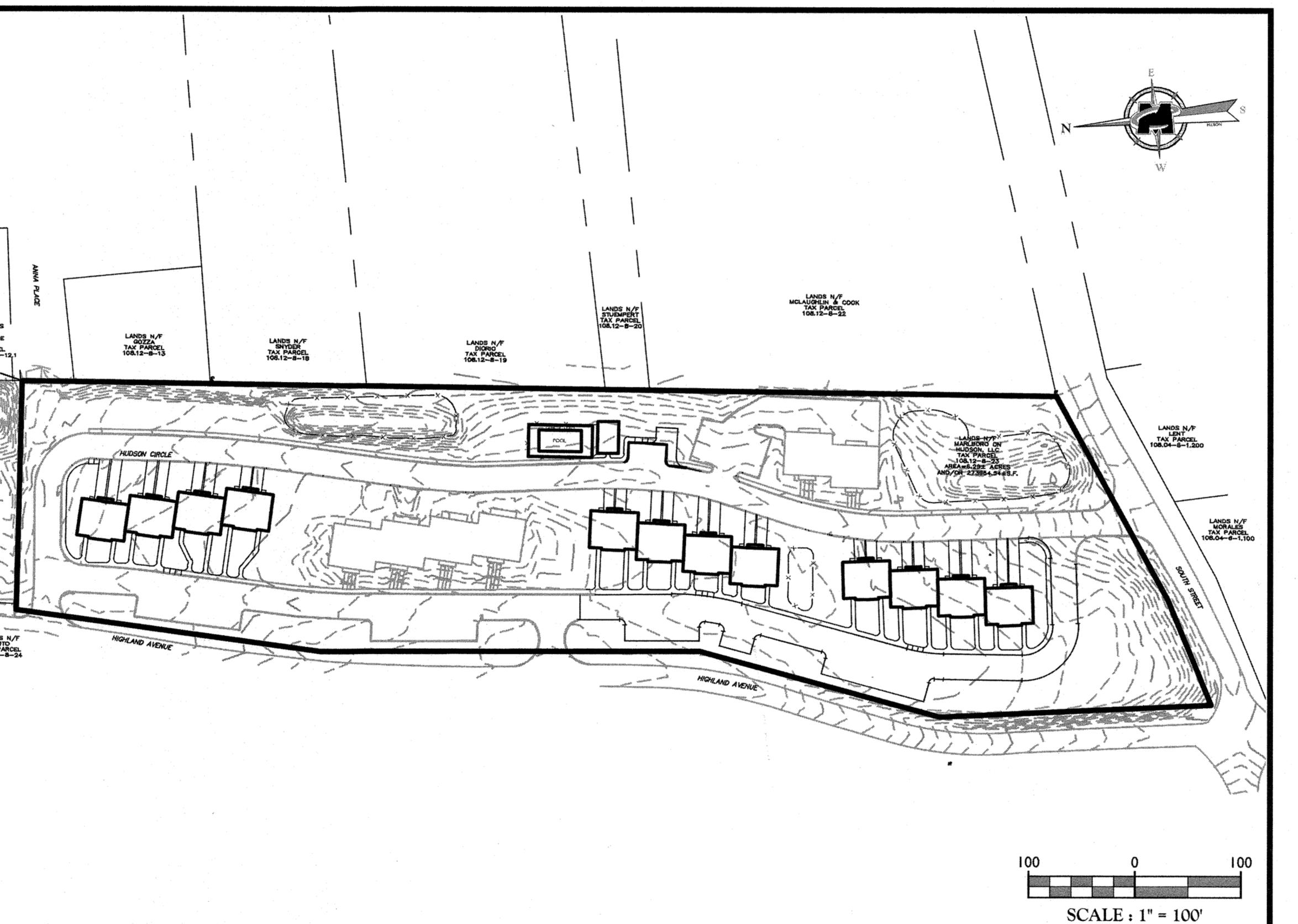


SCALE: 1"=1,000'

**SITE PLANS  
FOR  
MARLBORO ON HUDSON  
SECTION 108.12, BLOCK 8, LOT 23  
TOWN OF MARLBOROUGH  
ULSTER COUNTY, NEW YORK**



**KEY & ZONING MAP**

OWNER/APPLICANT: HIGHLAND AVENUE MARLBORO, LLC.  
ADDRESS: 11 RACQUET ROAD, NEWBURGH, NY 12550  
PHONE: (845) 567-9000

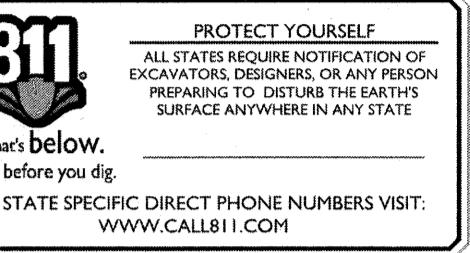
INDEX OF SHEETS		
SHT. No.	DESCRIPTION	LATEST REVISION
1	COVER SHEET	
2	EXISTING CONDITIONS AND DEMOLITION PLAN	
3	LAYOUT AND DIMENSION PLAN	
4	GRADING PLAN	
5	UTILITY PLAN	
6	SOIL EROSION AND SEDIMENT CONTROL PLAN	
7	SOIL EROSION AND SEDIMENT CONTROL DETAILS	
8	LANDSCAPE PLAN	
9	LIGHTING PLAN	
10-12	CONSTRUCTION DETAILS & LANDSCAPE DETAILS	

GENERAL INFORMATION

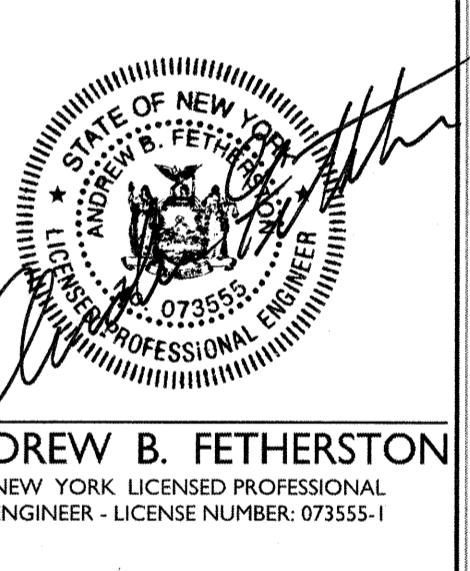
1. BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS TAKEN FROM A PLAN ENTITLED "AS-BUILT SURVEY FOR HIGHLAND AVENUE MARLBORO, LLC" PREPARED BY MASER CONSULTING, P.A. AND PREPARED FOR MARLBORO ON HUDSON, LLC, DATED MARCH 18, 2018.
2. THE HORIZONTAL DATUM IS RELATIVE TO THE NEW YORK STATE PLANE COORDINATE SYSTEM EAST ZONE AND ADJUSTED TO NAD 1983. THE VERTICAL DATUM IS RELATIVE TO N.A.V.D. 1988.
3. NO 100 YEAR FLOOD PLAINS ARE KNOWN TO EXIST ON THE SITE PER THE FLOOD INSURANCE RATE MAP 36111C0905E, DATED SEPTEMBER 25, 2009 PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
4. MATERIALS, WORKMANSHIP, AND CONSTRUCTION FOR THE SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH:

  - A. NEW YORK STATE DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS", 2002; AS SUPPLEMENTED.
  - B. CURRENT PREVAILING MUNICIPAL, COUNTY, AND/OR STATE AGENCY SPECIFICATIONS, STANDARDS, CONDITIONS, AND REQUIREMENTS.
  - C. CURRENT PREVAILING UTILITY COMPANY/AUTHORITY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
  - D. CURRENT MANUFACTURER SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.

5. WATER SERVICE TO BE PROVIDED FROM EXISTING ON SITE WATER MAIN PREVIOUSLY INSTALLED ON HUDSON CIRCLE.
6. SANITARY SEWER SERVICE SHALL CONNECT TO THE EXITING 8" GRAVITY LINE PREVIOUSLY INSTALLED ON HUDSON CIRCLE. THE PUMP STATION ON SITE WAS INSPECTED BY MASER CONSULTING P.A. ON APRIL 25, 2018 AND FOUND TO BE FULLY OPERATIONAL. THE FLOATS SHALL BE RESET ACCORDING TO THE SITE PLAN. ANY ADDITIONAL PROPOSED SEWER MAIN EXTENSIONS AND MANHOLE LOCATIONS ARE SUBJECT TO MUNICIPAL REVIEW AND APPROVAL. ACCORDING TO MUNICIPAL AND ULSTER COUNTY HEALTH DEPARTMENT REGULATIONS, PIPE MATERIALS SHALL BE PVC SDR-35, EXCEPT AS NOTED OTHERWISE ON THE PLANS. EXCEPT WHERE SHALLOWER DEPTHS ARE PERMITTED BY THE MUNICIPALITY OR UTILITY AUTHORITY, SEWER LINES, INCLUDING FORCE MAINS AND LATERALS, SHALL BE INSTALLED TO PROVIDE A MINIMUM 4 FEET OF COVER FROM THE TOP OF PIPE TO PROPOSED GRADE.
7. SANITARY SEWERS SHALL BE SEPARATED FROM WATER MAINS BY AT LEAST 10 FEET HORIZONTALLY. IF SUCH SEPARATION IS NOT POSSIBLE, THE PIPES SHALL BE IN SEPARATE TRENCHES WITH THE SANITARY SEWER AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN. WHERE APPROPRIATE SEPARATION IS NOT POSSIBLE, THE SEWER SHALL BE ENCASED IN CONCRETE, OR CONSTRUCTED OF DUCTILE-IRON-PIPE USING MECHANICAL OR SLIP ON JOINTS, FOR A DISTANCE OF 10 FEET ON EITHER SIDE OF THE CROSSING. IN ADDITION, ONE FULL LENGTH OF SEWER PIPE SHOULD BE LOCATED SO BOTH JOINTS ARE AS FAR AWAY AS POSSIBLE FROM THE WATER LINE.
8. GAS, ELECTRIC, LIGHTING, CABLE, TELEVISION, AND ELECTRICAL SERVICE PLANS, IF REQUIRED, SHALL BE PREPARED BY THE RESPECTIVE UTILITY COMPANIES THAT SERVICE THE AREA PRIOR TO SITE CONSTRUCTION AND SHALL BE INSTALLED PER ORDINANCE REQUIREMENTS.
9. TELEPHONE, ELECTRIC, AND GAS LINES WILL BE INSTALLED UNDERGROUND CROSSINGS OF PROPOSED PAVEMENTS WILL BE INSTALLED PRIOR TO THE CONSTRUCTION OF PAVEMENT BASE COURSE.
10. UTILITY RELOCATIONS SHOWN HEREON, IF ANY, ARE FOR INFORMATIONAL PURPOSES ONLY AND MAY NOT REPRESENT ALL REQUIRED UTILITY RELOCATIONS. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING AND/OR COORDINATING ALL REQUIRED UTILITY RELOCATIONS IN COOPERATION WITH THE RESPECTIVE UTILITY COMPANY/AUTHORITIES.
11. STORM SEWERS SHALL BE CLASS III (OR HIGHER IF NOTED) REINFORCED CONCRETE PIPE (RCP) WITH "O" RING GASKETS, HIGH DENSITY POLYETHYLENE PIPE (HDPE) OR APPROVED EQUAL AS NOTED. PROPER PIPE COVERAGE SHALL BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION. PIPE LENGTHS SHOWN HEREON ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
12. REFUSE AND RECYCLABLES SHALL BE STORED ON-SITE, IN DESIGNATED LOCATIONS.
13. TRAFFIC SIGNAGE AND STRIPING SHALL CORRESPOND TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
14. THESE ARE FINAL SITE PLANS AND UNLESS SPECIFICALLY NOTED ELSEWHERE HEREON, IS NOT A SURVEY.
15. BUILDING FOOTPRINT DIMENSIONS SHOWN HEREON ARE APPROXIMATE. FINAL BUILDING FOOTPRINT DIMENSIONS FOR EACH BUILDING SHALL BE FURNISHED ON THE INDIVIDUAL PLOT PLANS/ARCHITECTURAL PLANS AT THE TIME OF APPLICATION FOR A BUILDING PERMIT. ALL STRUCTURES SHALL CONFORM TO THE APPROVED BULK ZONING REQUIREMENTS.
16. DO NOT SCALE DRAWINGS AS THEY PERTAIN TO ADJACENT AND SURROUNDING PHYSICAL CONDITIONS, BUILDINGS, STRUCTURES, ETC. THEY ARE SCHEMATIC ONLY, EXCEPT WHERE DIMENSIONS ARE SHOWN THERETO.
17. THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL APPROVALS REQUIRED HAVE BEEN OBTAINED. ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED AND THE DRAWINGS HAVE BEEN STAMPED "ISSUED FOR CONSTRUCTION". THIS SHALL INCLUDE APPROVAL OF ALL CATALOG CUTS, SHOP DRAWINGS AND/OR DESIGN CALCULATIONS AS REQUIRED BY THE PROJECT OWNER AND/OR MUNICIPALITY.
18. EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO EXCAVATION WHERE EXISTING UTILITIES ARE TO BE CROSSED BY PROPOSED CONSTRUCTIONS, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING INVERTS, MATERIALS, AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS. THE CONTRACTOR SHALL NOTIFY THE UNDER SIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON. SUCH CONDITIONS COULD RENDER THE DESIGNS HEREON INAPPROPRIATE OR INEFFECTIVE.
19. THIS SET OF PLANS DOES NOT DEPICT ENVIRONMENTAL CONDITIONS OR A CERTIFICATION/WARRANTY REGARDING THE PRESENCE OR ABSENCE OF ENVIRONMENTALLY IMPACTED SITE CONDITIONS. MASER CONSULTING HAS PERFORMED NO EXPLORATORY OR TESTING SERVICES, INTERPRETATIONS, CONCLUSIONS OR OTHER SITE ENVIRONMENTAL SERVICES RELATED TO THE DETERMINATION OF THE POTENTIAL FOR CHEMICAL, TOXIC, RADIACTIVE OR OTHER TYPE OF CONTAMINANTS AFFECTING THE PROPERTY AND THE UNDERSIGNED PROFESSIONAL IS NOT QUALIFIED TO DETERMINE THE EXISTENCE OF SAME. SHOULD ENVIRONMENTAL CONTAMINATION OR WASTE BE DISCOVERED, THE OWNER AND CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LAWS AND REGULATIONS.
20. THE CONTRACTOR IS RESPONSIBLE FOR PROJECT SAFETY, INCLUDING PROVISION OF ALL APPROPRIATE SAFETY DEVICES AND TRAINING REQUIRED.
21. INFORMATION SHOWN HEREON IS INCORPORATED WITH THE CONTENTS OF THE FOLLOWING REPORTS:
  - "STORMWATER POLLUTION PREVENTION PLAN (SWPPP) PREPARED FOR MARLBORO ON HUDSON, PREPARED BY MASER CONSULTING, P.A. DATED JUNE 2018.
22. THESE GENERAL NOTES SHALL APPLY TO ALL SHEETS IN THIS SET.



DESCRIPTION	REVISION PER PLANNING BOARD COMMENTS
DATE DRAWN BY	CPM
REV	1
DATE	8/10/2018
REVISION	073555-I



SITE PLAN  
FOR  
MARLBORO ON  
HUDSON

SECTION 108.12  
BLOCK 8  
LOT 23

TOWN OF MARLBOROUGH  
ULSTER COUNTY  
NEW YORK STATE

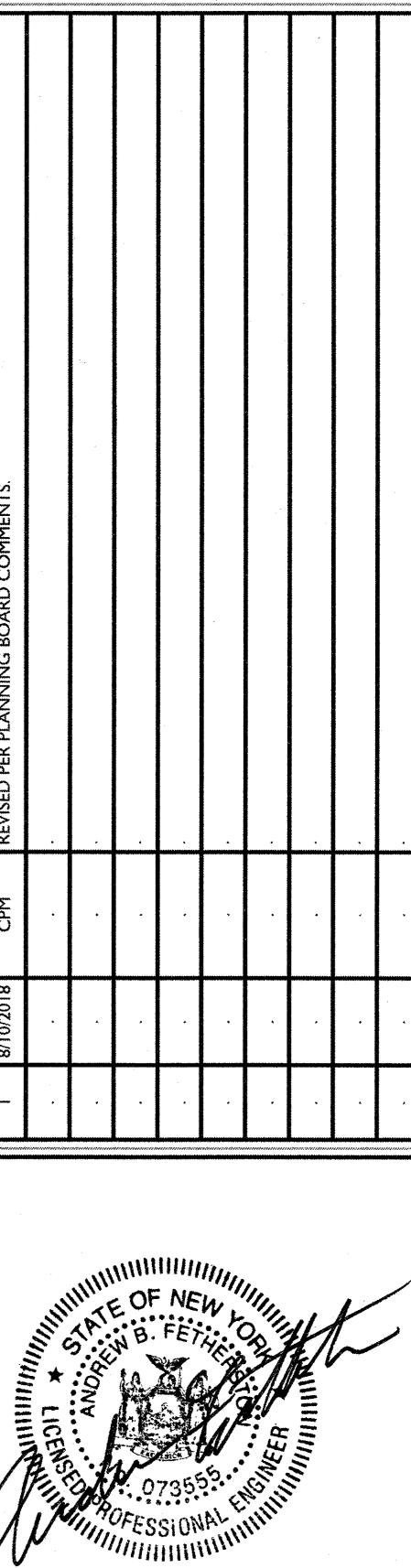
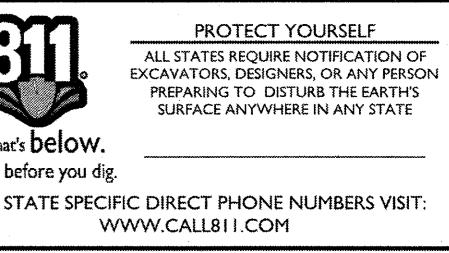
NEW WINDSOR OFFICE  
555 Hudson Valley Avenue  
Suite 101  
New Windsor, NY 12553  
Phone: 845.564.4495  
Fax: 845.567.1025

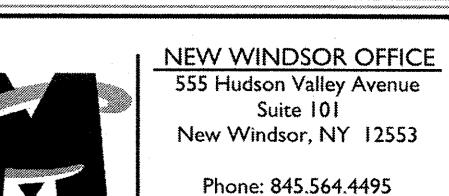
SCALE: 06/18/2018 DRAWN BY: CPM CHECKED BY: ABF  
PROJECT NUMBER: 030218F DRAWING NAME: C-CVER

SHEET NUMBER: 01 of 12

COVER SHEET

Ref Bank, NJ	Lehigh Valley, PA
Clinton, NJ	Philadelphia, PA
Hamilton, NJ	Pittsburgh, PA
Egg Harbor, NJ	Orlando, FL
Jersey City, NJ	Houston, TX
Mc. Arlington, NJ	New Windsor, NY
Mt. Laurel, NJ	Westchester, NY
Albany, NY	Norfolk, VA
New Windsor, NY	Charlotte, NC

State of N.Y. Certificate of Authorization: 000867 / 0008821  
Copyright © 2018 Maser Consulting. All Rights Reserved. This drawing and all the information contained herein is authorized for use only by the party for whom it was prepared. It is the property of Maser Consulting, P.A. and may not be copied, reproduced, disclosed, distributed, or relied upon for any other purpose without the express written consent of Maser Consulting, P.A.

ANDREW B. FETHERSTON  
NEW YORK LICENSED PROFESSIONAL  
ENGINEER - LICENSE NUMBER: 073551-1

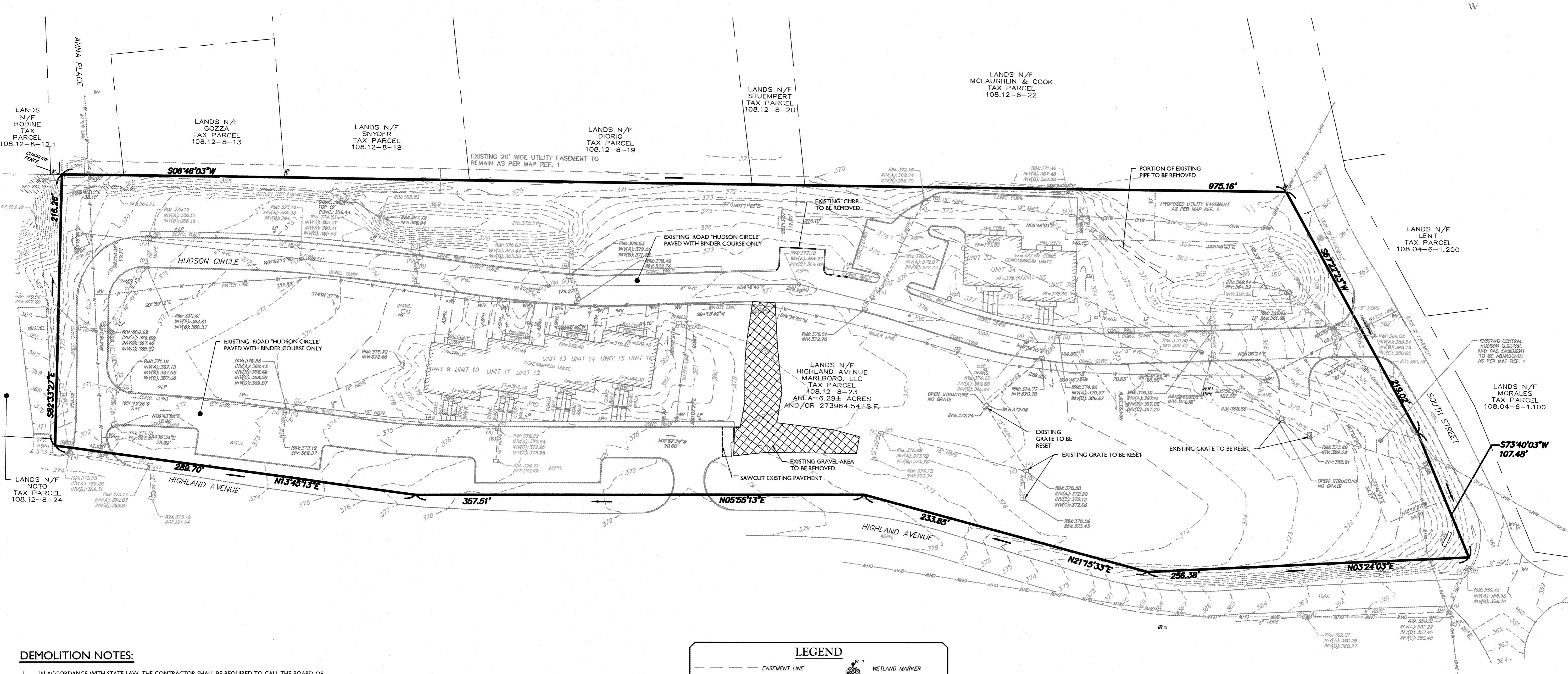
**SITE PLAN**
**FOR  
MARLBOROUGH  
HUDSON**
**SECTION 108.12  
BLOCK 8  
LOT 23**
**TOWN OF MARLBOROUGH  
ULSTER COUNTY  
NEW YORK STATE**


NEW WINDSOR OFFICE  
555 Haverstraw Valley Avenue  
Suite 100  
New Windsor, NY 12553  
Phone: 845.564.4495  
Fax: 845.567.1025

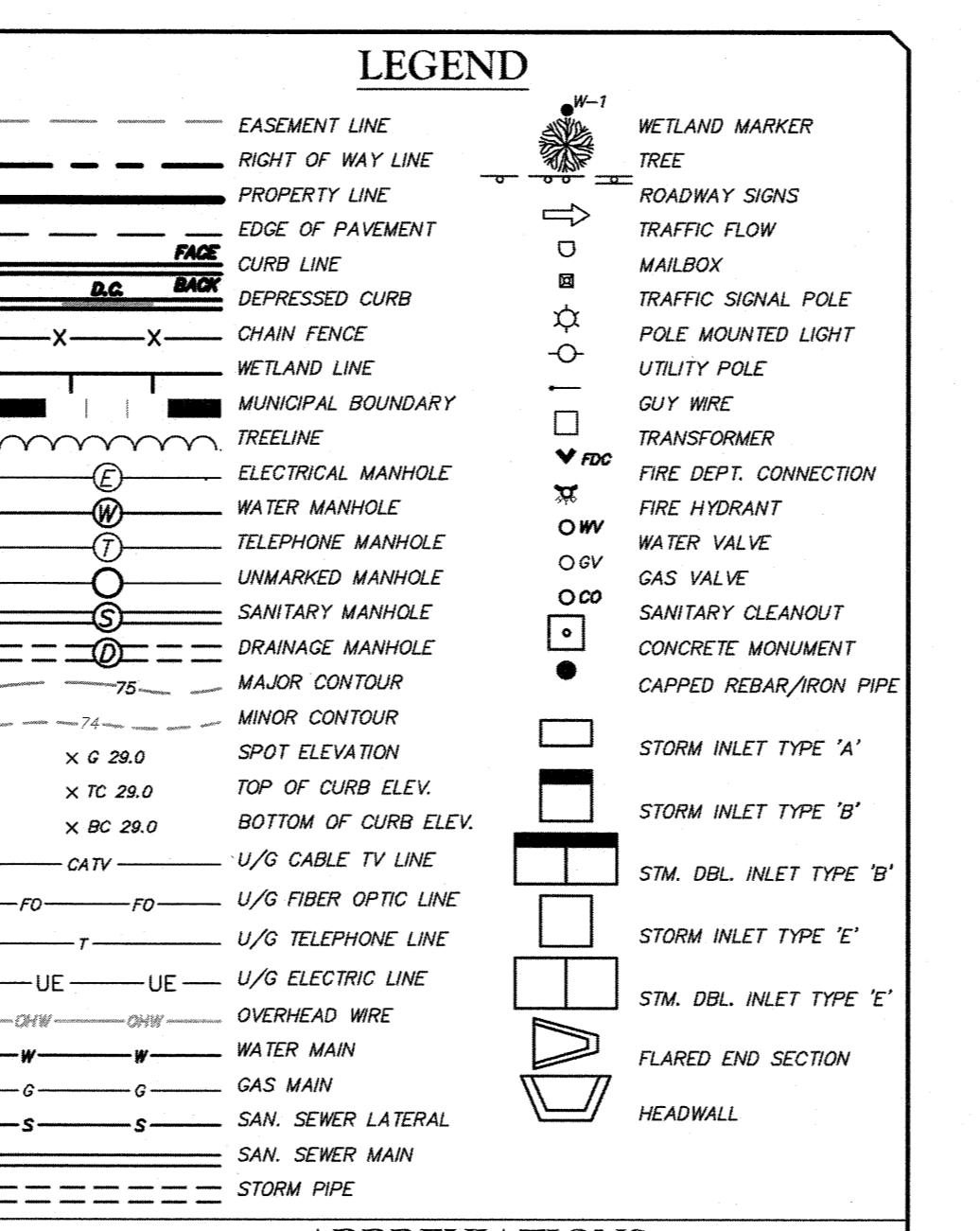
SCALE: 06/18/018 DRAWN BY: C.P.M. CHECKED BY: A.B.F.  
PROJECT NUMBER: 030216F DRAWING NAME: C-DEMO

SHEET TITLE: SITE DEMOLITION PLAN

SHEET NUMBER: 02 of 12


**DEMOLITION NOTES:**

- IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR SHALL BE REQUIRED TO CALL THE BOARD OF PUBLIC UTILITIES ONE CALL DAMAGE PROTECTION SYSTEM FOR UTILITY MARK OUT IN ADVANCE OF ANY EXCAVATION. DIG SAFELY, NEW YORK, 1-800-962-7982 OR 811, A PRE-DEMOLITION CONFERENCE WILL NEED TO BE ARRANGED WITH DIG SAFELY, NEW YORK AND MUST BE HELD A MINIMUM OF 7 DAYS BEFORE THE START OF ANY DEMOLITION.
- CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING SITE IMPROVEMENTS AND UTILITIES. ALL DISCREPANCIES SHALL BE IDENTIFIED TO THE ENGINEER IN WRITING.
- ALL DEMOLITION DEBRIS TO BE REMOVED BY CONTRACTOR IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.
- ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN ACCORDANCE WITH THESE PLANS, AS WELL AS ALL FEDERAL, STATE AND LOCAL REGULATIONS. ANY DISCREPANCIES OR DEVIATIONS SHALL BE IDENTIFIED BY THE CONTRACTOR TO MASER CONSULTING, P.A. IN WRITING FOR RESOLUTION PRIOR TO INITIATION OF SITE ACTIVITY.
- PRIOR TO STARTING ANY DEMOLITION CONTRACTOR IS RESPONSIBLE FOR TO:
  - ENSURING COPIES OF ALL PERMITS AND APPROVALS MUST BE MAINTAINED ON SITE AND AVAILABLE FOR REVIEW (SEE "EROSION AND SEDIMENT CONTROL PLAN" THIS DRAWING SET).
  - INSTALLING THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE.
  - ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER, OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE. THE CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES.
  - DEMOVING AND REMOVING ALL EXISTING SYSTEMS, INCLUDING ALL SYSTEMS THAT ARE NOT BEING REMOVED DURING ANY DEMOLITION ACTIVITIES.
  - FAMILIARIZING THEMSELVES WITH THE APPLICABLE UTILITY SERVICE PROVIDER AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING PROVIDER AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION REQUIRED FOR THE PROJECT. THE CONTRACTOR SHALL PROVIDE THE OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTION AND UTILITY COMPANY REQUIREMENTS.
  - COORDINATION WITH UTILITY COMPANIES AND TOWN OF MARLBOROUGH REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES.
  - MASER CONSULTING, P.A. IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. CONTRACTOR IS TO PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL THE O.S.H.A. REQUIREMENTS, TO ENSURE PUBLIC AND CONTRACTOR SAFETY.
  - THE CONTRACTOR SHALL PROVIDE ALL THE "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE DEMOLITION CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS THAT ARE TO REMAIN AS A RESULT OF HIS ACTIVITIES. ALL REPAIRS SHALL USE NEW MATERIAL. THE REPAIRS SHALL RESTORE THE ITEM TO THE PRE-DEMOLITION CONDITION.
  - THE CONTRACTOR SHALL PERFORM EARTH MOVEMENT ACTIVITIES, DEMOLITION AND REMOVAL OF ALL FOUNDATION WALLS, FOOTINGS, AND OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE IN ACCORDANCE WITH DIRECTION BY OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER.



40 0 40 80  
SCALE: 1" = 40'  
NORTH  
E  
S  
W

**MAP REFERENCE:**

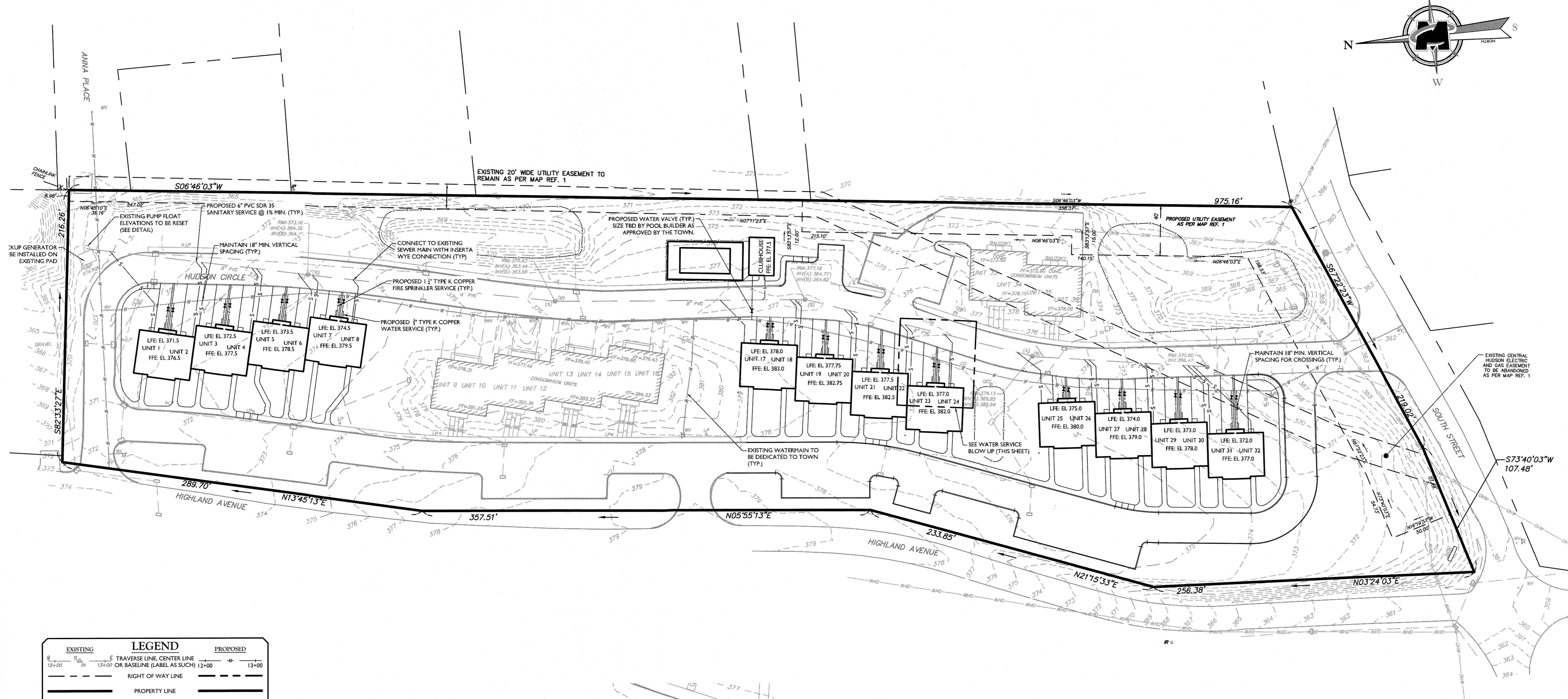
- MAP PREPARED BY MASER CONSULTING, P.A. AND ENTITLED "FINAL SITE PLAN, CONDOMINIUM PLAN FOR PINE VIEW CORNERS, SECTION 108.12, BLOCK 8, LOT 23, TOWN OF MARLBOROUGH, ULSTER COUNTY, STATE OF NEW YORK" DATED 4/8/2004

**NOTE:**

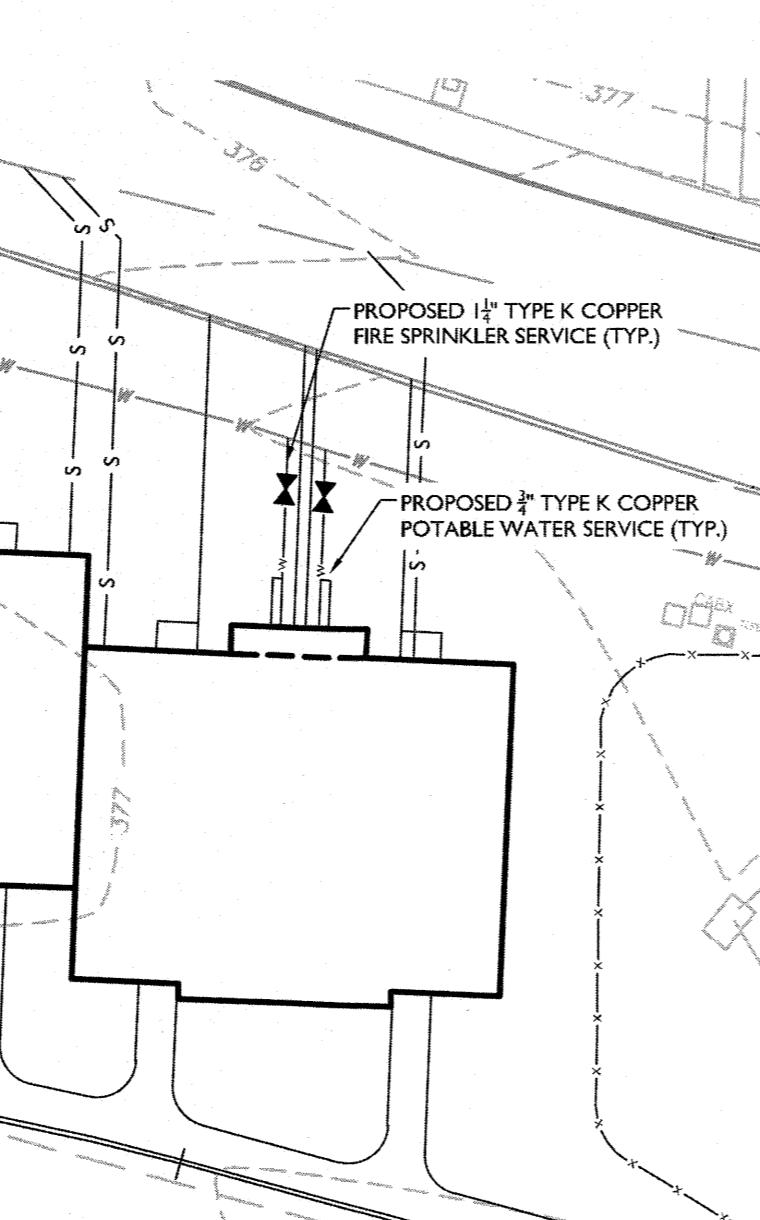
- BOUNDARY INFORMATION TAKEN FROM MAP REFERENCE ENTITLED "AS-BUILT SURVEY FOR HIGHLAND AVENUE MARLBOROUGH, LLC" BY MASER CONSULTING, P.A. DATED APRIL 18, 2018







LEGEND	
EXISTING	PROPOSED
—	—
TRAVERSE LINE, CENTER LINE	12:00 OR BASELINE (LABEL AS SUCH)
RIGHT OF WAY LINE	13:00
PROPERTY LINE	—
EDGE OF PAVEMENT	—
FACE	—
BACK	—
DEPRESSED CURB	—
SIDEWALK	—
FENCES	—
TREELINE	—
ROADWAY SIGNS	—
WETLAND LINE	—
MUNICIPAL BOUNDARY LINE	—
'B' INLET	—
'E' INLET	—
STORM MANHOLE	—
SANITARY MANHOLE	—
FLARED END SECTION	—
HEADWALL	—
HYDRANT	—
POLE MOUNTED LIGHT	—
CABLE TV CONDUIT	—
WATER MAINSERVICE	—
GAS MAIN	—
TELEPHONE CONDUIT	—
ELECTRIC CONDUIT	—
SANITARY PIPE	—
STORM PIPE	—



WATER SERVICE BLOW UP

SCALE: 1" = 20'  
20 0 20 40

#### HEALTH DEPARTMENT NOTES:

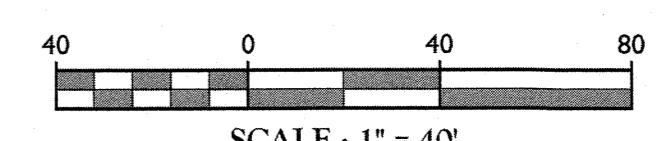
1. NO LOTS SHALL BE SUBDIVIDED WITHOUT ULSTER COUNTY HEALTH DEPARTMENT APPROVAL.
2. NO MORE THAN A SINGLE FAMILY DWELLING PER LOT.
3. NO ROOF, CELLAR OR FOOTING GRAINS TO BE DISCHARGED INTO SEWAGE DISPOSAL SYSTEM.
4. NO BASEMENT FIXTURES ARE PERMITTED WITHOUT SPECIAL SEWAGE DESIGN.
5. INSTALL A CLEANOUT AT ALL SANITARY BENDS.

#### CONSTRUCTION NOTES:

1. THE CONTRACTOR SHALL LOCATE AND VERIFY IN THE FIELD ALL UTILITIES - GAS, WATER, ELECTRICAL BEFORE THE START OF CONSTRUCTION. CONTRACTOR SHALL CALL 811.
2. THE INSTALLATION OF WATER AND SEWER SHALL BE UNDER THE DIRECTION OF A N.Y. STATE LICENSED PROFESSIONAL ENGINEER.
3. EROSION CONTROL MEASURES SHALL BE REQUIRED AS DIRECTED BY THE TOWN OF MARLBOROUGH, ACCORDING TO STANDARDS DESCRIBED IN THE NEW YORK STANDARDS & SPECIFICATIONS FOR URBAN EROSION AND SEDIMENT CONTROL.
4. AS BUILT PLANS SHALL BE REQUIRED AND CERTIFIED BY A N.Y. STATE LICENSED PROFESSIONAL ENGINEER.
5. ALL PROPERTY DISTURBED IN THE R.O.W. OR ON PRIVATE LANDS, SHALL BE RESTORED TO NEW CONDITIONS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL APPLICATIONS AND PERMITS REQUIRED FOR CONSTRUCTION.
7. THE ROAD AND UTILITIES SHALL BE STAKED IN THE FIELD BY A N.Y. STATE LICENSED SURVEYOR.
8. UNDERGROUND GAS AND ELECTRIC SHALL BE AS REQUIRED BY THE TOWN OF MARLBOROUGH.
9. WATER PIPE APPURTENANCES, VALVES SHALL BE AS SPECIFIED BY THE TOWN OF MARLBOROUGH.
10. ALL SANITARY SERVICES CLEANOUTS PLACED MAXIMUM 60' APART.
11. FIRE SPRINKLER SERVICE TO BE 1 1/4" COPPER TYPE K.

#### MAP REFERENCE:

1. MAP PREPARED BY MASER CONSULTING, P.A. AND ENTITLED "FINAL SITE PLAN, CONDOMINIUM PLAN FOR PINE VIEW CORNERS, SECTION 108.12, BLOCK 8, LOT 23, TOWN OF MARLBOROUGH, ULSTER COUNTY, STATE OF NEW YORK" DATED 4/8/2004



SCALE : 1" = 40'



ANDREW B. FETHERSTON

NEW YORK LICENSED PROFESSIONAL  
ENGINEER - LICENSE NUMBER: 073555-1

#### SITE PLAN

FOR  
MARLBOROUGH  
ON  
HUDSON

SECTION 108.12  
BLOCK 8  
LOT 23

TOWN OF MARLBOROUGH  
ULSTER COUNTY  
NEW YORK STATE

NEW WINDSOR OFFICE  
555 Hudson Valley Avenue  
Suite 101  
New Windsor, NY 12553  
Phone: 845.564.4495  
Fax: 845.567.1025

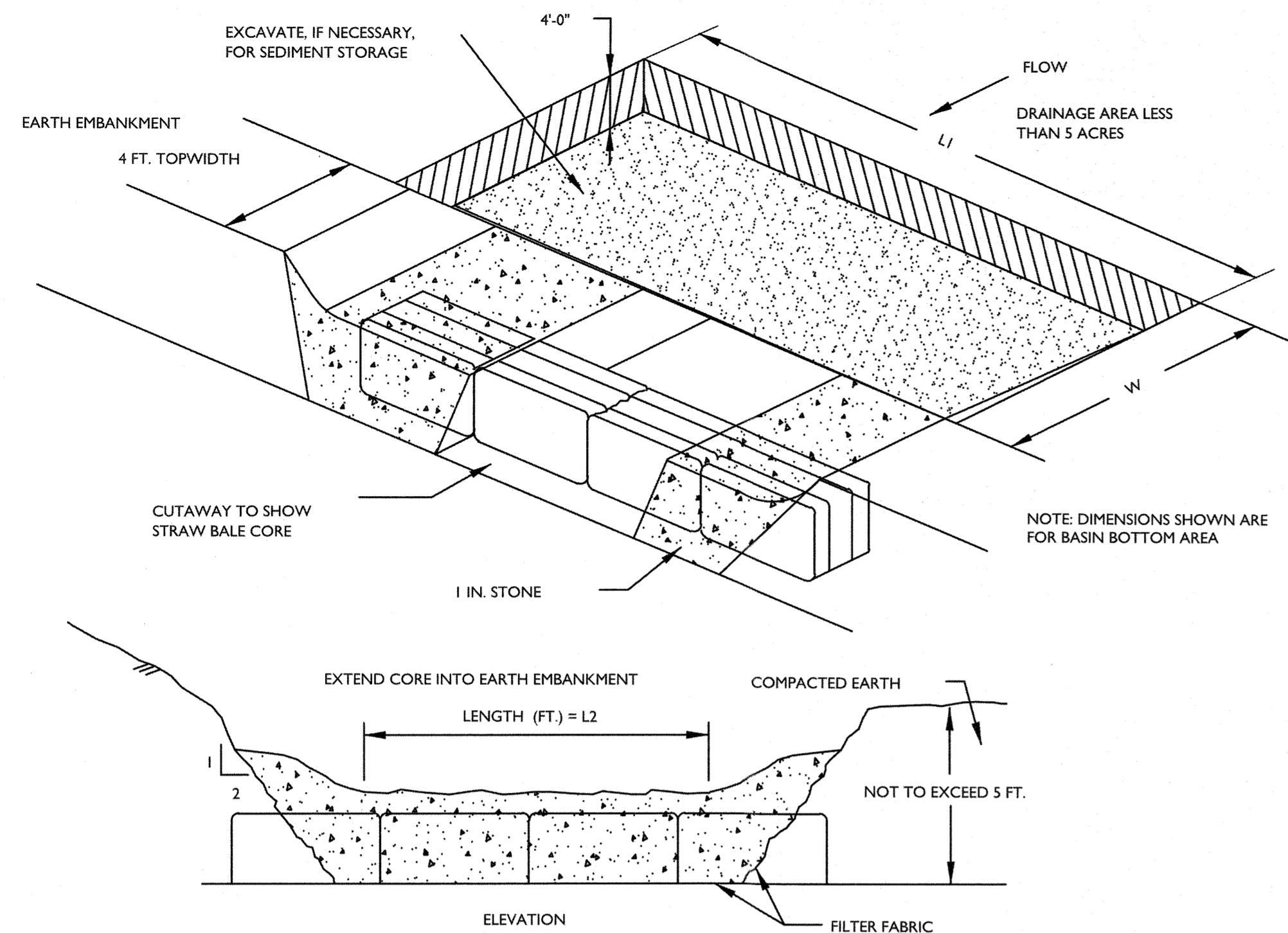
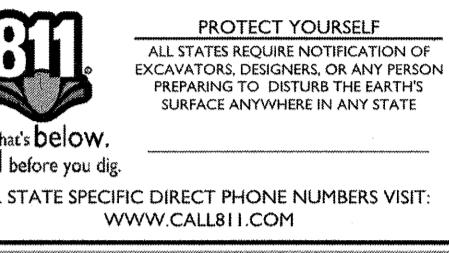
SCALE: 0 DRAWN BY: 06/18/08  
AS SHOWN DATE: 06/18/08 CPM: CHECKED BY:  
PROJECT NUMBER: 030218F DRAWING NAME: ABF

SHEET TITLE: UTILITIES PLAN

SHEET NUMBER: 05 of 12



Copyright © 2018 Maser Consulting. All Rights Reserved. This drawing and all the information contained herein is authorized for use only by the party for whom it was prepared. It is the property of Maser Consulting and may not be copied, revised, distributed, or relied upon for any other purpose without the express written consent of Maser Consulting, P.A.



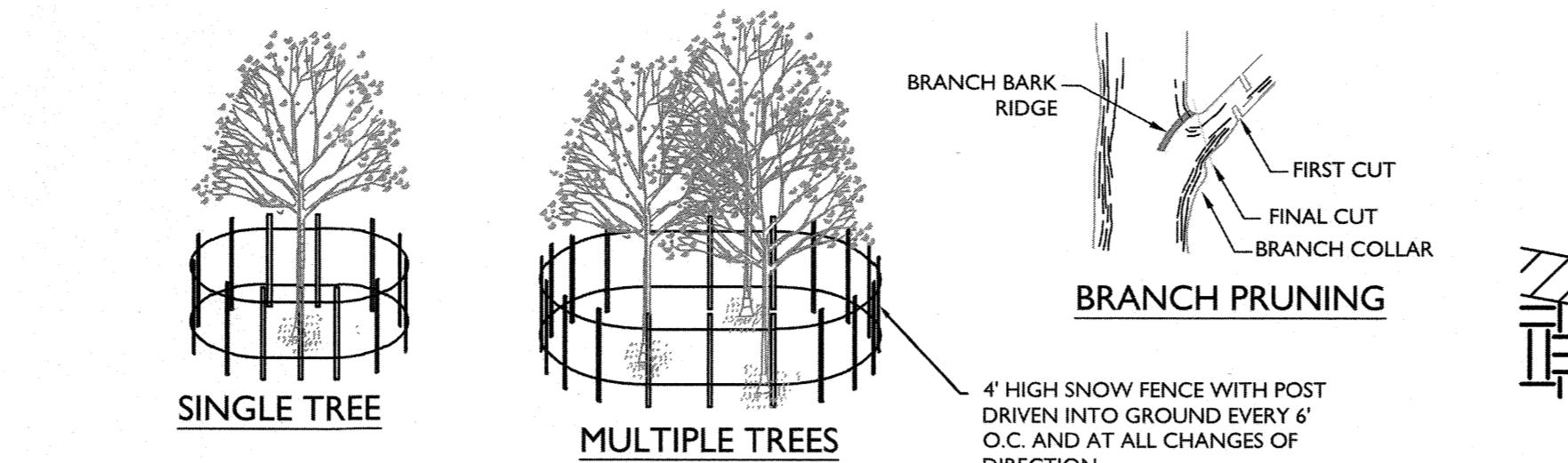
SEE EROSION AND SEDIMENT CONTROL PLAN FOR LOCATIONS.

#### INSTALLATION NOTES

- NOTES:  
1. AREA UNDER EMBANKMENT SHALL BE CLEARED, GRUBBED, AND STRIPPED OF VEGETATION AND ROOT MAT. THE POOL AREA SHALL BE CLEARED AS WELL.  
2. THE FILL MATERIAL FOR THE EMBANKMENT SHALL BE FREE OF ROOTS OR OTHER WOODY VEGETATION AS WELL AS OVER SIZE STONES, ROCKS, ORGANIC MATERIAL AND OTHER QUESTIONABLE MATERIAL. THE EMBANKMENT SHALL BE COMPAKTED BY TRAVERSING WITH EQUIPMENT WHILE IT IS BEING CONSTRUCTED.  
3. SEDIMENT SHALL BE REMOVED AND TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SURFACE AREA IN SUCH A MANNER THAT IT WILL NOT ERODE.  
4. THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED.  
5. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION IS MINIMIZED.  
6. THE STRUCTURE SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.  
7. ALL CUT AND FILL SLOPES SHALL BE 1:1 OR FLATTER.  
8. THE STONE USED IN THE OUTLET SHALL BE SMALL RIPRAP 4"-8" ALONG WITH A 1" THICKNESS OF 2" AGGREGATE PLACED ON THE UP GRADE SIDE ON THE SMALL RIPRAP OR EMBEDDED FILTER CLOTH IN THE RIPRAP.

#### SIZING CALCULATIONS

- NOTE:  
1. 3,600 CUBIC FEET OF STORAGE REQUIRED PER ACRE OF DISTURBANCE.  
\*THIS IS THE MINIMUM AMOUNT OF SEDIMENT TRAPS, ADDITIONAL MAY BE REQUIRED BASED UPON OTHER ON-SITE CONDITIONS AND CONTRACTOR SCHEDULE AND PHASING ACTIVITIES.



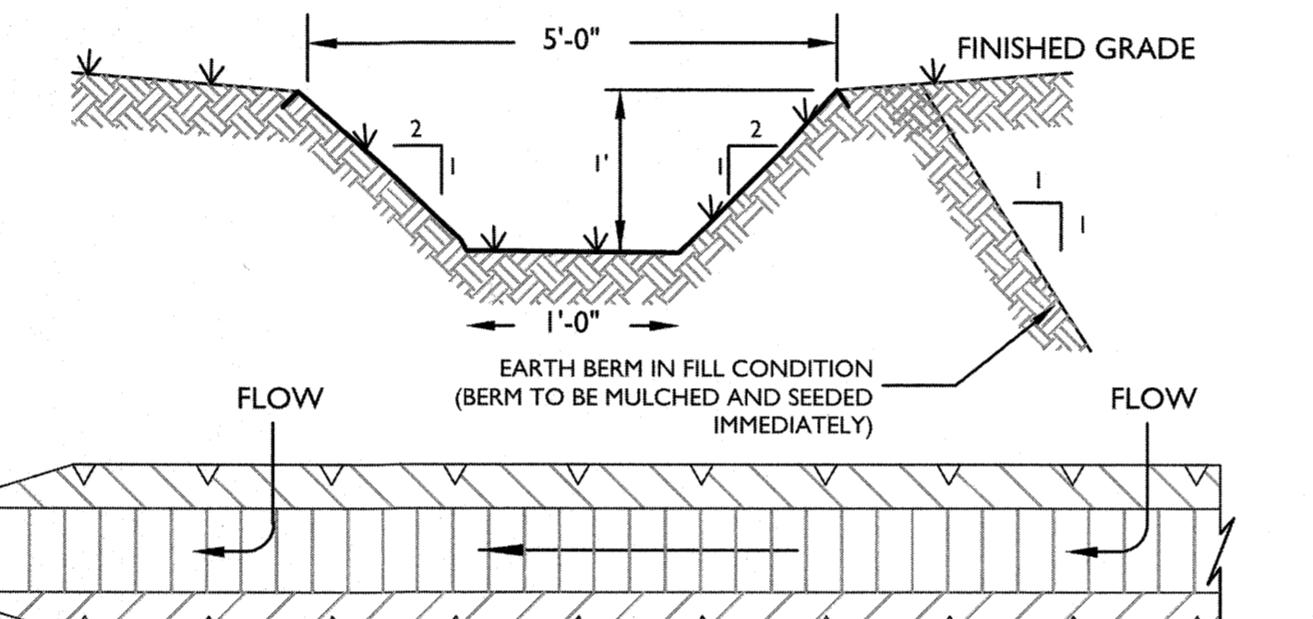
- NOTES:  
1. PROTECTIVE FENCING IS TO BE ERECTED PRIOR.  
2. NO CONSTRUCTION ACTIVITY IS PERMITTED WITHIN TOPSOIL IMMEDIATELY AFTER EXCAVATION IS COMPLETE. THE PROTECTIVE FENCING, ROOTS SHALL BE PRUNED TO GIVE A CLEAN, SHARP SURFACE AMENABLE TO HEALING. ROOTS EXPOSED DURING HOT WEATHER.  
3. AS CONSTRUCTION NEARS COMPLETION THE FENCING SHOULD BE IRRIGATED TO PREVENT PERMANENT TREE INJURY. WILL BE REMOVED AS DIRECTED CARE FOR SERIOUS INJURY SHOULD BE PRESCRIBED BY A  
4. AT THE COMPLETION OF CONSTRUCTION ALL TREES PROFESSIONAL FORESTER OR CERTIFIED TREE EXPERT, WILL BE PRUNED AS NECESSARY TO CORRECT ANY  
5. GENERAL MECHANICAL DAMAGE - SEE DETAIL ABOVE COLLAR. THERE SHOULD BE NO FLUSH CUTS. FLUSH CUTS FOR CORRECT PLACEMENT OF TREE PROTECTION. DESTROY A MAJOR DEFENSE SYSTEM OF THE TREE. NO TREE PAINT SHALL BE APPLIED. ALL CUTS SHALL BE MADE AT  
6. BOX TREES WITHIN 25 FEET OF A BUILDING SITE TO THE OUTSIDE EDGE OF THE BRANCH COLLAR. CUTS MADE TOO PREVENT MECHANICAL INJURY. FENCING OR OTHER FAR BEYOND THE BRANCH COLLAR MAY LEAD TO EXCESS BARRIER SHOULD BE INSTALLED AT THE DRIP LINE SPROUTING, CRACKS AND ROT. REMOVAL OF A "Y" CROTCH OF THE TREE BRANCHES SHOULD BE CONSIDERED FOR FREE STANDING SPECIMEN TREES TO AVOID FUTURE SPLITTING DAMAGE.  
7. BOARDS WILL NOT BE NAILED TO TREES DURING BUILDING OPERATIONS.  
8. FEEDER ROOTS SHOULD NOT BE CUT IN AN AREA TO CONSTRUCTION AND MAINTAINED DURING INSIDE THE DRIP LINE OF THE TREE. BRANCHES CONSTRUCTION AS DIRECTED BY THE LANDSCAPE ARCHITECT, SOIL CONSERVATION DISTRICT AND/OR  
9. DAMAGED BARK OR EXPOSED ROOTS SHALL BE HAD TO MUNICIPAL ENGINEER. DAMAGED BARK REMOVED IMMEDIATELY AND NO PAINT SHALL BE APPLIED. EXPOSED ROOTS SHOULD BE COVERED.  
10. TREE LIMB REMOVAL WHERE NECESSARY, WILL BE DONE AS DAMAGE RESULTING FROM CONSTRUCTION ACTIVITY. NATURAL TARGET PRUNING TO REMOVE THE DESIRED BRANCH

#### TEMPORARY TREE PROTECTION DETAIL

N.T.S.

#### TREE PROTECTION NOTES:

1. TREE PROTECTION FENCING TO BE INSTALLED ALONG THE DISTURBANCE LIMIT LINE WHEREVER EROSION CONTROL FENCING IS NOT PROPOSED.  
2. THERE SHALL BE NO STORAGE OF EQUIPMENT OR MATERIALS OUTSIDE CLEARING LIMITS. NO EQUIPMENT IS PERMITTED OUTSIDE CLEARING LIMITS.  
3. THE FENCING SHOULD REMAIN IN GOOD CONDITION FOR THE DURATION OF THE CONSTRUCTION PERIOD.



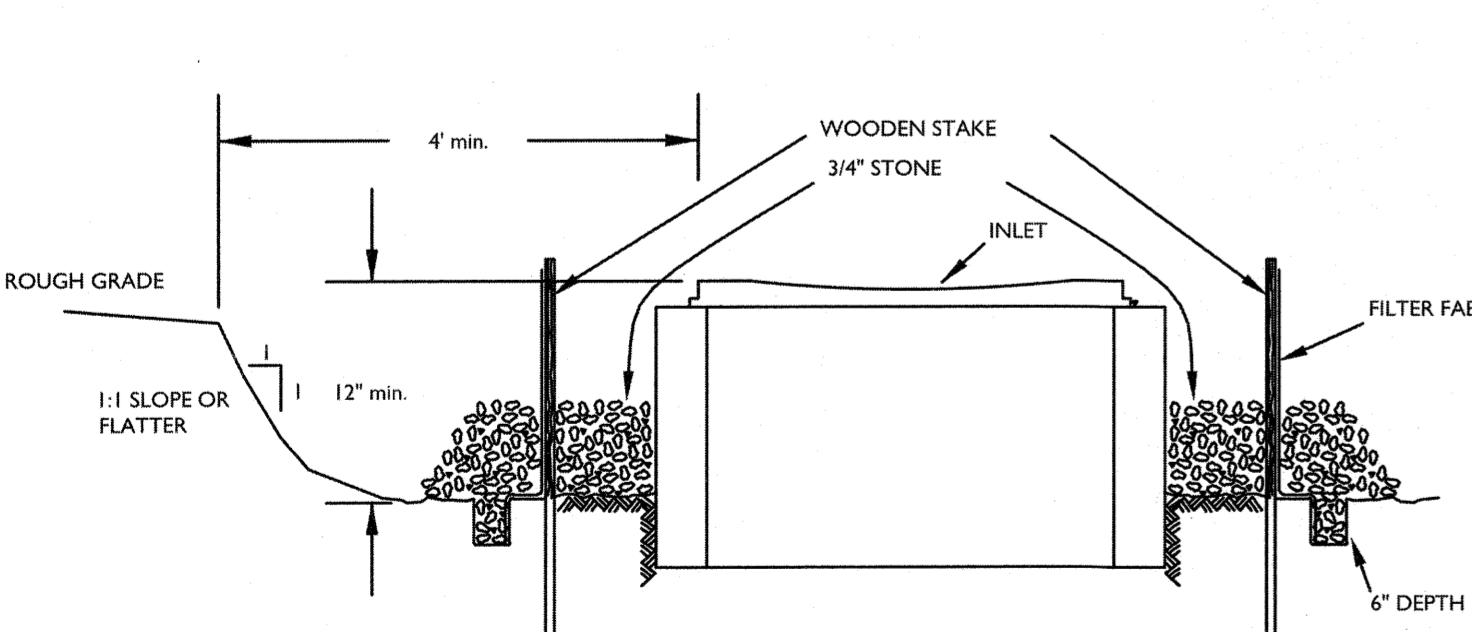
#### PLAN

TO BE INSTALLED ABOVE DISTURBED AREAS, TO DIVERT RUNOFF OFF-SITE WITHOUT INCREASING EROSION; INTERMITTENTLY ACROSS DISTURBED AREAS, TO SHORTEN OVERLAND FLOW DISTANCES; BELOW DISTURBED AREAS, TO DIVERT SEDIMENT-LADEN WATER TO A SEDIMENT TRAPPING DEVICE; AND TO SAFELY TRANSPORT RUNOFF ALONG ROADWAYS.

\* WHERE SWALE TRAVERSES CONSTRUCTION VEHICLE PATH, DEPTH TO BE 6". SEE PLAN FOR LOCATION

- INSTALLATION NOTES  
1. ALL SWALES SHALL HAVE UNINTERRUPTED POSITIVE GRADE TO AN OUTLET.  
2. DIVERTED RUNOFF FROM A DISTURBED AREA SHALL BE CONVEYED TO A SEDIMENT TRAPPING DEVICE.  
3. DIVERTED RUNOFF FROM AN UNDISTURBED AREA SHALL OUTLET DIRECTLY INTO AN UNDISTURBED AREA AT NON-ERODIVE VELOCITY.  
4. ALL TREES, BRUSH, STUMPS, OBSTRUCTIONS AND OTHER OBJECTIONABLE MATERIAL SHALL BE REMOVED AND DISPOSED OF SO AS NOT TO INTERFERE WITH THE PROPER FUNCTIONING OF THE SWALE.  
5. THE SWALE SHALL BE EXCAVATED OR SHAPED TO LINE, GRADE AND CROSS SECTION AS REQUIRED TO MEET THE CRITERIA SPECIFIED HEREIN AND BE FREE OF BANK PROJECTIONS OR OTHER IRREGULARITIES WHICH WILL IMPEDE NORMAL FLOW.  
6. FILLS SHALL BE COMPAKTED BY EARTH MOVING EQUIPMENT.  
7. ALL EARTH REMOVED AND NOT NEEDED FOR CONSTRUCTION SHALL BE PLACED SO AS NOT TO INTERFERE WITH THE FUNCTIONING OF THE SWALE.  
8. INSPECTION AND MAINTENANCE MUST BE PROVIDED AFTER EACH RAIN EVENT.  
9. STABILIZATION SHALL BE SEED AND STRAW MULCH.

#### TEMPORARY SWALE (& EARTH BERM IN FILL CONDITION)

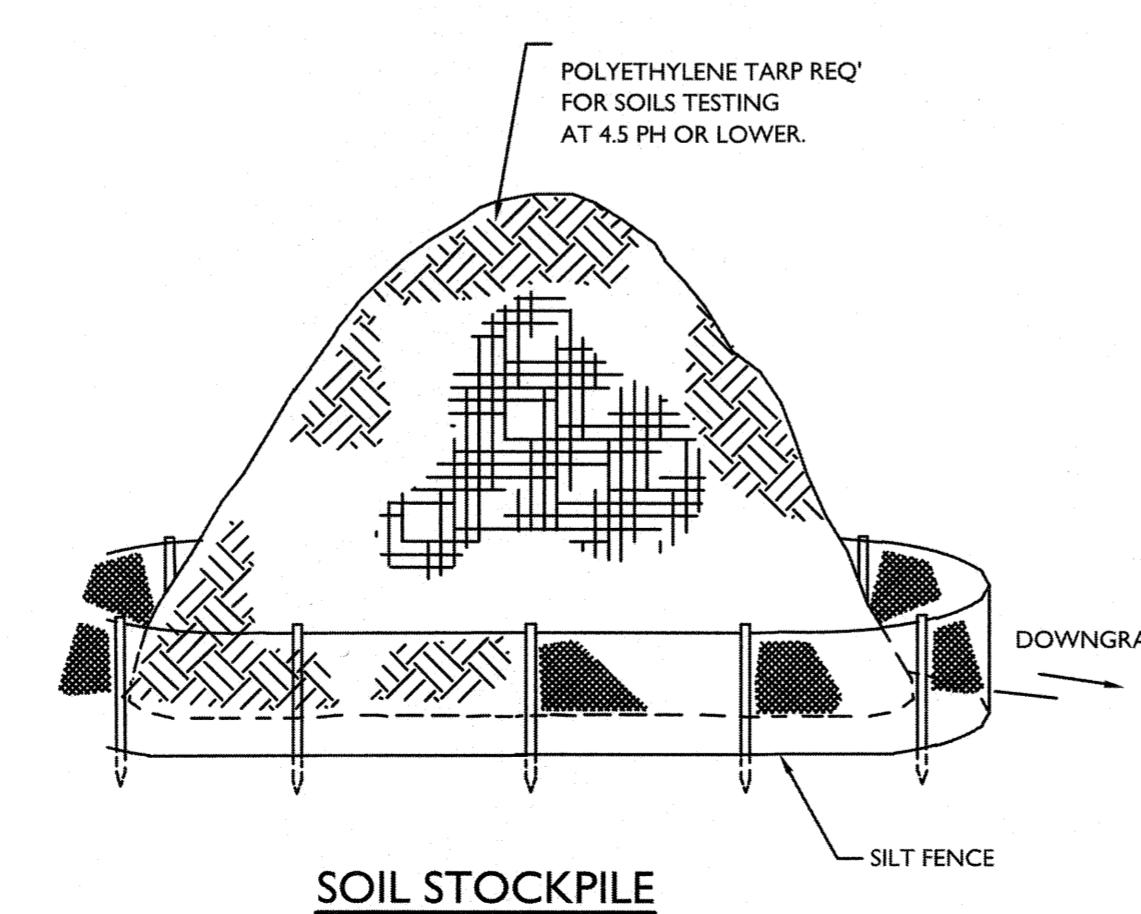


#### INSTALLATION NOTES

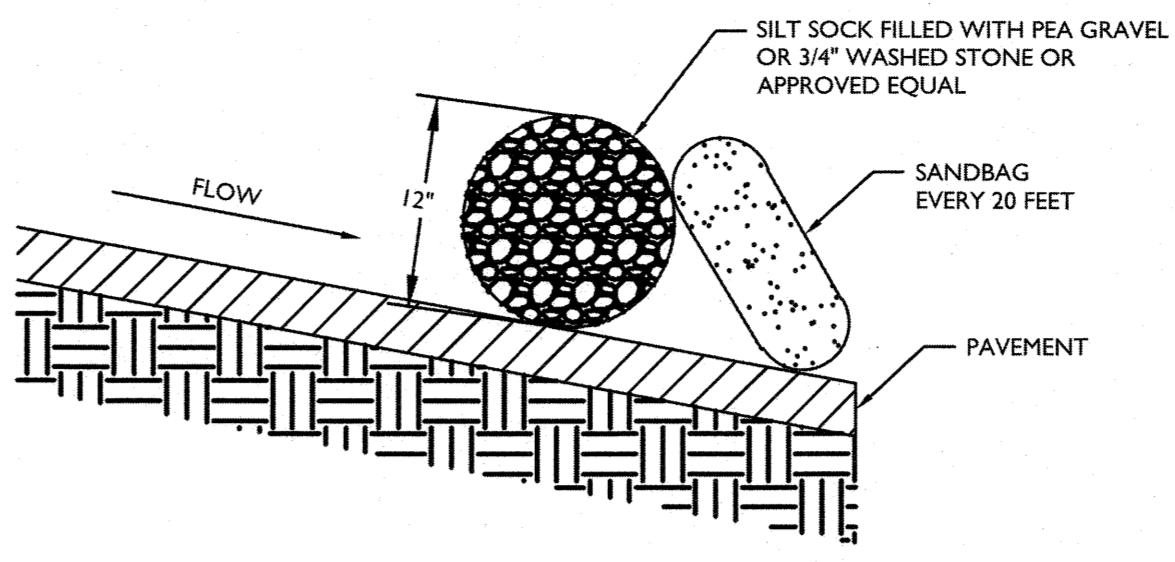
1. EXCAVATE A 6 INCH x 6 INCH TRENCH, OFFSET APPROXIMATELY 2 FEET FROM THE INLET PERIMETER.  
2. UNPLATE A STAKE AT A 45 DEGREE POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH.  
3. DRIVE THE POST INTO THE GROUND UNTIL THE NETTING IS APPROXIMATELY 2 INCHES FROM THE TRENCH BOTTOM.  
4. LAY THE TOE-IN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH, BACKFILL THE TRENCH AND TAMP THE SOIL STEEPER SLOPES REQUIRE AN INTERCEPT TRENCH.  
5. JOIN SECTIONS AS SHOWN ABOVE. SUPPLEMENT WITH GRAVEL PILED AGAINST THE FENCE.  
6. SEDIMENT SHALL BE REMOVED AND THE TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE TRAP.  
7. THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED.

#### STORM INLET SEDIMENT TRAP

N.T.S.

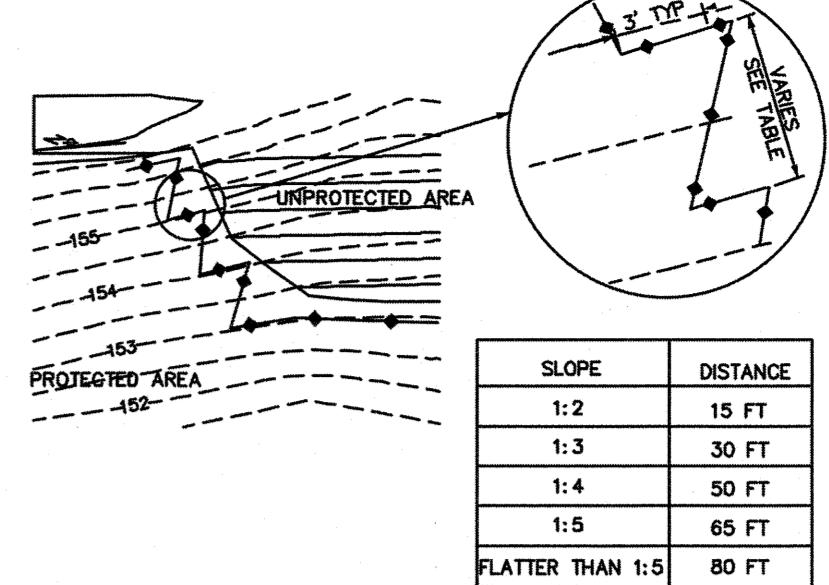


#### SOIL STOCKPILE



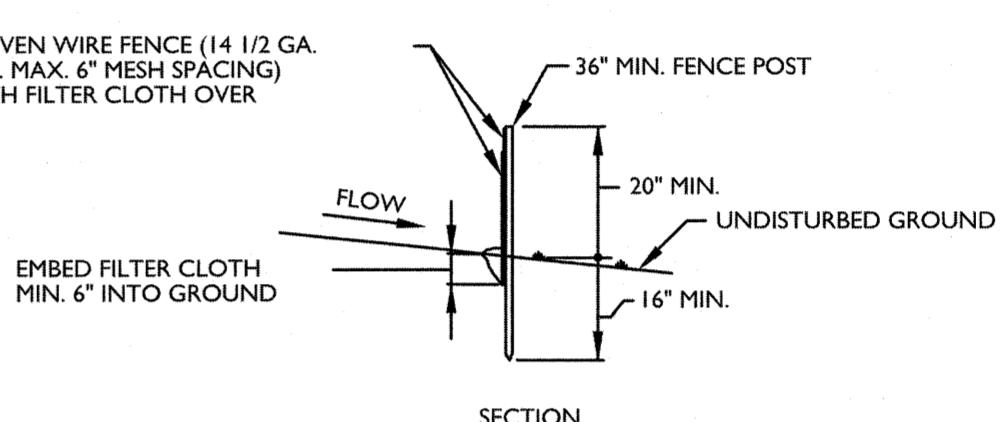
#### SILT SOCK INSTALLATION ON PAVEMENT

N.T.S.



#### SILT FENCE INSTALLATION

(WHEN NOT PARALLEL TO CONTOURS)  
N.T.S.

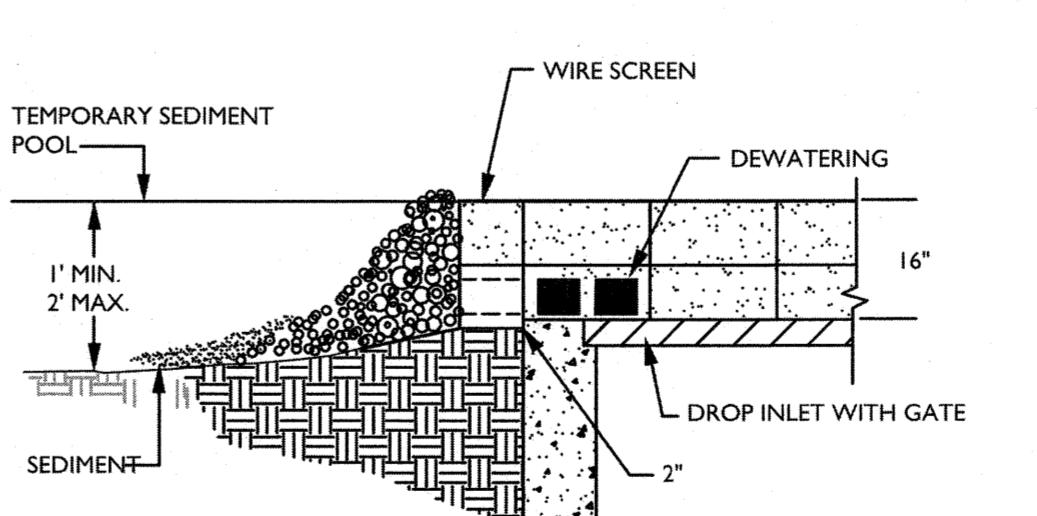
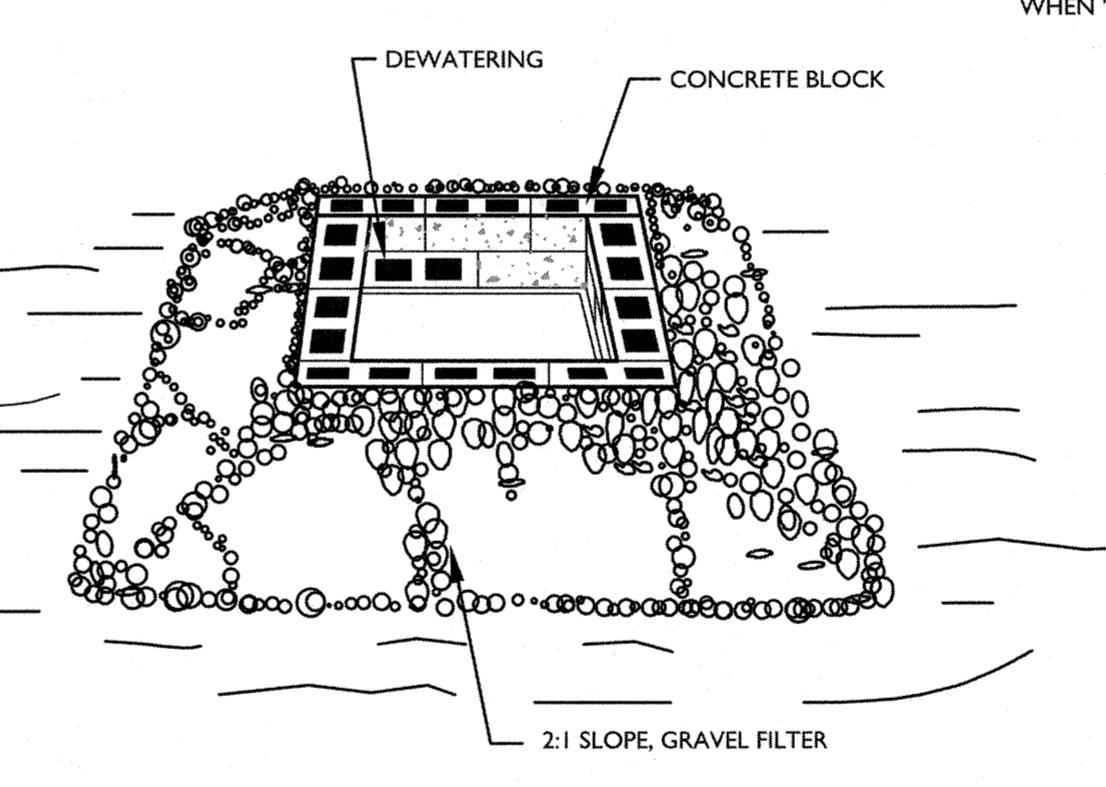


#### CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.  
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.  
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.  
4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

#### WIRE REINFORCED SILT FENCE

N.T.S.

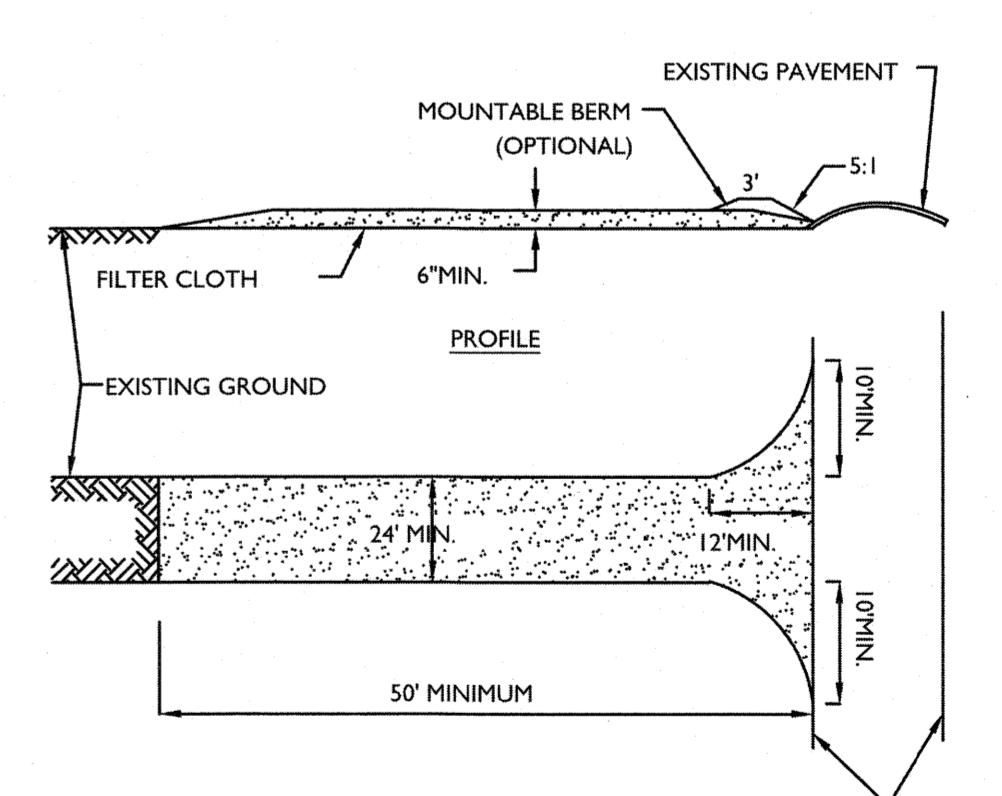


#### STONE & BLOCK DETAIL

- CONSTRUCTION SPECIFICATIONS  
1. LAY ONE BLOCK ON EACH SIDE OF THE STRUCTURE ON ITS SIDE FOR DEWATERING. FOUNDATION SHALL BE 2 INCHES MINIMUM BELOW REST OF INLET AND BLOCKS SHALL BE PLACED AGAINST INLET FOR SUPPORT.  
2. HARDWARE CLOTH OR 1/4" WIRE MESH SHALL BE PLACED OVER BLOCK OPENINGS TO SUPPORT STONE.  
3. USE CLEAN STONE OR GRAVEL 2"-3" IN DIAMETER PLACED 2 INCHES BELOW TOP OF THE BLOCK ON A 2:1 SLOPE OR FLATTER.

#### STONE & BLOCK DROP INLET PROTECTION

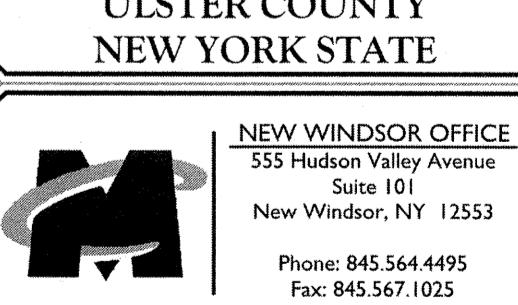
N.T.S.



1. STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT. LENGTH - NOT LESS THAN 50 FEET.  
2. THICKNESS - NOT LESS THAN (6) INCHES.  
3. WIDTH - 24".  
4. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRactical, A MOUNTING BERM WITH 5:1 SLOPES WILL BE PERMITTED.  
5. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.  
6. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED  
7. AFTER EACH RAIN.

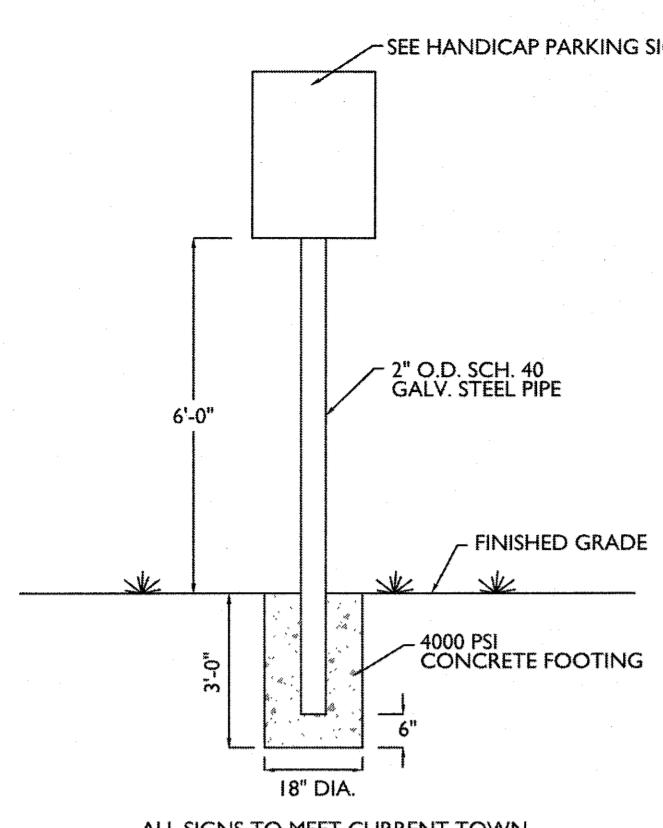
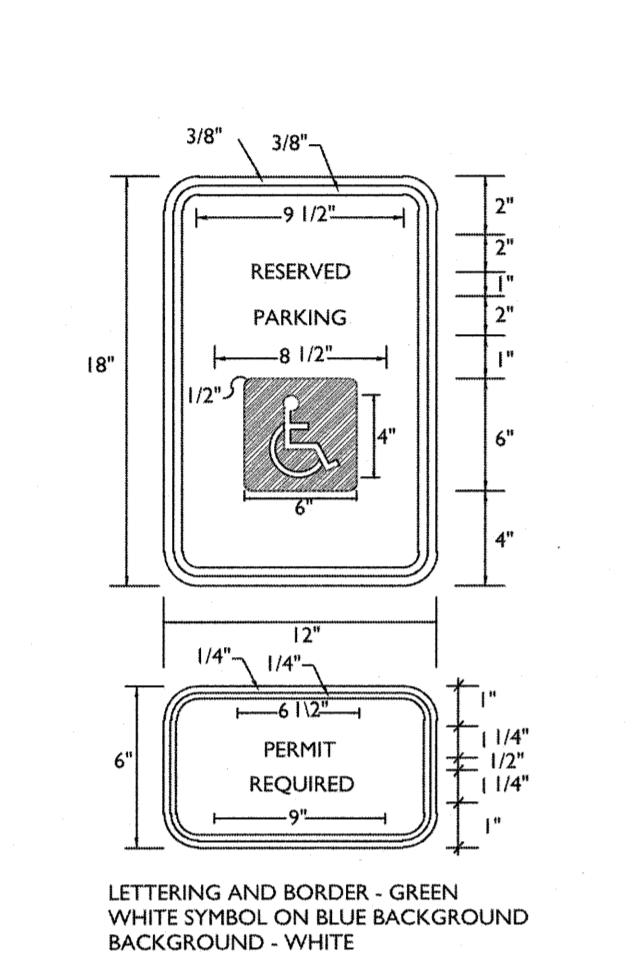
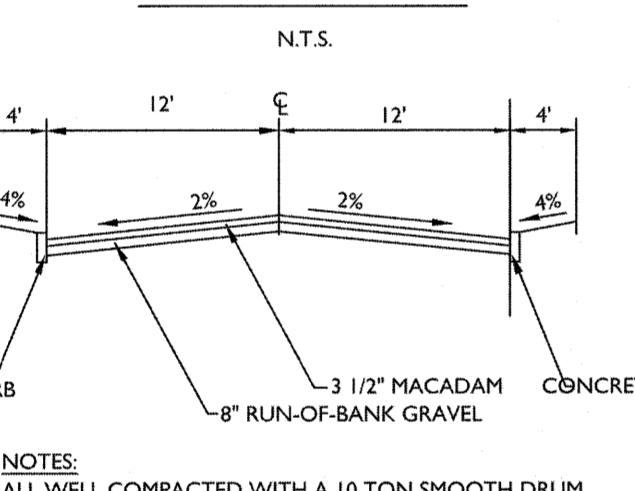
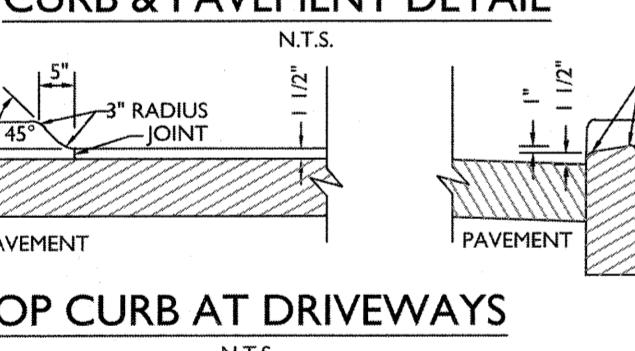
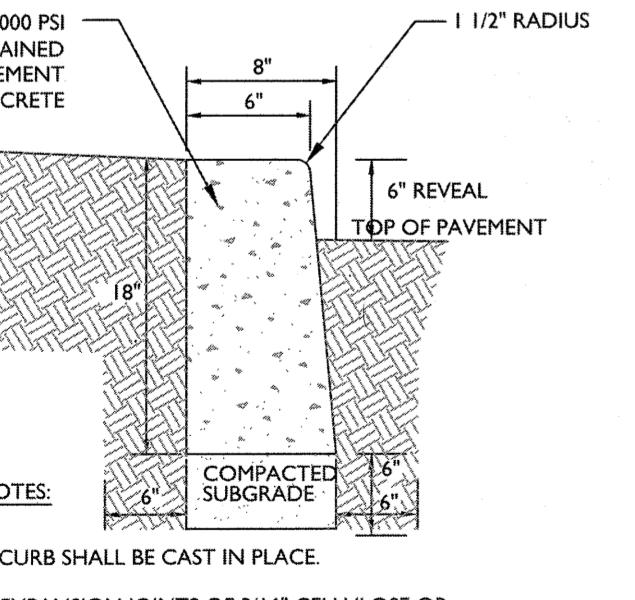
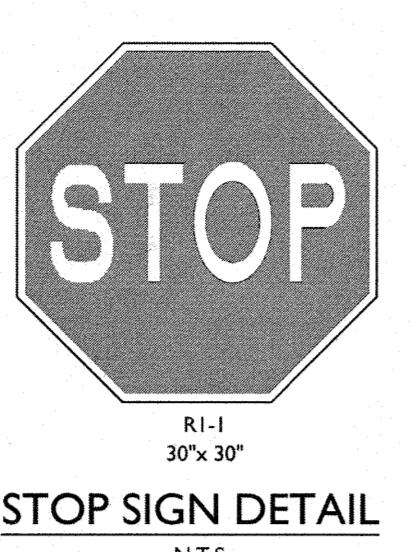
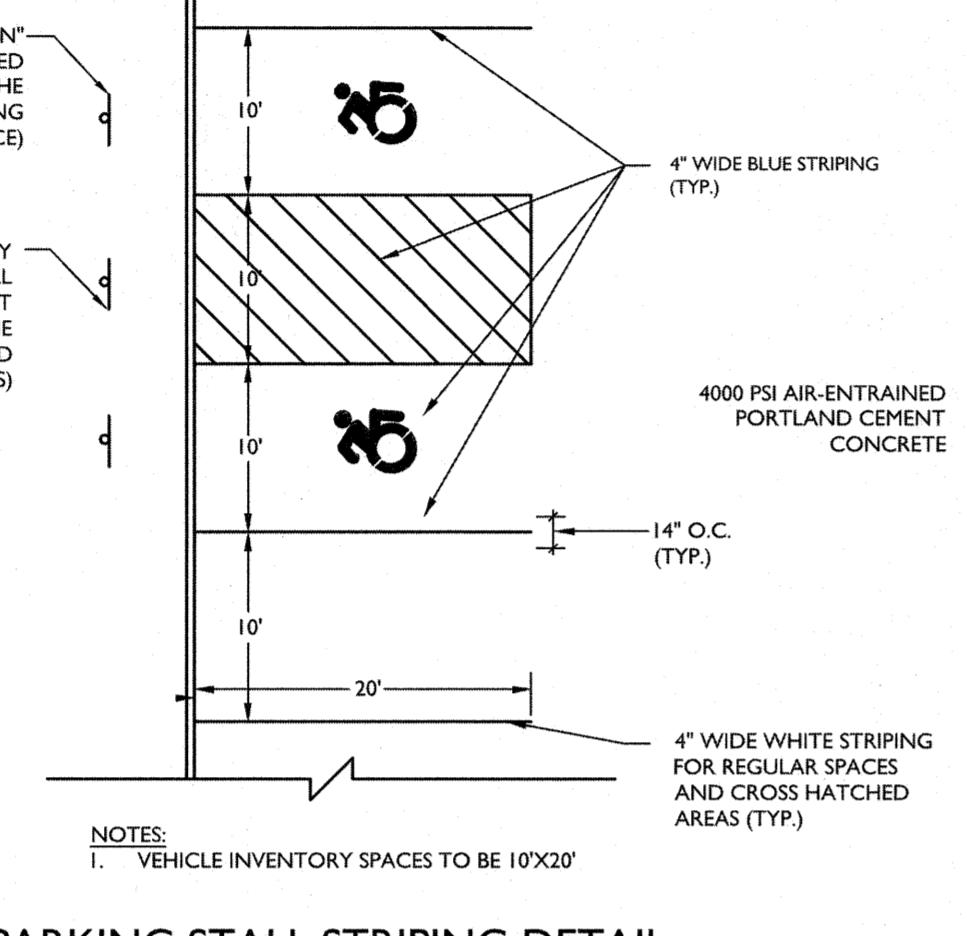
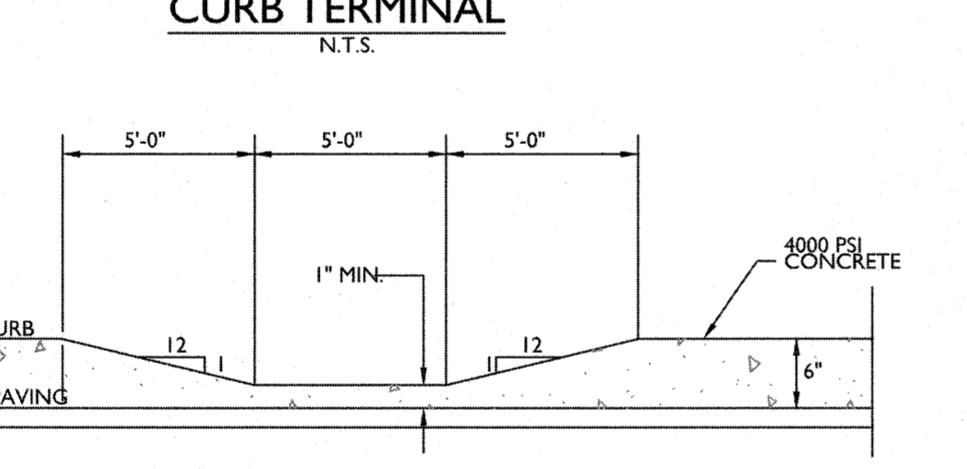
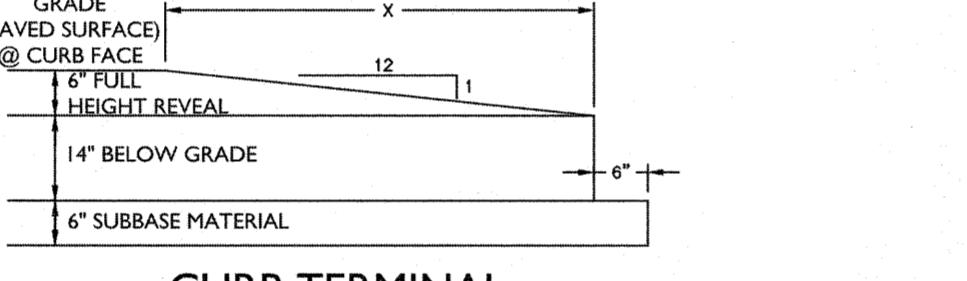
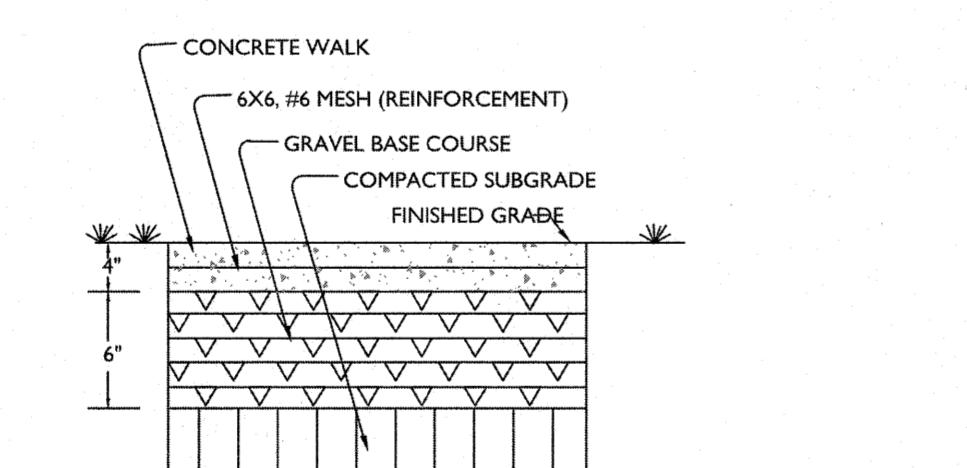
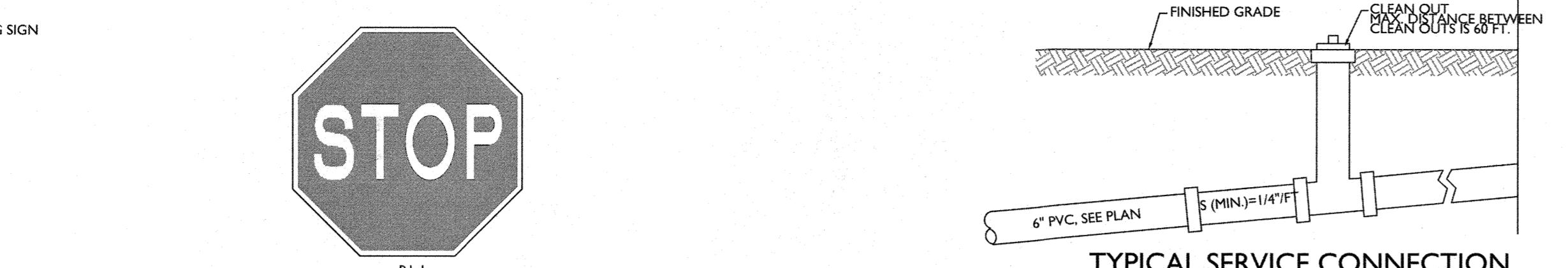
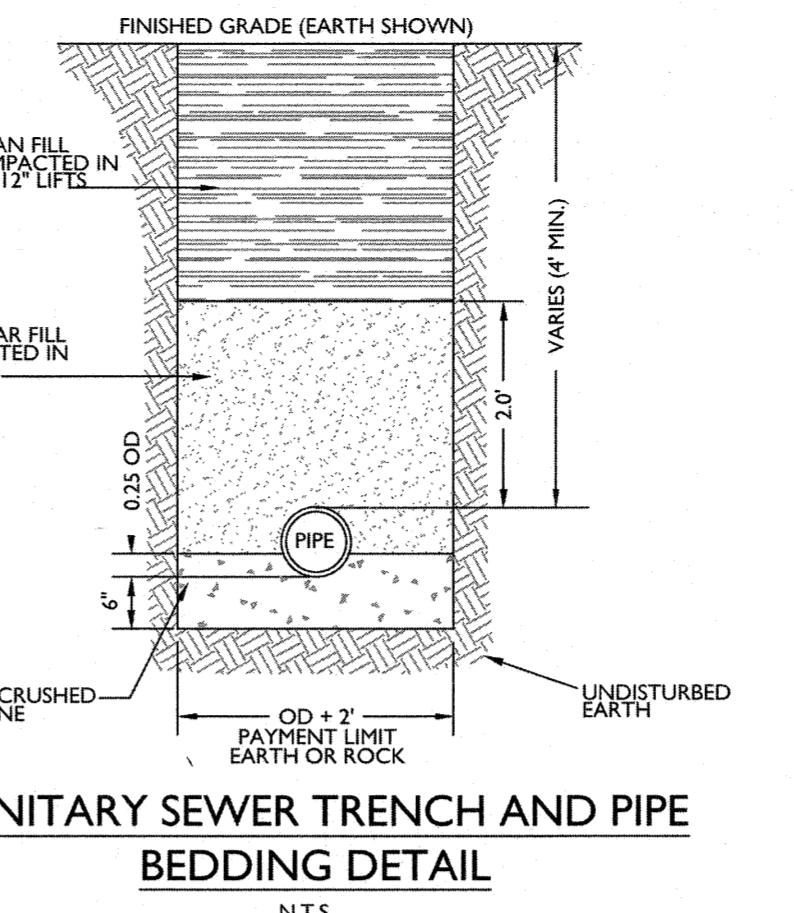
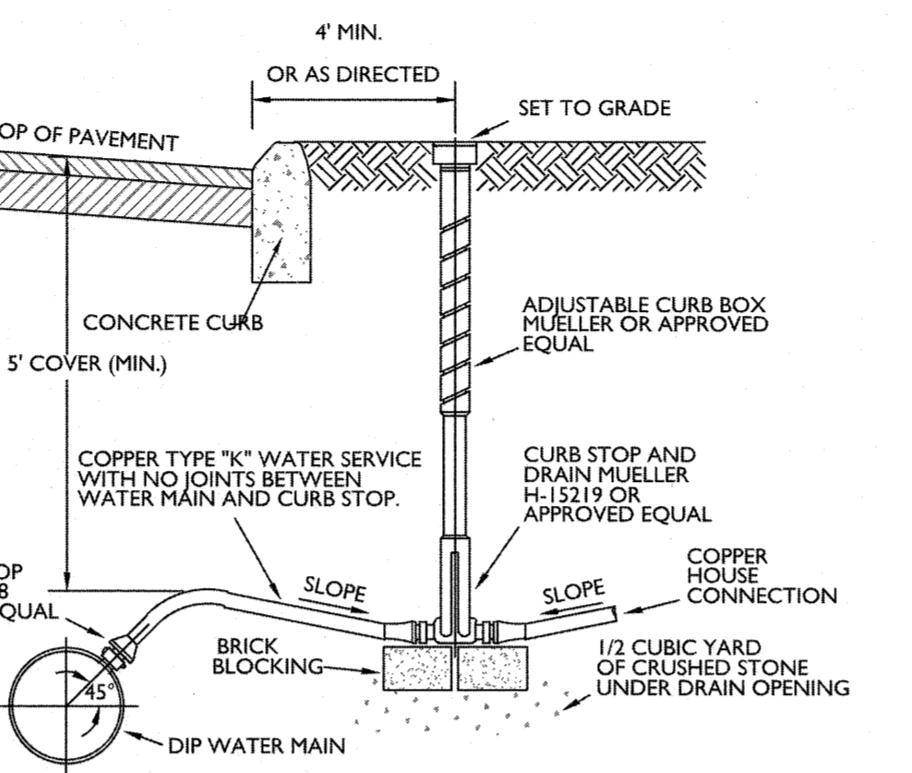
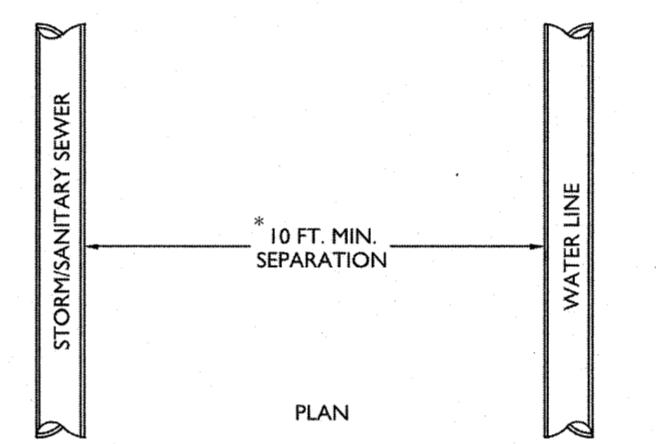
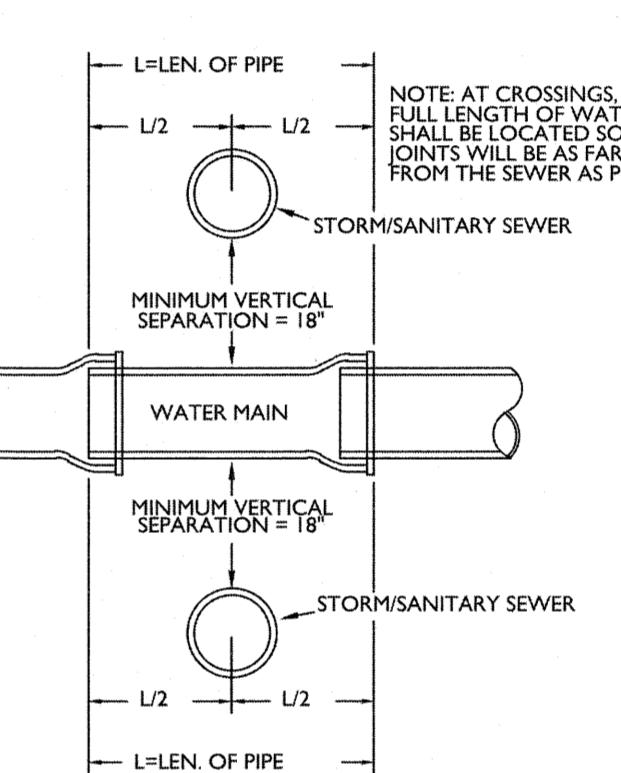
#### STABILIZED CONSTRUCTION ENTRANCE

N.T.S.



- SCALE: AS SHOWN DATE: 06/18/2018 DRAWN BY: CPM CHECKED BY: ABF  
PROJECT NUMBER: 030218F DRAWING NAME: C-SESC  
SHEET TITLE: SOIL EROSION & SEDIMENT CONTROL PLAN  
SHEET NUMBER: 07 of 12

STATE OF NEW YORK  
LICENSE NO. 110-7355-1  
PROFESSIONAL ENGINEER  
ANDREW B. FETHERSTON  
NEW YORK LICENSED PROFESSIONAL  
ENGINEER - LICENSE NUMBER: 0355-1  
SITE PLAN  
FOR  
MARLBOROUGH ON  
HUDSON  
SECTION 108.12  
BLOCK 8  
LOT 23  
TOWN OF MARLBOROUGH  
ULSTER COUNTY  
NEW YORK STATE  
555 Hudson Valley Avenue  
Suite 101  
New Windsor, NY 12553  
Phone: 845.564.4495  
Fax: 845.567.1025

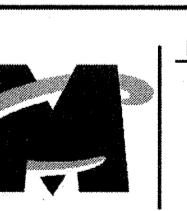

**SIGN POST  
FOR HANDICAPPED PARKING**  
 N.T.S.

**SIGN FOR HANDICAPPED  
PARKING SPACE**  
 N.T.S.

**CURB & PAVEMENT DETAIL**  
 N.T.S.

**DROP CURB AT DRIVEWAYS**  
 N.T.S.

**CONCRETE CURB DETAIL**  
 N.T.S.

**STOP SIGN DETAIL**  
 N.T.S.

**PARKING STALL STRIPING DETAIL**  
 N.T.S.

**SIDWALK RAMP DETAIL**  
 N.T.S.

**CONCRETE SIDEWALK DETAIL**  
 N.T.S.

**TYPICAL SERVICE CONNECTION**  
 N.T.S.

**SANITARY SEWER TRENCH AND PIPE  
BEDDING DETAIL**  
 N.T.S.

**WATER SERVICE  
CONNECTION DETAIL**  
 N.T.S.

**HORIZONTAL STORM/SANITARY  
SEWER WATER MAIN SEPARATION**  
 N.T.S.

**STORM/SANITARY SEWER  
WATER MAIN SEPARATION**  
 N.T.S.

 ANDREW B. FETHERSTON  
 NEW YORK LICENSED PROFESSIONAL  
 ENGINEER - LICENSE NUMBER: 07355-1

 SITE PLAN  
 FOR  
 MARLBOROUGH ON  
 HUDSON

 SECTION 108.12  
 BLOCK 8  
 LOT 23

 TOWN OF MARLBOROUGH  
 ULSTER COUNTY  
 NEW YORK STATE

  
 NEW WINDSOR OFFICE  
 555 Hudson Valley Avenue  
 Suite 101  
 New Windsor, NY 12553  
 Phone: 845.564.0495  
 Fax: 845.567.1025

 SCALE: AS SHOWN DATE: 06/18/2018 DRAWN BY: C.P.M. CHECKED BY: A.B.F.  
 PROJECT NUMBER: 030218F DRAWING NUMBER: C-DTLS

SHEET TITLE: CONSTRUCTION DETAILS

SHEET NUMBER: 10 of 12

