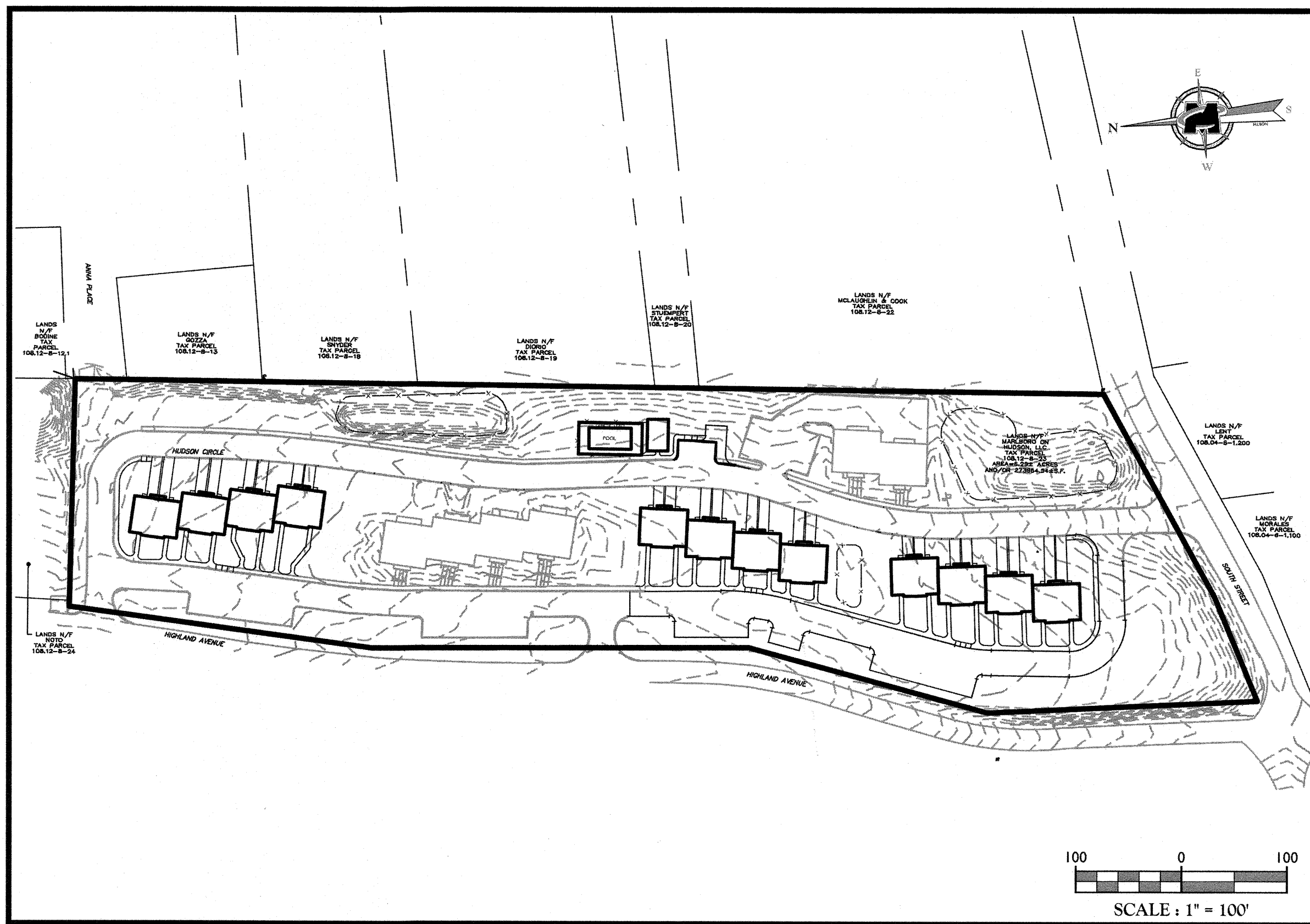


SITE PLANS  
FOR  
MARLBORO ON HUDSON  
SECTION 108.12, BLOCK 8, LOT 23  
TOWN OF MARLBOROUGH  
ULSTER COUNTY, NEW YORK



## KEY & ZONING MAP

## INDEX OF SHEETS

SHT. No.	DESCRIPTION	LATEST REVISION
1	COVER SHEET	
2	EXISTING CONDITIONS AND DEMOLITION PLAN	
3	LAYOUT AND DIMENSION PLAN	
4	GRADING PLAN	
5	UTILITY PLAN	
6	SOIL EROSION AND SEDIMENT CONTROL PLAN	
7	SOIL EROSION AND SEDIMENT CONTROL DETAILS	
8	LANDSCAPE PLAN	
9	LIGHTING PLAN	
10 - 12	CONSTRUCTION DETAILS & LANDSCAPE DETAILS	

BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS TAKEN FROM A PLAN ENTITLED "AS-BUILT SURVEY FOR HIGHLAND AVENUE MARLBORO, LLC." PREPARED BY MASER CONSULTING, P.A. AND PREPARED FOR MARLBORO ON HUDSON, LLC, DATED MARCH 18, 2018.

2.

3. THE HORIZONTAL DATUM IS RELATIVE TO THE NEW YORK STATE PLANE COORDINATE SYSTEM EAST ZONE AND ADJUSTED TO NAD 1983. THE VERTICAL DATUM IS RELATIVE TO N.A.V.D. 1988.

4. NO 100 YEAR FLOOD PLAINS ARE KNOWN TO EXIST ON THE SITE PER THE FLOOD INSURANCE RATE MAP 36111C0905E, DATED SEPTEMBER 25, 2009 PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

5. MATERIALS, WORKMANSHIP, AND CONSTRUCTION FOR THE SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH:

A. NEW YORK STATE DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS", 2002; AS SUPPLEMENTED.

B. CURRENT PREVAILING MUNICIPAL, COUNTY, AND/OR STATE AGENCY SPECIFICATIONS, STANDARDS, CONDITIONS, AND REQUIREMENTS.

C. CURRENT PREVAILING UTILITY COMPANY/AUTHORITY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.

D. CURRENT MANUFACTURER SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.

6. WATER SERVICE TO BE PROVIDED FROM EXISTING ON SITE WATER MAIN PREVIOUSLY INSTALLED ON HUDSON CIRCLE.

7. SANITARY SEWER SERVICE SHALL CONNECT TO THE EXISTING 8" GRAVITY LINE PREVIOUSLY INSTALLED ON HUDSON CIRCLE. THE PUMP STATION ON SITE WAS INSPECTED BY MASER CONSULTING P.A. ON APRIL 25, 2018 AND FOUND TO BE FULLY OPERATIONAL. THE FLOATS SHALL BE RESET ACCORDING TO THE SITE PLAN. ANY ADDITIONAL PROPOSED SEWER MAIN EXTENSIONS AND MANHOLE LOCATIONS ARE SUBJECT TO MUNICIPAL REVIEW AND APPROVAL, ACCORDING TO MUNICIPAL AND ULSTER COUNTY HEALTH DEPARTMENT REGULATIONS. PIPE MATERIALS SHALL BE PVC SDR 35, EXCEPT AS NOTED OTHERWISE ON THE PLANS, EXCEPT WHERE SHALLOWER DEPTHS ARE PERMITTED BY THE MUNICIPALITY OR UTILITY AUTHORITY. SEWER LINES, INCLUDING FORCE MAINS AND LATERALS, SHALL BE INSTALLED TO PROVIDE A MINIMUM 4 FEET OF COVER FROM THE TOP OF PIPE TO PROPOSED GRADE.

8. SANITARY SEWERS SHALL BE SEPARATED FROM WATER MAINS BY AT LEAST 10 FEET HORIZONTALLY. IF SUCH SEPARATION IS NOT POSSIBLE, THE PIPES SHALL BE IN SEPARATE TRENCHES WITH THE SANITARY SEWER AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN. WHERE APPROPRIATE SEPARATION IS NOT POSSIBLE, THE SEWER SHALL BE ENCASED IN CONCRETE, OR CONSTRUCTED OF DUCTILE-IRON-PIPE USING MECHANICAL OR SLIP ON JOINTS. FOR A DISTANCE OF 10 FEET ON EITHER SIDE OF THE CROSSING, IN ADDITION, ONE FULL LENGTH OF SEWER PIPE SHOULD BE LOCATED SO BOTH JOINTS ARE AS FAR AWAY AS POSSIBLE FROM THE WATER LINE.

9. GAS, ELECTRIC, LIGHTING, CABLE TELEVISION, AND ELECTRICAL SERVICE PLANS, IF REQUIRED, SHALL BE PREPARED BY THE RESPECTIVE UTILITY COMPANIES THAT SERVICE THE AREA PRIOR TO SITE CONSTRUCTION AND SHALL BE INSTALLED PER ORDINANCE REQUIREMENTS.

10. TELEPHONE, ELECTRIC, AND GAS LINES WILL BE INSTALLED UNDERGROUND. CROSSINGS OF PROPOSED PAVEMENTS WILL BE INSTALLED PRIOR TO THE CONSTRUCTION OF PAVEMENT BASE COURSE.

11. UTILITY RELOCATIONS SHOWN HEREON, IF ANY, ARE FOR INFORMATIONAL PURPOSES ONLY AND MAY NOT REPRESENT ALL REQUIRED UTILITY RELOCATIONS. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING AND/OR COORDINATING ALL REQUIRED UTILITY RELOCATIONS IN COOPERATION WITH THE RESPECTIVE UTILITY COMPANY/AUTHORITIES.

12. STORM SEWERS SHALL BE CLASS III (OR HIGHER IF NOTED) REINFORCED CONCRETE PIPE (RCP) WITH "O" RING GASKETS, HIGH DENSITY POLYETHYLENE PIPE (HDPE) OR APPROVED EQUAL AS NOTED. PROPER PIPE COVERAGE SHALL BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION. PIPE LENGTHS SHOWN HEREON ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.

13. REFUSE AND RECYCLABLES SHALL BE STORED ON-SITE, IN DESIGNATED LOCATIONS.

14. TRAFFIC SIGNALING AND STRIPING SHALL CORRESPOND TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.

15. THESE ARE FINAL SITE PLANS AND UNLESS SPECIFICALLY NOTED ELSEWHERE HEREON, IS NOT A SURVEY.

16. BUILDING FOOTPRINT DIMENSIONS SHOWN HEREON ARE APPROXIMATE. FINAL BUILDING FOOTPRINT DIMENSIONS FOR EACH BUILDING SHALL BE FURNISHED ON THE INDIVIDUAL PLOT PLANS/ARCHITECTURAL PLANS AT THE TIME OF APPLICATION FOR A BUILDING PERMIT. ALL STRUCTURES SHALL CONFORM TO THE APPROVED BUILD ZONING REQUIREMENTS.

17. DO NOT SCALE DRAWINGS AS THEY PERTAIN TO ADJACENT AND SURROUNDING PHYSICAL CONDITIONS, BUILDINGS, STRUCTURES, ETC. THEY ARE SCHEMATIC ONLY, EXCEPT WHERE DIMENSIONS ARE SHOWN THEREON.

18. THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL APPROVALS REQUIRED HAVE BEEN OBTAINED. ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED AND THE DRAWINGS HAVE BEEN STAMPED "ISSUED FOR CONSTRUCTION". THIS SHALL INCLUDE APPROVAL OF ALL CATALOG CUTS, SHOP DRAWINGS AND/OR DESIGN CALCULATIONS AS REQUIRED BY THE PROJECT OWNER AND/OR MUNICIPALITY.

19. EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION. HIS SATISFACTION PRIOR TO EXCAVATION WHERE EXISTING UTILITIES ARE TO BE CROSSED BY PROPOSED CONSTRUCTIONS, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING INVERTS, MATERIALS, AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS. THE CONTRACTOR SHALL NOTIFY THE UNDER SIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON. SUCH CONDITIONS COULD RENDER THE DESIGNS HEREON INAPPROPRIATE OR INEFFECTIVE.

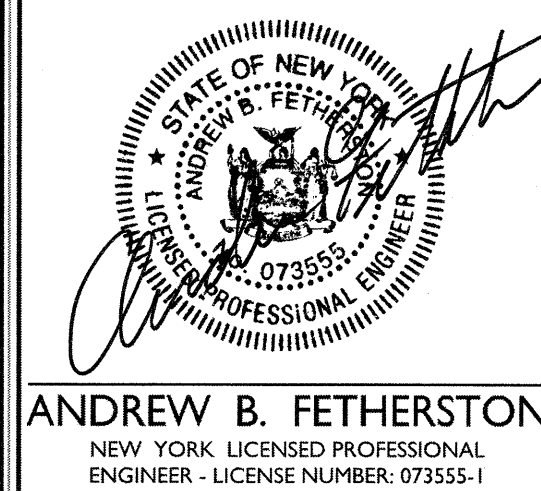
20. THIS SET OF PLANS DOES NOT DEPICT ENVIRONMENTAL CONDITIONS OR A CERTIFICATION/WARRANTY REGARDING THE PRESENCE OR ABSENCE OF ENVIRONMENTALLY IMPACTED SITE CONDITIONS. MASER CONSULTING HAS PERFORMED NO EXPLORATORY OR TESTING SERVICES, INTERPRETATIONS, CONCLUSIONS OR OTHER SITE ENVIRONMENTAL SERVICES RELATED TO THE DETERMINATION OF THE POTENTIAL FOR CHEMICAL, TOXIC, RADIOACTIVE OR OTHER TYPE OF CONTAMINANTS AFFECTING THE PROPERTY AND THE UNDERSIGNED PROFESSIONAL IS NOT QUALIFIED TO DETERMINE THE EXISTENCE OF SAME. SHOULD ENVIRONMENTAL CONTAMINATION OR WASTE BE DISCOVERED, THE OWNER AND CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LAWS AND REGULATIONS.

21. THE CONTRACTOR IS RESPONSIBLE FOR PROJECT SAFETY, INCLUDING PROVISION OF ALL APPROPRIATE SAFETY DEVICES AND TRAINING REQUIRED.

22. INFORMATION SHOWN HEREON IS INCORPORATED WITH THE CONTENTS OF THE FOLLOWING REPORTS:

- "STORMWATER POLLUTION PREVENTION PLAN (SWPPP) PREPARED FOR MARLBORO ON HUDSON, PREPARED BY MASER CONSULTING, P.A. DATED JUNE 2018.

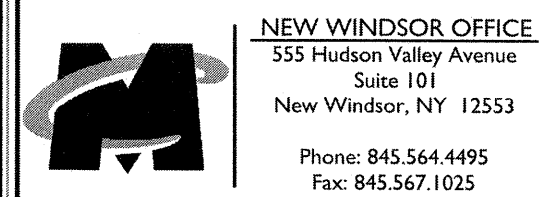
23. THESE GENERAL NOTES SHALL APPLY TO ALL SHEETS IN THIS SET.

[illegible]

SITE PLAN  
FOR  
MARLBORO ON  
HUDSON

SECTION 108.12  
BLOCK 8  
LOT 23

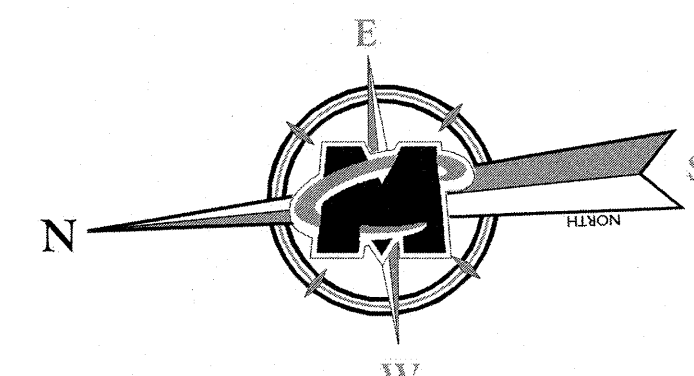
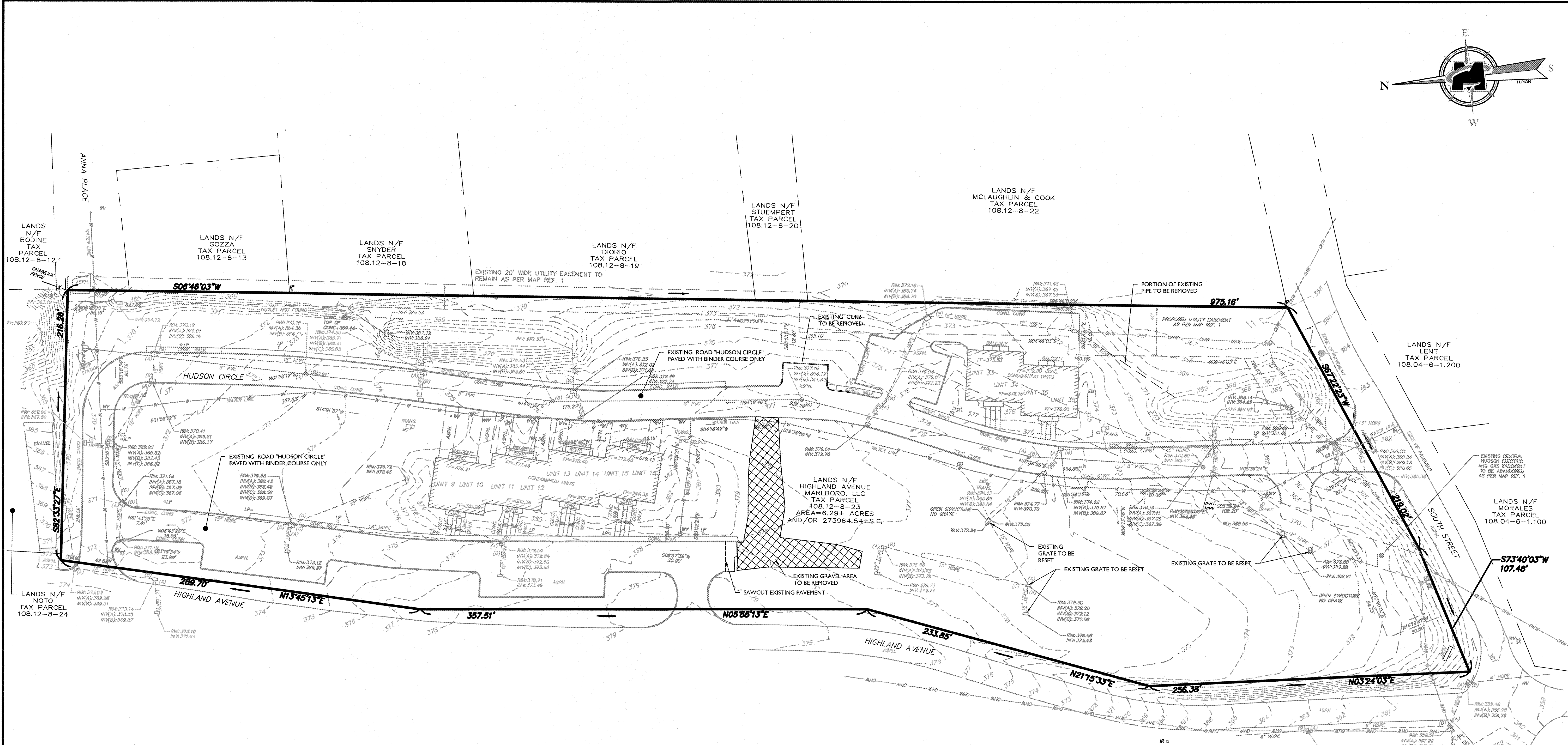
TOWN OF MARLBOROUGH  
ULSTER COUNTY  
NEW YORK STATE



SCALE:	DATE:	DRAWN BY:	CHECKED BY:
AS SHOWN	06/18/2018	CPM	ABF
PROJECT NUMBER: 03021BF		DRAWING NAME: C-CVER	
SHEET TITLE:  <div style="text-align: center; font-size: 2em;">COVER SHEET</div>			
SHEET NUMBER: <div style="display: flex; justify-content: space-around; align-items: center;"><div style="font-size: 2em;">01</div><div>of</div><div style="font-size: 2em;">12</div></div>			



03/03/2021 10:45:00 AM C:\Users\maser\OneDrive\Documents\108.12-8-23\108.12-8-23.dwg By: CHEN/CHEN



**DEMOLITION NOTES:**

- IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR SHALL BE REQUIRED TO CALL THE BOARD OF PUBLIC UTILITIES ONE CALL DAMAGE PROTECTION SYSTEM FOR UTILITY MARK OUT IN ADVANCE OF ANY EXCAVATION, DIG SAFELY, NEW YORK, 1-800-962-7962 OR 811. A PRE-DEMOLITION CONFERENCE WILL NEED TO BE ARRANGED WITH DIG SAFELY, NEW YORK AND MUST BE HELD A MINIMUM OF 7 DAYS BEFORE THE START OF ANY DEMOLITION.
- CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING SITE IMPROVEMENTS AND UTILITIES. ALL DISCREPANCIES SHALL BE IDENTIFIED TO THE ENGINEER IN WRITING.
- ALL DEMOLITION DEBRIS TO BE REMOVED BY CONTRACTOR IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.
- ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN ACCORDANCE WITH THESE PLANS, AS WELL AS ALL FEDERAL, STATE AND LOCAL REGULATIONS. ANY DISCREPANCIES OR DEVIATIONS SHALL BE IDENTIFIED BY THE CONTRACTOR TO MASER CONSULTING, P.A. IN WRITING FOR RESOLUTION PRIOR TO INITIATION OF SITE ACTIVITY.
- PRIOR TO STARTING ANY DEMOLITION CONTRACTOR IS RESPONSIBLE FOR/TO:
  - ENSURING COPIES OF ALL PERMITS AND APPROVALS MUST BE MAINTAINED ON SITE AND AVAILABLE FOR REVIEW (SEE "EROSION AND SEDIMENT CONTROL PLAN," THIS DRAWING SET).
  - INSTALLING THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE.
  - ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE, THE CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES.
  - PROTECTING AND MAINTAINING IN OPERATION, ALL ACTIVE SYSTEMS THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES.
  - FAMILIARIZING THEMSELVES WITH THE APPLICABLE UTILITY SERVICE PROVIDER AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING PROVIDER AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION REQUIRED FOR THE PROJECT. THE CONTRACTOR SHALL PROVIDE THE OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTION AND UTILITY COMPANY REQUIREMENTS.
- COORDINATION WITH UTILITY COMPANIES AND TOWN OF MARLBOROUGH REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES.
- MASER CONSULTING, P.A. IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. CONTRACTOR IS TO PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL THE O.S.H.A. REQUIREMENTS, TO ENSURE PUBLIC AND CONTRACTOR SAFETY.
- THE CONTRACTOR SHALL PROVIDE ALL THE "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE DEMOLITION CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OR DAMAGE TO ALL ITEMS THAT ARE TO REMAIN AS A RESULT OF HIS ACTIVITIES. ALL REPAIRS SHALL USE NEW MATERIAL. THE REPAIRS SHALL RESTORE THE ITEM TO THE PRE-DEMOLITION CONDITION.
- THE CONTRACTOR SHALL PERFORM EARTH MOVEMENT ACTIVITIES, DEMOLITION AND REMOVAL OF ALL FOUNDATION WALLS, FOOTINGS, AND OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE IN ACCORDANCE WITH DIRECTION BY OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER.

- ROCK EXCAVATIONS WILL BE PERFORMED BY MECHANICAL MEANS. ALL THE REQUIRED PERMITS AND CONTROL MEASURES THAT ARE REQUIRED BY THE FEDERAL, STATE AND LOCAL GOVERNMENTS SHALL BE IN PLACE PRIOR TO STARTING. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL INSPECTION AND SEISMIC VIBRATION TESTING THAT IS REQUIRED TO MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES, AS APPLICABLE.
- CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL, AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL," AS WELL AS FEDERAL, STATE, AND LOCAL REGULATIONS WHEN DEMOLITION RELATED ACTIVITIES IMPACT ROADWAYS OR ROADWAY RIGHTS-OF-WAY.
- CONDUCT DEMOLITION ACTIVITIES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND OTHER ADJACENT FACILITIES. STREET CLOSURE PERMITS MUST BE RECEIVED FROM THE APPROPRIATE GOVERNMENTAL AUTHORITY.
- DEMOLITION ACTIVITIES AND EQUIPMENT SHALL NOT USE AREAS OUTSIDE THE DEFINED PROPERTY LINE WITHOUT WRITTEN PERMISSION OF THE OWNER, AND/OR APPROPRIATE GOVERNMENT AGENCY.
- USE DUST CONTROL MEASURES TO LIMIT AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR IN ACCORDANCE WITH FEDERAL, STATE, AND/OR LOCAL STANDARDS. AFTER THE DEMOLITION IS COMPLETE, ADJACENT STRUCTURES AND IMPROVEMENTS SHALL BE CLEANED OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRE-DEMOLITION" CONDITION.
- THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING ITEMS/CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION OTHER THAN THAT ALL METHODS AND MEANS ARE TO BE IN ACCORDANCE WITH STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL O.S.H.A. AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE.
- DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL DEMOLITION WASTES AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL TOWN, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES.
- DEMOLITION SHALL NOT PROCEED UNTIL THE APPROXIMATE LOCATION OF THE EXISTING UTILITIES ARE MARKED IN THE FIELD AND ALL UTILITY CONNECTIONS ARE SUITABLY SHUT OFF AND DISCONNECTED AND PROPER DEMOLITION PERMITS ARE IN PLACE WITH THE TOWN.
- CONTRACTOR IS RESPONSIBLE TO RESTORE ALL DISTURBED SITE AREAS TO ORIGINAL CONDITION AS DIRECTED BY THE OWNER.
- PROTECT ALL EXISTING UTILITIES TO REMAIN (INCLUDING DRAINAGE STRUCTURES, HYDRANTS, VALVES, SEWER MANHOLES, ETC.) DURING DEMOLITION. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGES CAUSED BY HIMSELF OR SUB-CONTRACTORS.
- EXISTING DRAIN INLETS TO BE ADJUSTED TO MATCH PROPOSED GRADE.

**LEGEND**

	EASEMENT LINE		WETLAND MARKER
	RIGHT OF WAY LINE		TREE
	PROPERTY LINE		ROADWAY SIGN
	EDGE OF PAVEMENT		TRAFFIC FLOW
	CURB LINE		MAILBOX
	DEPRESSED CURB		TRAFFIC SIGNAL POLE
	CHAIN FENCE		POLE MOUNTED LIGHT
	WETLAND LINE		UTILITY POLE
	MUNICIPAL BOUNDARY		GUY WIRE
	TREE LINE		TRANSFORMER
	ELECTRICAL MANHOLE		FIRE DEPT. CONNECTION
	WATER MANHOLE		FIRE HYDRANT
	TELEPHONE MANHOLE		WATER VALVE
	UNMARKED MANHOLE		GAS VALVE
	SANITARY MANHOLE		SANITARY CLEANOUT
	DRAINAGE MANHOLE		CONCRETE MONUMENT
	MAJOR CONTOUR		CAPPED REBAR/IRON PIPE
	MINOR CONTOUR		STORM INLET TYPE 'A'
	SPOT ELEVATION		STORM INLET TYPE 'B'
	TOP OF CURB ELEV.		STM. DBL. INLET TYPE 'B'
	BOTTOM OF CURB ELEV.		STORM INLET TYPE 'E'
	U/G CABLE TV LINE		STM. DBL. INLET TYPE 'E'
	U/G FIBER OPTIC LINE		FLARED END SECTION
	U/G TELEPHONE LINE		HEADWALL
	U/G ELECTRIC LINE		
	OVERHEAD WIRE		
	WATER MAIN		
	GAS MAIN		
	SAN. SEWER LATERAL		
	SAN. SEWER MAIN		
	STORM PIPE		

**ABBREVIATIONS**

D.C. = DEPRESSED CURB	FF = FINISH FLOOR	MHWL = MEAN HIGH WATERLINE
BC = BOTTOM OF CURB	UV = UNKNOWN VALVE	MWL = MEAN LOW WATERLINE
TC = TOP OF CURB	MH = MANHOLE	DEP = DEPRESSED
DCL = DOLLARD	CL = CENTERLINE	TW = TOP OF WALL
GR = GRATE	PM = PARKING METER	BW = BOTTOM WALL
MB = MAILBOX		

**MAP REFERENCE:**

- MAP PREPARED BY MASER CONSULTING, P.A. AND ENTITLED "FINAL SITE PLAN, CONDOMINIUM PLAN FOR PINE VIEW CORNERS, SECTION 108.12, BLOCK 8, LOT 23, TOWN OF MARLBOROUGH, ULSTER COUNTY, STATE OF NEW YORK," DATED 4/8/2004

**NOTE:**

- BOUNDARY INFORMATION TAKEN FROM MAP REFERENCE ENTITLED "AS-BUILT SURVEY FOR HIGHLAND AVENUE MARLBORO, LLC," BY MASER CONSULTING, P.A. DATED APRIL 18, 2018

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■ Mt. Laurel, NJ	■ Miami, FL
■ Albany, NY	■ Sterling, VA
■ New Windsor, NY	■ Norfolk, VA
■ Westchester, NY	■ Albuquerque, NM
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**811**

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DISCUSSION	REVIEW PER PLANNING BOARD COMMENTS
DRAWN BY	CPM
DATE	8/18/2018
REV	1

STATE OF NEW YORK  
ANDREW B. FETHERSTON  
PROFESSIONAL ENGINEER  
073555-1

**ANDREW B. FETHERSTON**  
NEW YORK LICENSED PROFESSIONAL ENGINEER - LICENSE NUMBER: 073555-1

**SITE PLAN**

FOR  
**MARLBORO ON HUDSON**

SECTION 108.12  
BLOCK 8  
LOT 23

TOWN OF MARLBOROUGH  
ULSTER COUNTY  
NEW YORK STATE

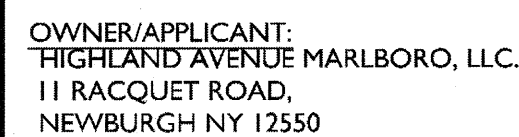
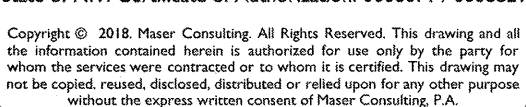
**NEW WINDSOR OFFICE**  
555 Hudson Valley Avenue  
Suite 101  
New Windsor, NY 12553  
Phone: 845.564.4495  
Fax: 845.567.1025

SCALE: AS SHOWN  
DATE: 06/18/2018  
DRAWN BY: CPM  
CHECKED BY: ABF  
PROJECT NUMBER: 030218F  
DRAWING NAME: C-DEMO

SHEET TITLE:  
**SITE DEMOLITION PLAN**

SHEET NUMBER:  
02 of 12





**EXISTING TAX LOTS:**  
108.12-8-23  
+/-273,964.54 SQ. FT.  
±6.29 ACRES

ZONING  
R (RESIDENTIAL DISTRICT)

**BULK TABLE**  
 ZONE: R (RESIDENTIAL DISTRICT)  
 SPECIAL USE PERMIT: (4C) MULTIPLE DWELLINGS.

MINIMUM	REQUIRED	PROVIDED	REMARKS
LOT AREA	10,000 SQ. FT. (WITH PUBLIC WATER AND SEWER)	273,964 SQ. FT.	OK
FRONT YARD SETBACK	10 FEET	71 FEET	
REAR YARD SETBACK	20 FEET	30 FEET	OK
SIDE YARD SETBACK			
ONE	10 FEET	55 FEET	OK
BOTH	25 FEET	55 FEET	OK
LOT WIDTH	75 FEET	975 FEET	OK
LOT DEPTH	100 FEET	216 FEET	OK
MAXIMUM			
BUILDING HEIGHT	35 FEET (2 1/2 STORIES)	<35 FEET	OK
LOT BUILDING COVERAGE	30%	18.4% (50,444 SQ.FT.)	OK

**PARKING REGULATIONS:**

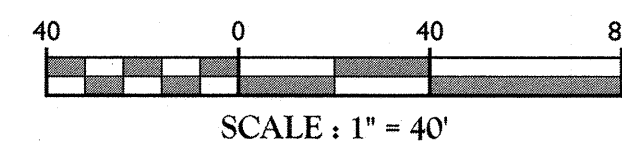
**REQUIRED :**  
 MULTIPLE DWELLINGS 1.5 SPACES FOR EACH DWELLING UNIT. (ROUNDED DOWN TO A WHOLE NUMBER)  
 12 UNITS (EXISTING) + 24 UNITS (PROPOSED)= 36 UNITS TOTAL \* 1.5 SPACES/ UNIT = 54 SPACES REQUIRED.

PROVIDED:	
1 GARAGE SPACE PER UNIT(36)	= 36 SPACES
1 DRIVEWAY SPACE PER UNIT (36)	= 36 SPACES
GUEST AND ADA SPACES	= 44 SPACES
TOTAL PROPOSED SPACES	= 116 SPACES

NOTES:

- I. BOUNDARY INFORMATION TAKEN FROM MAP REFERENCE ENTITLED "AS-BUILT SURVEY FOR HIGHLAND AVENUE MARLBORO, LLC." BY MASER CONSULTING, P.A. DATED APRIL 18, 2018

EXISTING	LEGEND	PROPOSED
	TRAVERSE LINE, CENTER LINE OR BASELINE (LABEL AS SUCH)	
	RIGHT OF WAY LINE	
	PROPERTY LINE	
	EDGE OF PAVEMENT	
	CURB	
	DEPRESSED CURB	
	SIDEWALK	
	FENCES	
	TREELINE	
	ROADWAY SIGNS	
	WETLAND LINE	
	MUNICIPAL BOUNDARY LINE	
	STALL COUNT	
	ADA ACCESSIBLE STALL	
	DEPRESSED CURB AND ADA RAMP	
	DIRECTION OF TRAFFIC FLOW	

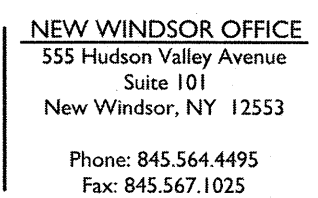


## SITE PLAN

FOR  
MARLBORO ON  
HUDSON

SECTION 108.12  
BLOCK 8  
LOT 23

TOWN OF MARLBOROUGH  
ULSTER COUNTY  
NEW YORK STATE

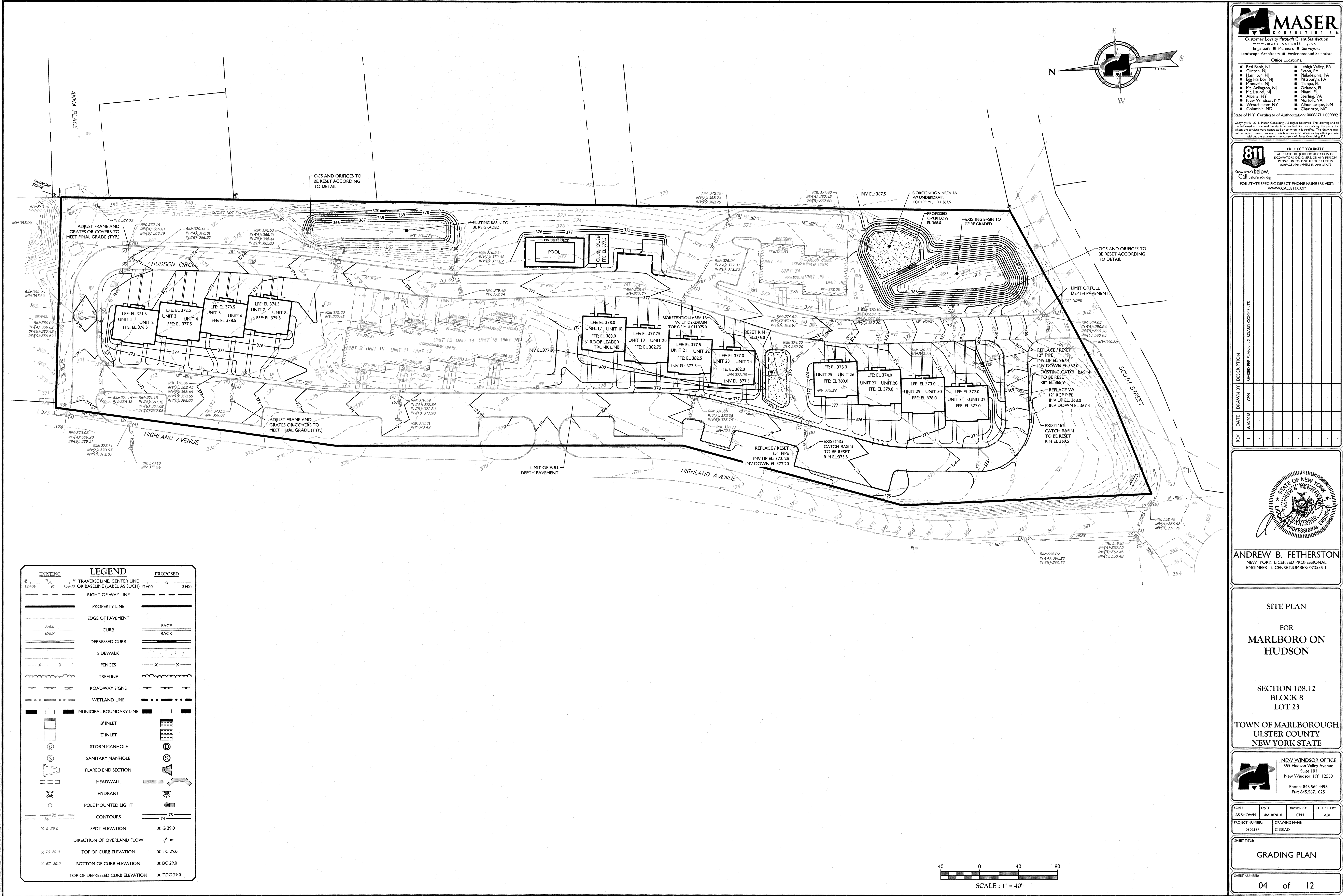


SCALE: AS SHOWN	DATE: 06/18/2018	DRAWN BY: CPM	CHECKED BY: ABF
PROJECT NUMBER: 030218F		DRAWING NAME: C-LAYT	

## LAYOUT AND DIMENSION PLAN

SHEET NUMBER: 03 of 12





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■ Albany, NY ■ Miami, FL  
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**ANDREW B. FETHERSTON**  
NEW YORK LICENSED PROFESSIONAL ENGINEER - LICENSE NUMBER: 07355-1

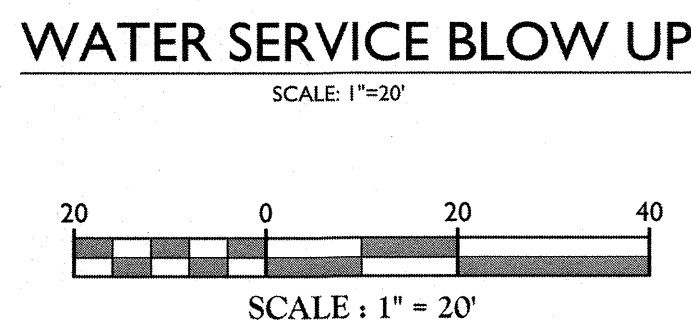
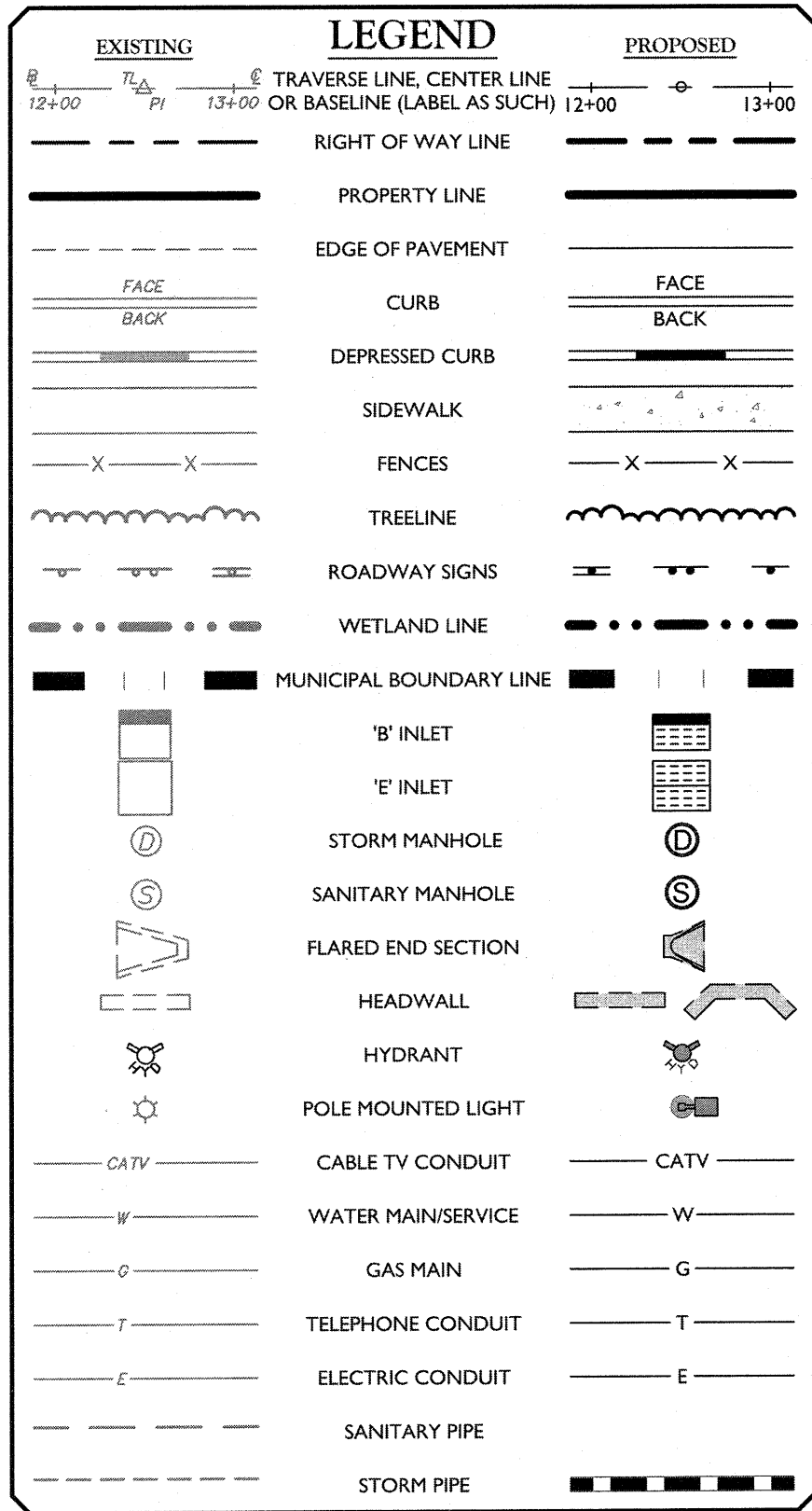
**SITE PLAN**  
  
FOR  
**MARLBORO ON HUDSON**  
  
  
**SECTION 108.12**  
**BLOCK 8**  
**LOT 23**  
  
**TOWN OF MARLBOROUGH**  
**ULSTER COUNTY**  
**NEW YORK STATE**

**NEW WINDSOR OFFICE**  
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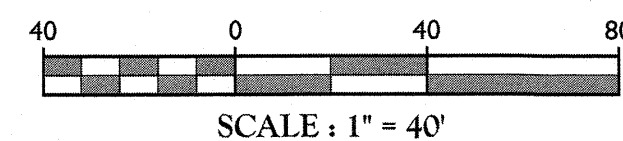
SCALE: AS SHOWN	DATE: 06/18/2018	DRAWN BY: CPM	CHECKED BY: ABF
PROJECT NUMBER: 030218F	DRAWING NAME: C-GRAD		
SHEET TITLE: <b>GRADING PLAN</b>			
SHEET NUMBER: <b>04 of 12</b>			

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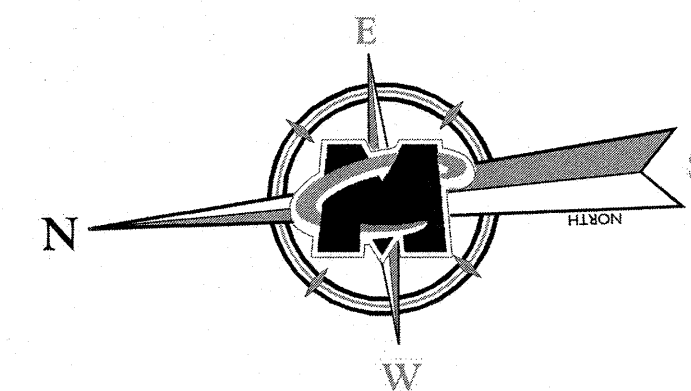




1. MAP PREPARED BY MASER CONSULTING, P.A. AND ENTITLED "FINAL SITE PLAN, CONDOMINIUM PLAN FOR PINE VIEW CORNERS, SECTION 108.12, BLOCK 8, LOT 23, TOWN OF MARLBOROUGH, ULSTER COUNTY, STATE OF NEW YORK" DATED 4/8/2004



SCALE : 1" = 40'

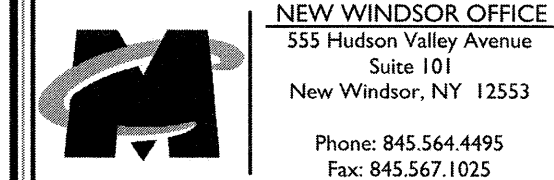
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**ANDREW B. FETHERSTON**  
NEW YORK LICENSED PROFESSIONAL  
ENGINEER - LICENSE NUMBER: 073555-1

FOR  
MARLBORO ON  
HUDSON

SECTION 108.12  
BLOCK 8  
LOT 23

TOWN OF MARLBOROUGH  
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PROJECT NUMBER: 030218F		DRAWING NAME: C-UTIL	

## UTILITIES PLAN

SHEET NUMBER:  
05 of 12



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## GENERAL SOIL EROSION AND SEDIMENT CONTROL NOTES

- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 14 DAYS FOR DISTURBANCES LESS THAN FIVE (5) ACRES AND 7 DAYS FOR DISTURBANCES GREATER THAN FIVE (5) ACRES, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO STATE STANDARDS.
- PERMANENT VEGETATION TO BE SEED OR SODDED ON ALL EXPOSED AREAS WITHIN FIVE (5) DAYS AFTER FINAL GRADING. MULCHING IS REQUIRED ON ALL SEEDING. WHEN HYDROSEEDING, MULCH SHALL NOT BE INCLUDED IN THE TANK WITH THE SEED.
- ALL WORK TO BE DONE IN ACCORDANCE WITH THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
- A SUBBASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS TO STABILIZE STREETS, ROADS, DRIVEWAYS, AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUBBASE SHALL BE INSTALLED WITHIN FIVE (5) DAYS OF THE PRELIMINARY GRADING.
- FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO STATE STANDARDS.
- ANY STEEP SLOPES RECEIVING PIPELINE INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION CONTINUES (I.E. SLOPES GREATER THAN 3:1).
- THE STANDARD FOR STABILIZED CONSTRUCTION ACCESS REQUIRES THE INSTALLATION OF A STONE PAD, AT ALL CONSTRUCTION DRIVEWAYS, IMMEDIATELY AFTER INITIAL SITE DISTURBANCE.
- IN ACCORDANCE WITH THE STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS, ANY SOIL HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDES SHALL BE COVERED WITH A MINIMUM OF TWELVE (12) INCHES OF SOIL HAVING A PH OF 5 OR MORE PRIOR TO SEEDBED PREPARATION. AREAS WHERE TREES OR SHRUBS ARE TO BE PLANTED SHALL BE COVERED WITH A MINIMUM OF TWENTY-FOUR (24) INCHES OF SOIL HAVING A PH OF 5 OR MORE.
- AT THE TIME THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER, SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT IT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.
- CONDUIT OUTLET PROTECTION MUST BE REVIEWED & SUPPLEMENTED AT ALL OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.
- UNFILTERED DEWATERING IS NOT PERMITTED. TAKE ALL NECESSARY PRECAUTIONS DURING ALL DEWATERING OPERATIONS TO MINIMIZE SEDIMENT TRANSFER. ANY DEWATERING METHODS USED MUST BE IN ACCORDANCE WITH STATE STANDARDS.
- SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET. TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED IN ACCORDANCE WITH STATE STANDARDS FOR EROSION CONTROL.
- ALL SOIL WASHED, DROPPED, SPILLED, OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHT-OF-WAY WILL BE REMOVED IMMEDIATELY.

- THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ANY EROSION AND SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.
- STOCKPILE AND STAGING LOCATIONS DETERMINED IN THE FIELD, SHALL BE PLACED WITHIN THE LIMITS OF DISTURBANCE ACCORDING TO THE CERTIFIED PLAN.
- CONCRETE WASHOUT, DUMPSTER, & STAGING AREA LOCATIONS SHALL BE DETERMINED BY THE CONTRACTOR AND APPROVED AT THE PRE-CONSTRUCTION MEETING. THEY SHALL BE PLACED IN THE PROXIMITY OF THE CONSTRUCTION ENTRANCE AND STAGING AREAS AND SHALL BE USED PRIOR TO EXITING THE PROJECT SITE. THE LOCATION SHALL BE IN A PRACTICAL, CLEARLY DELINEATED, AREA AND BE MAINTAINED THROUGHOUT CONSTRUCTION.
- ALL SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
- ALL PERMANENT SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED BY THE PROPERTY OWNER, AND SHALL BECOME THEIR RESPONSIBILITY.
- PAVEMENT AREAS ARE TO BE KEPT CLEAN AT ALL TIMES.
- DURING CONSTRUCTION, ANY ADDITIONAL CONTROL MEASURES AS DEEMED NECESSARY TO PREVENT EROSION OR CONTROL SEDIMENT BEYOND THOSE MEASURES SHOWN ON THE APPROVED PLAN SHALL BE INSTALLED OR EMPLOYED AT THE DIRECTION OF THE MUNICIPAL ENGINEER.
- ALL TEMPORARY, STRUCTURAL EROSION AND SEDIMENT CONTROL MEASURES CAN BE REMOVED, WHEN ALL CONSTRUCTION ACTIVITY IDENTIFIED IN THE SWPPP HAS BEEN COMPLETED, ALL AREAS OF DISTURBANCE HAVE ACHIEVED FINAL STABILIZATION\*\* AND ALL POST-CONSTRUCTION STORMWATER MANAGEMENT PRACTICES HAVE BEEN CONSTRUCTED IN CONFORMANCE WITH THE SWPPP AND ARE OPERATIONAL.

\*\*FINAL STABILIZATION - MEANS THAT ALL SOIL DISTURBANCE ACTIVITIES HAVE CEASED AND A UNIFORM, PERENNIAL VEGETATIVE COVER WITH A DENSITY OF EIGHTY (80) PERCENT OVER THE ENTIRE PREVIOUS SURFACE HAS BEEN ESTABLISHED; OR OTHER EQUIVALENT STABILIZATION MEASURES, SUCH AS PERMANENT LANDSCAPE MULCHES, ROCK RIP-RAP OR WASHED/CRUSHED STONE HAVE BEEN APPLIED ON ALL DISTURBED AREAS THAT ARE NOT COVERED BY PERMANENT STRUCTURES, CONCRETE OR PAVEMENT.

### MAINTENANCE PLAN DURING CONSTRUCTION:

INSPECTION AND MAINTENANCE SHALL BE PERFORMED IN CONFORMANCE WITH GP-0-15-002. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF-PRODUCING RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED AND INSTALLED FOR THE PROJECT. THE SEDIMENT TRAPS WILL BE CLEANED OUT WHEN THE LEVEL OF SEDIMENT REACHES 25% OF ITS CAPACITY. SEDIMENT WILL BE REMOVED FROM BEHIND THE SILT FENCE WHEN IT BECOMES APPROXIMATELY 6" DEEP AT THE FENCE. THE SEDIMENT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER. ALL SEEDED AREAS WILL BE FERTILIZED, RE-SEEDDED AS NECESSARY, AND MULCHED ACCORDING TO SPECIFICATIONS IN THE LANDSCAPE PLAN TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.

NOTE: DURING THE CONSTRUCTION OF A PHASE, EACH SUBSEQUENT PHASE WILL HAVE BEEN CAPPED AND STABILIZED WITH DENSE GRASS COVER.

### MAINTENANCE AGREEMENT NOTE:

THE OWNER/APPLICANT SHALL ENTER INTO AN ENFORCEABLE MAINTENANCE AGREEMENT WITH THE MUNICIPALITY RELATED TO MAINTENANCE OF STORMWATER FACILITIES. THE OWNER/APPLICANT IS RESPONSIBLE TO PERFORM ALL REQUIRED MAINTENANCE BOTH DURING CONSTRUCTION AND LONG-TERM. THE NATURE OF THE AGREEMENT IS TO ALLOW THE TOWN TO PERFORM MAINTENANCE AT THEIR OPTION SHOULD THE OWNER/APPLICANT FAIL TO ADEQUATELY MAINTAIN THE SYSTEM AS DETERMINED BY THE MUNICIPAL ENGINEER. MAINTENANCE OF THE STORMWATER SYSTEM SHALL BE PERFORMED IN ACCORDANCE WITH THE APPROVED SWPPP AND DETAIL SHEETS.

## GENERAL CONSTRUCTION SEQUENCE

THE APPLICANT AND THE APPLICANT'S CONTRACTOR ARE REQUIRED TO ATTEND A PRECONSTRUCTION MEETING WITH REPRESENTATIVES FROM THE CITY & TOWN BUILDING DEPARTMENTS, HIGHWAY DEPARTMENTS, ENGINEERS AND ANY OTHER PARTIES DEEMED NECESSARY TO REVIEW ALL PROTOCOLS, BONDING REQUIREMENTS, AGREEMENTS AND THE SEQUENCE AND SCHEDULING OF THE WORK BEING UNDERTAKEN, AS APPLICABLE.

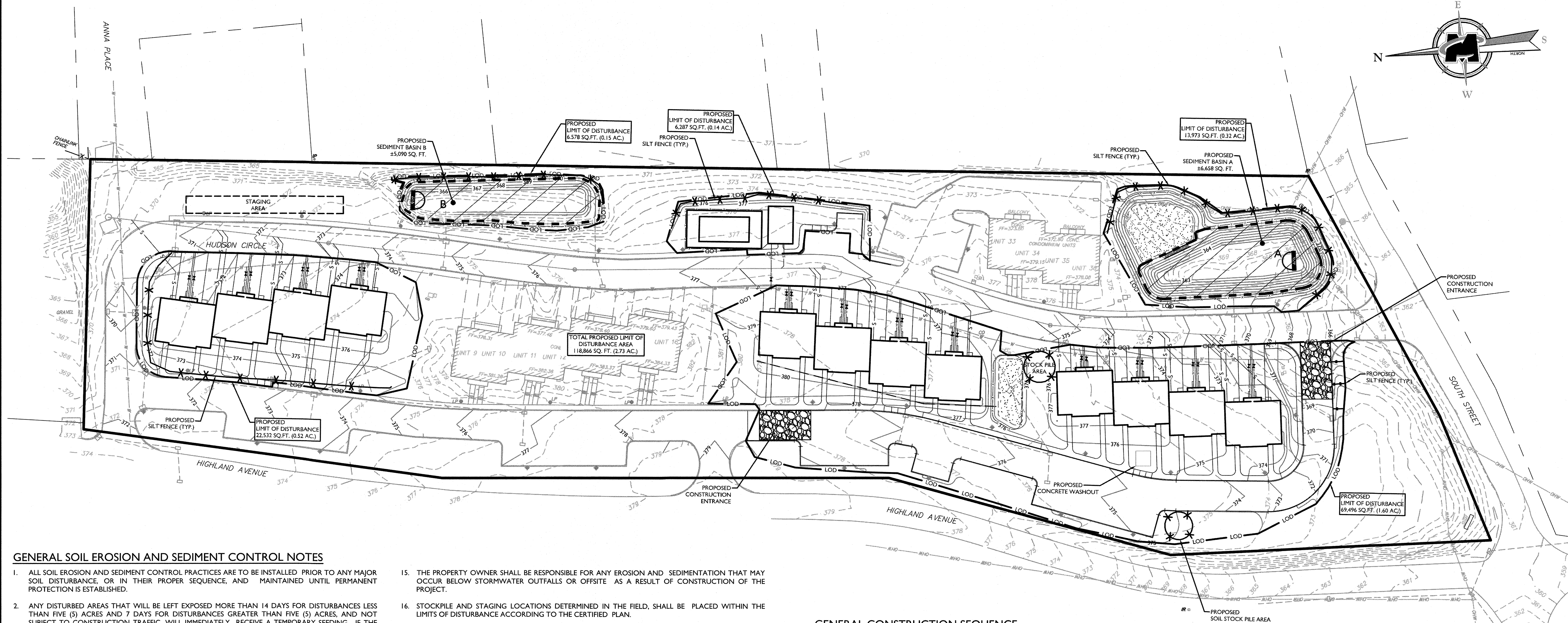
### PHASE I: SITE WORK.

DISTURBANCE AREA = 2.73 ACRES  
TEMP STORAGE REQUIRED = 3,600 CF PER DRAINAGE ACRE = (9,828) CF  
TEMP STORAGE PROVIDED = 47,333 CF.

- CONTRACTOR IS TO INSTALL A CONSTRUCTION ENTRANCE AT THE EXISTING ACCESS FROM SOUTH STREET AND HIGHLAND AVENUE INTO THE SITE. STAGING AND SUPPLIES SHALL BE PLACED NEAR THE EXISTING ENTRANCES.
- THE CONTRACTOR SHALL INSTALL ALL EROSION CONTROL MEASURES INCLUDING INLET PROTECT FOR EXISTING CATCH BASINS, SILT FENCE AND SOCK, AND STONE OUTLET SEDIMENT TRAP.
- CONTRACTOR SHALL INSTALL TWO (2) TEMPORARY SEDIMENT TRAPS, TEMPORARY DIVERSION SWALES, AND SILT FENCE AS SHOWN ON THE EROSION AND SEDIMENT CONTROL PLAN. CONTRACTOR TO CONSTRUCT ADDITIONAL TEMPORARY DIVERSION SWALES AND SEDIMENT TRAPS AS NEEDED TO DIRECT AND CAPTURE RUNOFF FROM DISTURBED AREAS. LOCATIONS AND SIZE ARE NOTED ON THE PLAN. THESE MAY VARY DEPENDING ON CONTRACTOR SCHEDULE AND APPROACH BUT 3,600 CF OF STORAGE MUST BE PROVIDED AT A MINIMUM PER ACRE OF UPSTREAM DISTURBANCE. SEDIMENT TRAPS SHALL BE INSTALLED IN ACCORDANCE WITH THE PLANS AND DETAILS. SEDIMENT TRAPS AND BASINS SHALL BE SIZED IN ACCORDANCE WITH THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL MANUAL.
- THE CONTRACTOR SHALL GRADE THE SITE AND REMOVE EXCESS MATERIAL AS NECESSARY. THE EXISTING OCKET PONDS WILL BE EXCAVATED AS REQUIRED TO PROVIDE THE PROPER VOLUME. THE PROPOSED BIORETENTION BASINS SHALL BE GRADED AND OVER EXCAVATED WITH THE PLANNING MEDIA NOT BEING INSTALLED AT THIS TIME. THE CONTRACTOR WILL THEN INSTALL ANY REMAINING SITE SITE UTILITIES, AND BUILDING PADS. BUILDING PADS
- DISTURBED SOILS SHALL BE TEMPORARILY STABILIZED AS SOON AS PRACTICAL. MATERIALS STORED IN STOCK PILES SHALL BE CORDONED OFF WITH SILT FENCE PER THE APPROPRIATE SPECIFICATIONS AND DETAILS. THE OPERATOR SHALL INITIATE STABILIZATION MEASURES AS SOON AS PRACTICAL IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN (14) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.
  - TEMPORARY STABILIZATION - MEANS THAT EXPOSED SOIL HAS BEEN COVERED WITH MATERIAL(S) AS SET FORTH IN THE TECHNICAL STANDARD, NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, TO PREVENT THE EXPOSED SOIL FROM ERODING. THE MATERIALS CAN INCLUDE, BUT ARE NOT LIMITED TO, MULCH, SEED AND MULCH, AND EROSION CONTROL MATS (E.G. JUTE TWISTED YARN, EXCELSIOR WOOD FIBER MATS). STABILIZATION SHALL BE MAINTAINED PER SPDES GENERAL PERMIT FOR STORMWATER RUNOFF FROM CONSTRUCTION ACTIVITY, GP-0-15-002 OR AS AMENDED.
- THE CONTRACTOR SHALL GRADE THE REMAINDER OF HUDSON CIRCLE AND STABILIZE WITH SUBBASE AND BINDER COURSE, THEN INSTALLING THE REMAINING CONCRETE CURBING. ONCE THESE AREAS HAVE BEEN STABILIZED THEY BASIN SHALL BE OVER EXCAVATED TO REMOVE SEDIMENTS AND BACKFILLED PER THE

DESIGN REQUIREMENTS INCLUDING GRAVEL DRAINAGE LAYER, PLANTING MEDIA, AND TOP MULCH.

- AFTER COMPLETION OF BUILDING EXTERIOR, GRADE AND SPREAD TOPSOIL ON ALL LAWN AREAS AND SEED, INSTALL SIDEWALKS. MAINTAIN ALL SEEDED AND PLANTED AREAS TO INSURE A VIABLE STABILIZED VEGETATIVE COVER.
- THE PROJECT SITE MUST MEET **FINAL STABILIZATION** CRITERIA PRIOR TO REMOVING ALL EROSION AND SEDIMENT CONTROL DEVICES AND CLOSING OUT THE PROJECT. LITTER AND CONSTRUCTION DEBRIS SHALL BE REMOVED AS PRACTICAL THROUGHOUT THE LIFE OF THE PROJECT.
  - FINAL STABILIZATION** MEANS THAT ALL SOIL DISTURBANCE ACTIVITIES HAVE CEASED AND A UNIFORM, PERENNIAL VEGETATIVE COVER WITH A DENSITY OF EIGHTY (80) PERCENT OVER THE ENTIRE PREVIOUS SURFACE HAS BEEN ESTABLISHED; OR OTHER EQUIVALENT STABILIZATION MEASURES, SUCH AS PERMANENT LANDSCAPE MULCHES, ROCK RIP-RAP OR WASHED/CRUSHED STONE HAVE BEEN APPLIED ON ALL DISTURBED AREAS THAT ARE NOT COVERED BY PERMANENT STRUCTURES, CONCRETE OR PAVEMENT.
- UPON FINAL STABILIZATION BEING MET, CONTRACTOR SHALL CLEAR DRAINAGE PIPES AND STRUCTURES OF ANY SEDIMENT WHICH MAY HAVE ACCUMULATED.
- ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED, AS MAY BE NECESSARY, REQUIRED AND/OR REQUESTED BY AUTHORITIES, TO PREVENT THE INCIDENTAL DISCHARGE OF SILT LADEN RUNOFF FROM ENTERING A WATER COURSE OR A DRAINAGE SYSTEM. THE GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES STATES THAT IT IS UNLAWFUL FOR ANY PERSON TO CAUSE OR CONTRIBUTE TO A VIOLATION OF WATER QUALITY STANDARDS.



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STATE OF NEW YORK  
OFFICE OF THE  
PROFESSIONAL ENGINEER  
AND SURVEYOR  
073555

**SITE PLAN**

FOR  
**MARLBORO ON HUDSON**

**SECTION 108.12  
BLOCK 8  
LOT 23**

**TOWN OF MARLBOROUGH  
ULSTER COUNTY  
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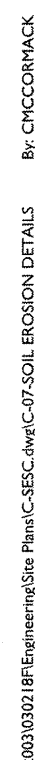
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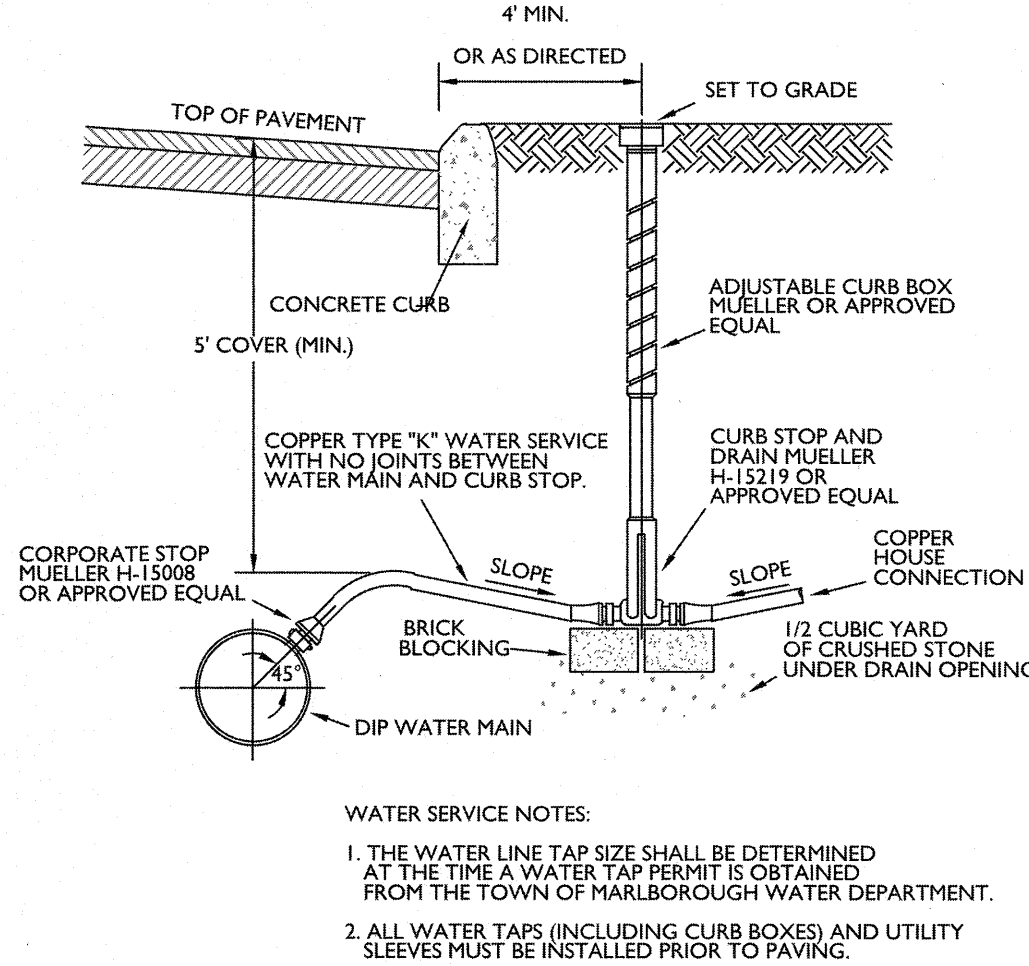
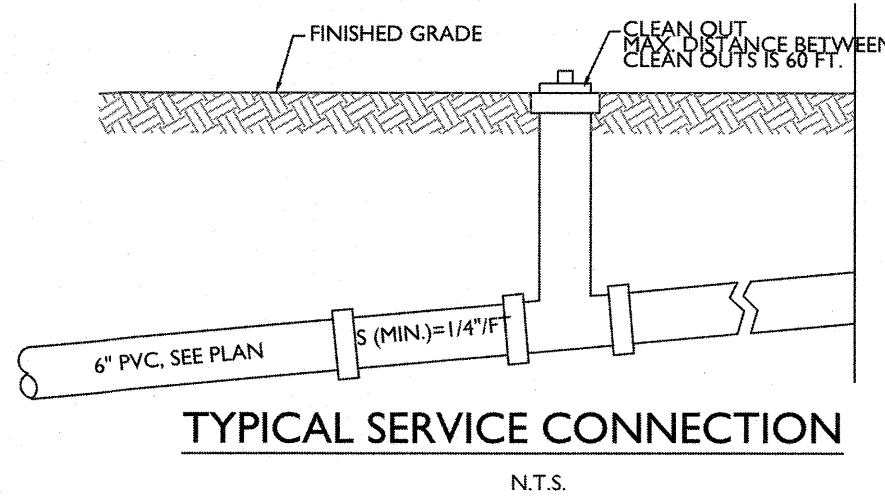
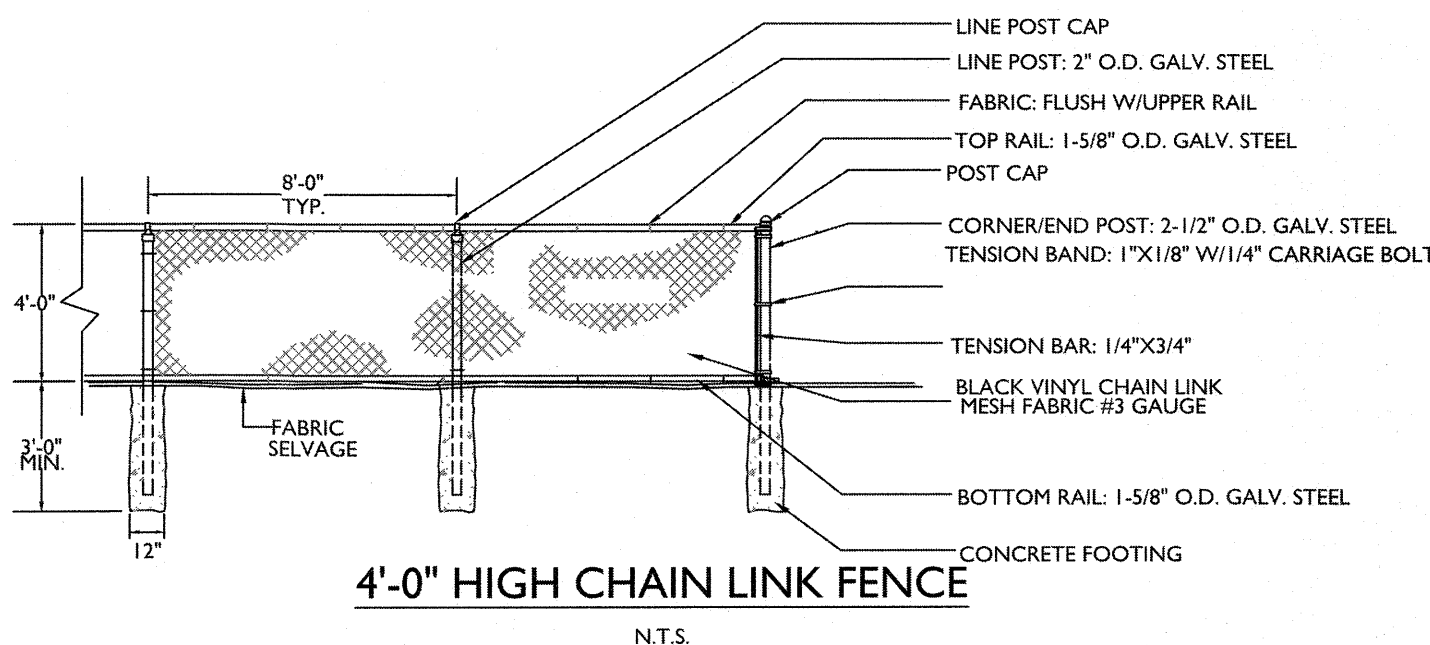
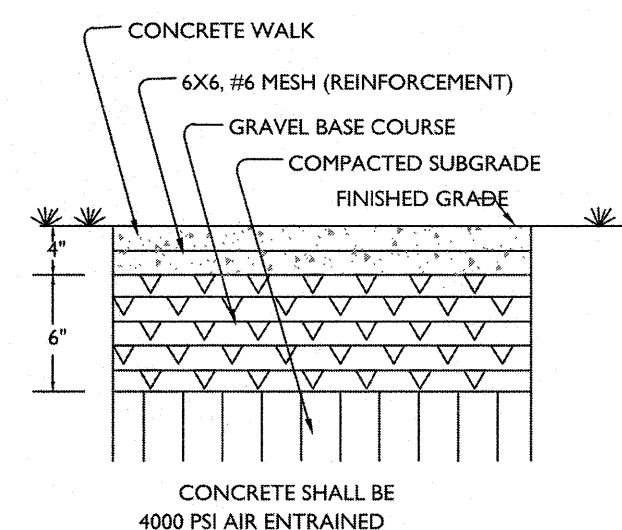
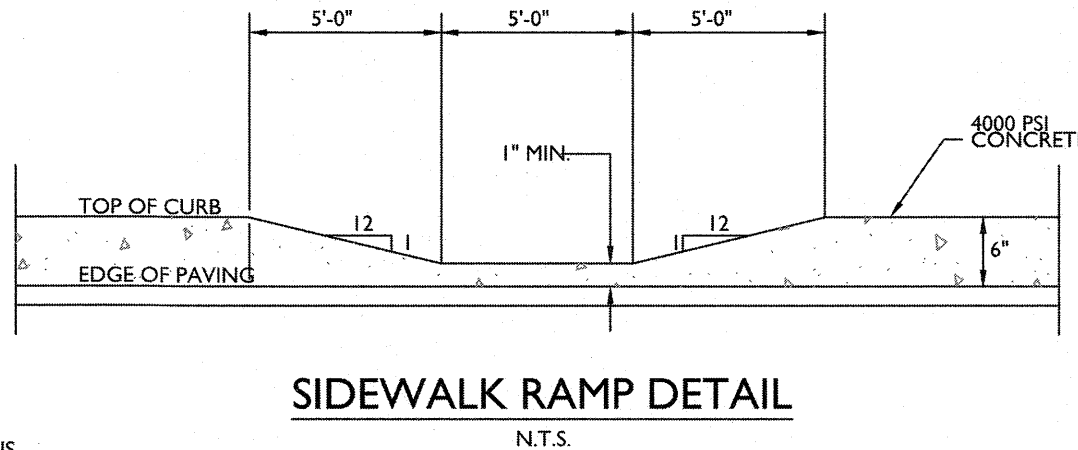
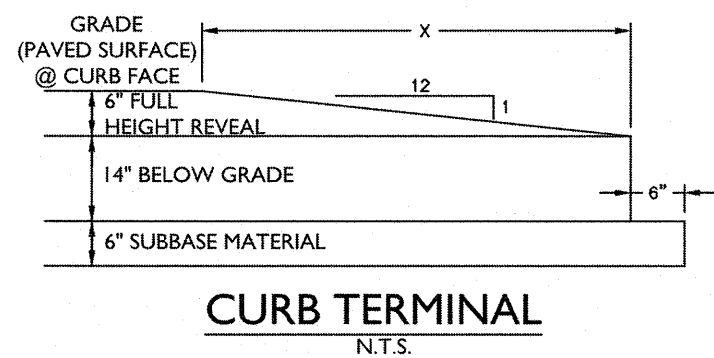
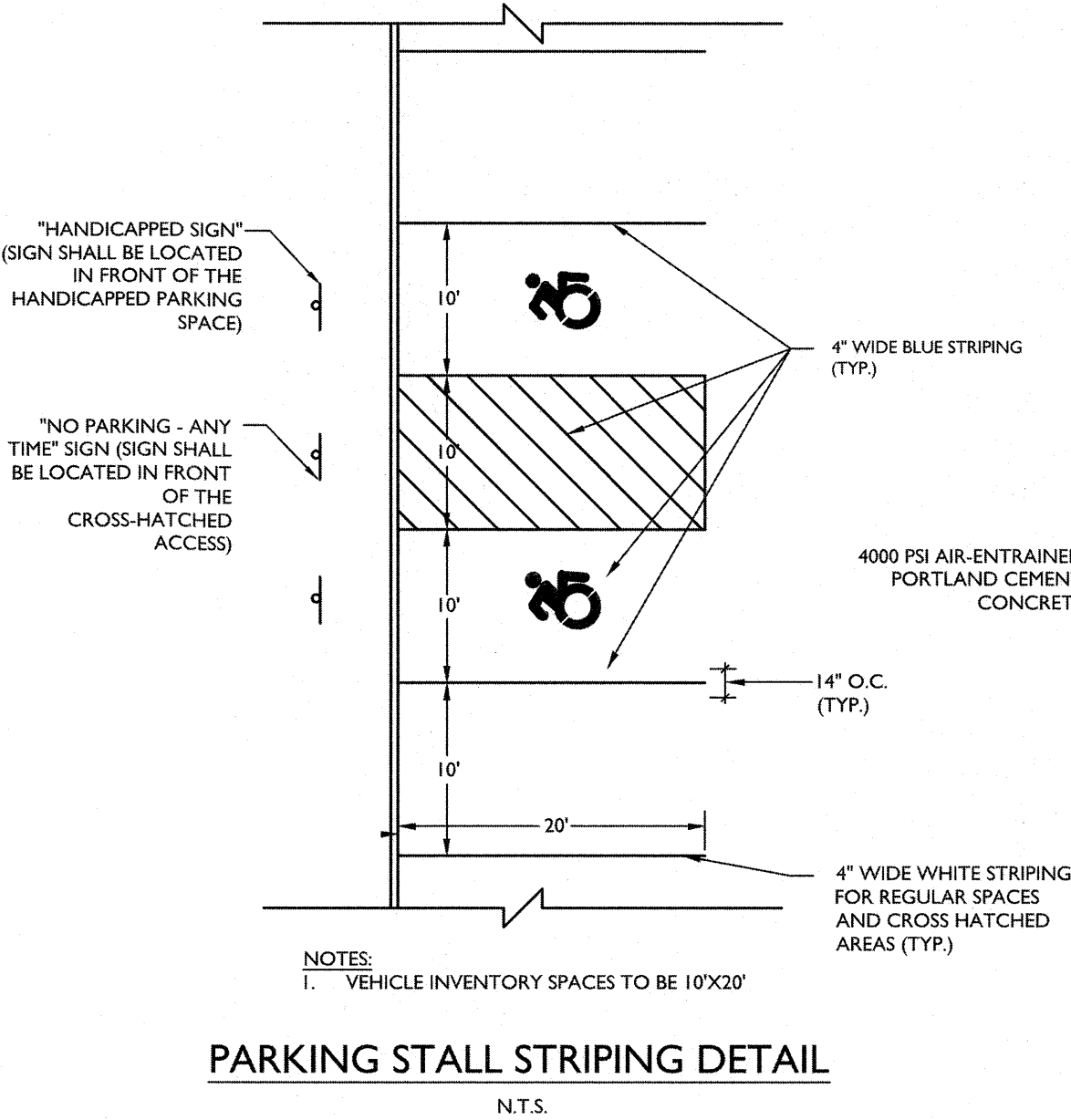
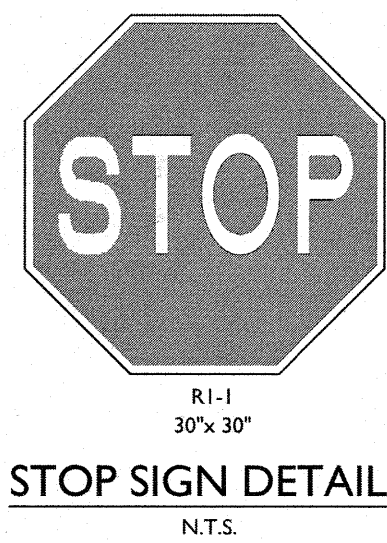
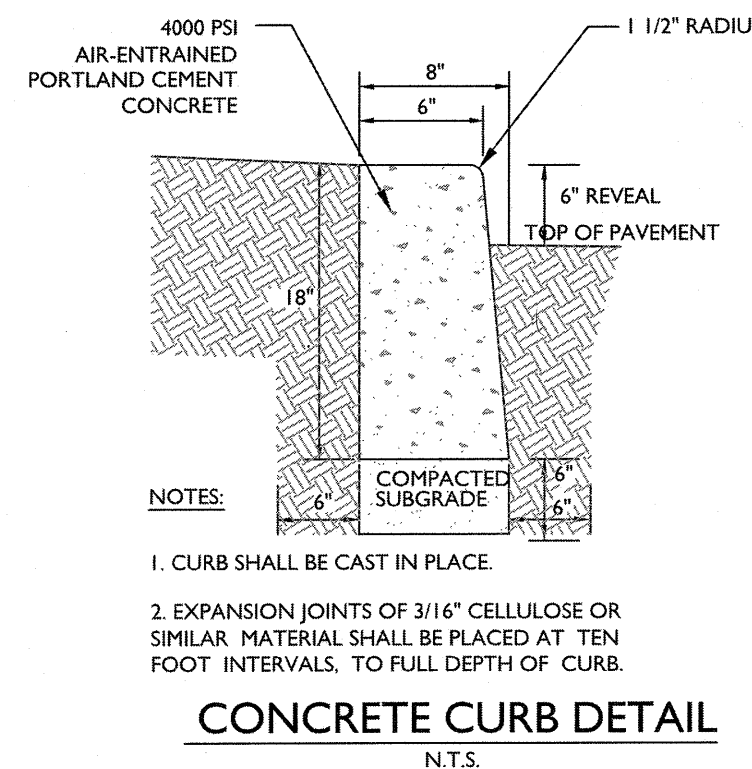
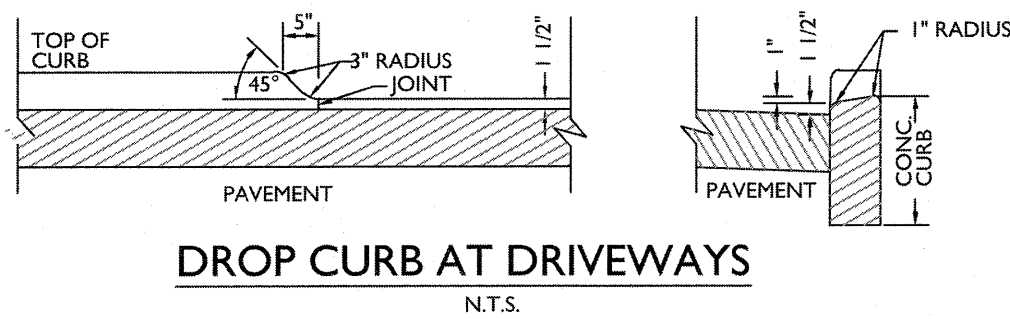
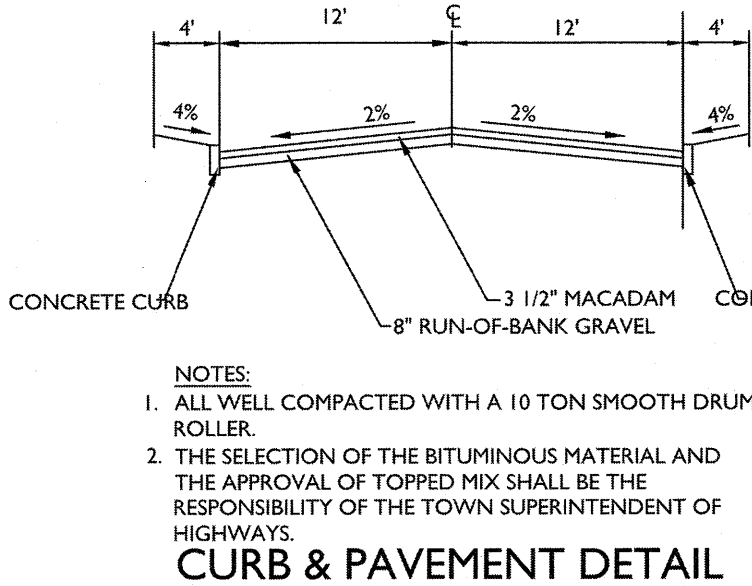
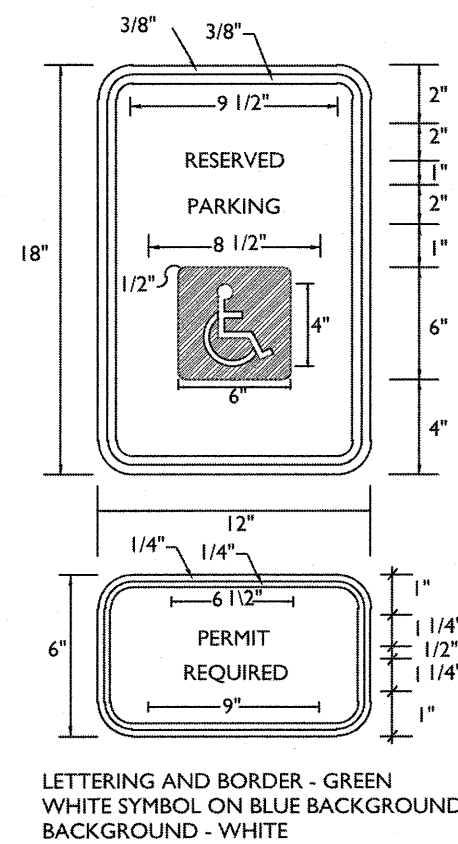
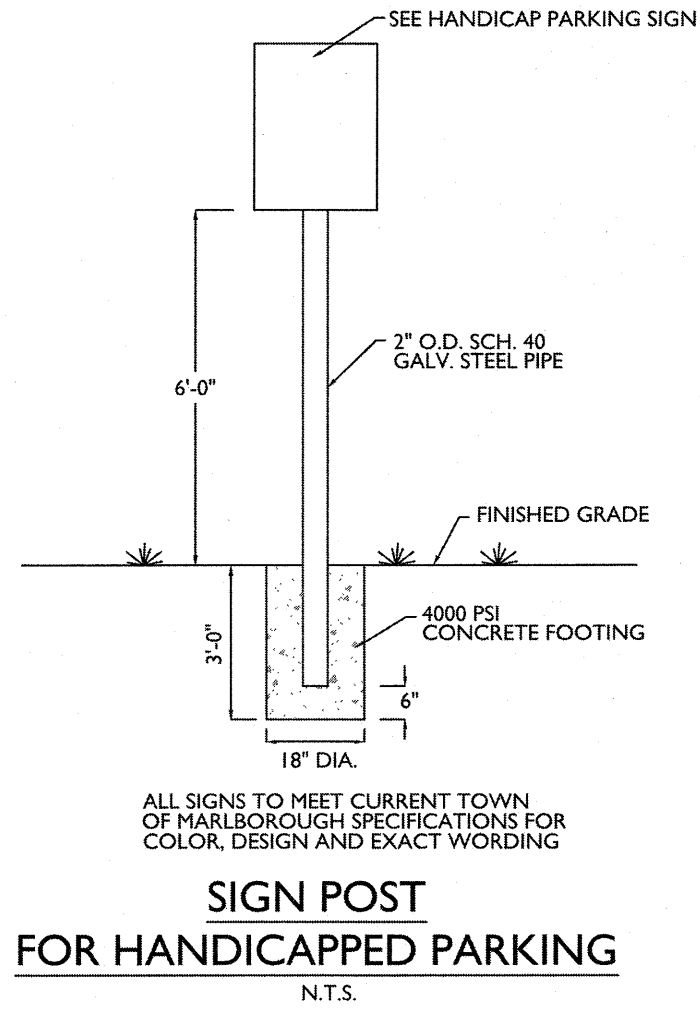
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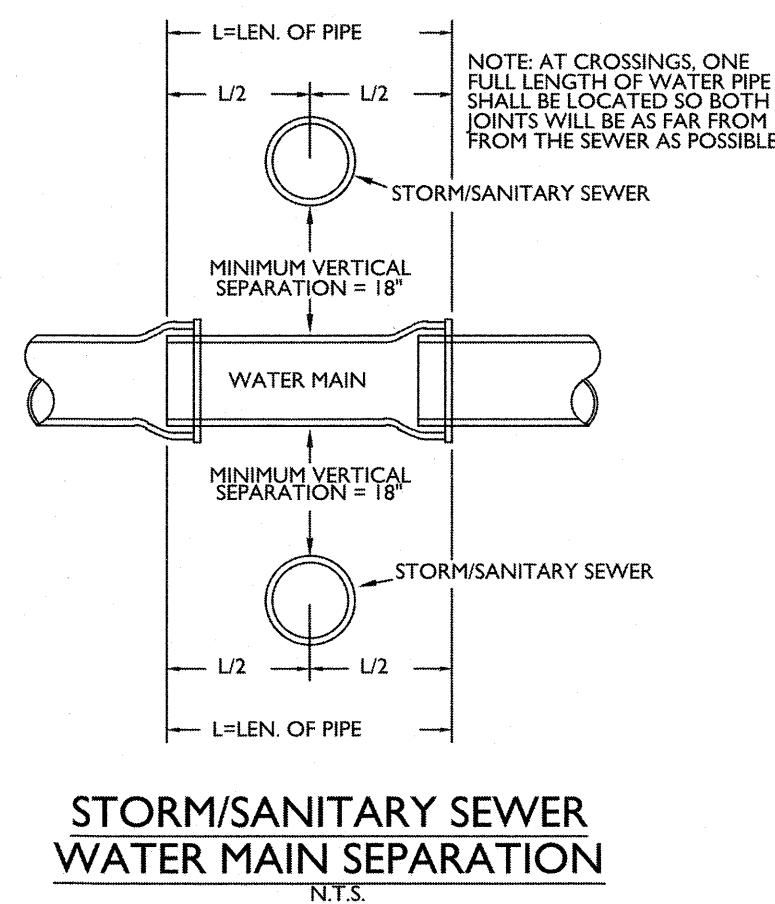
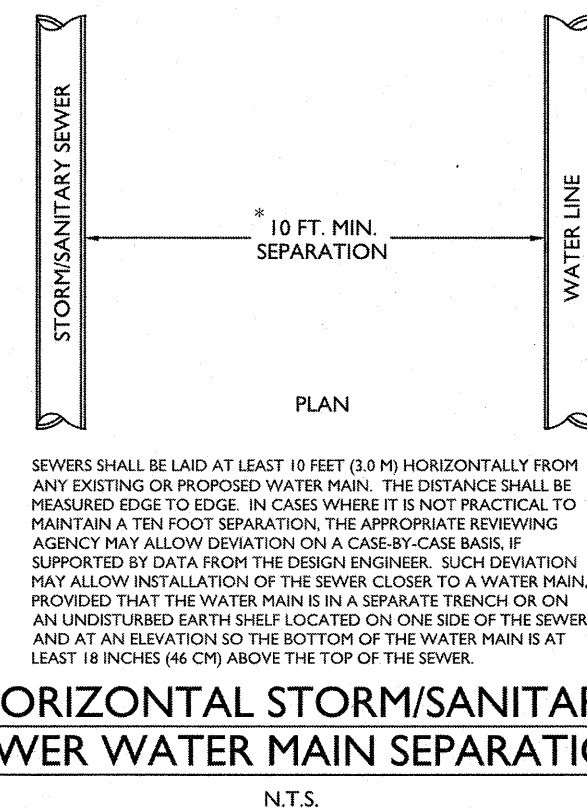
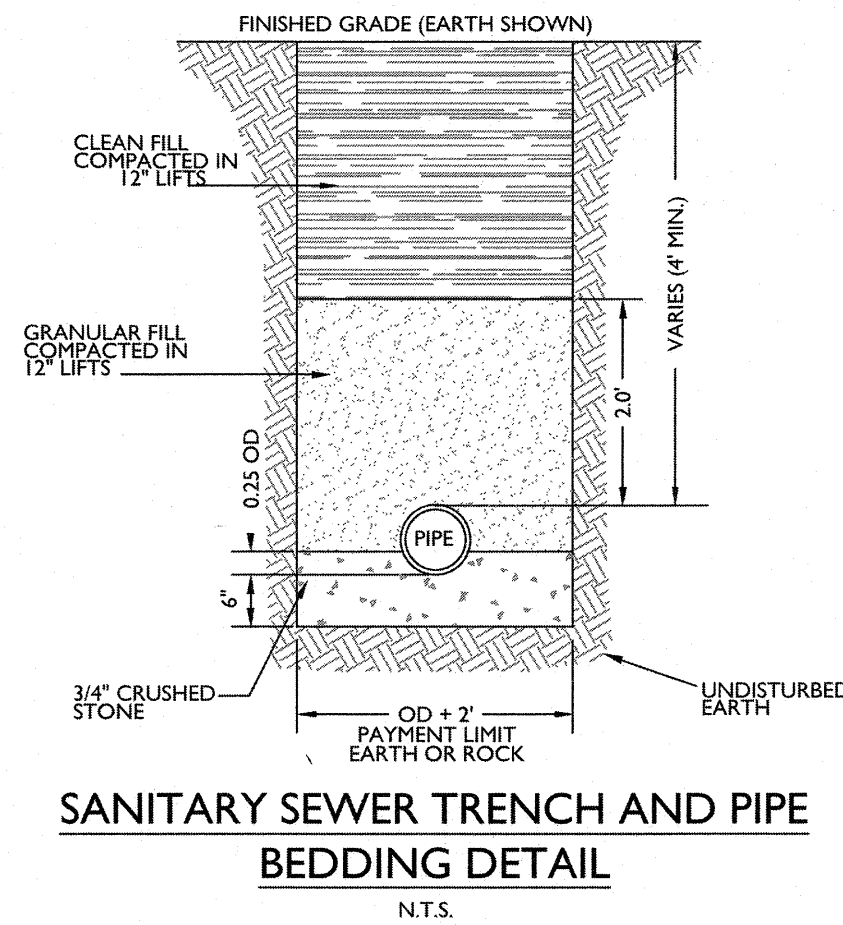








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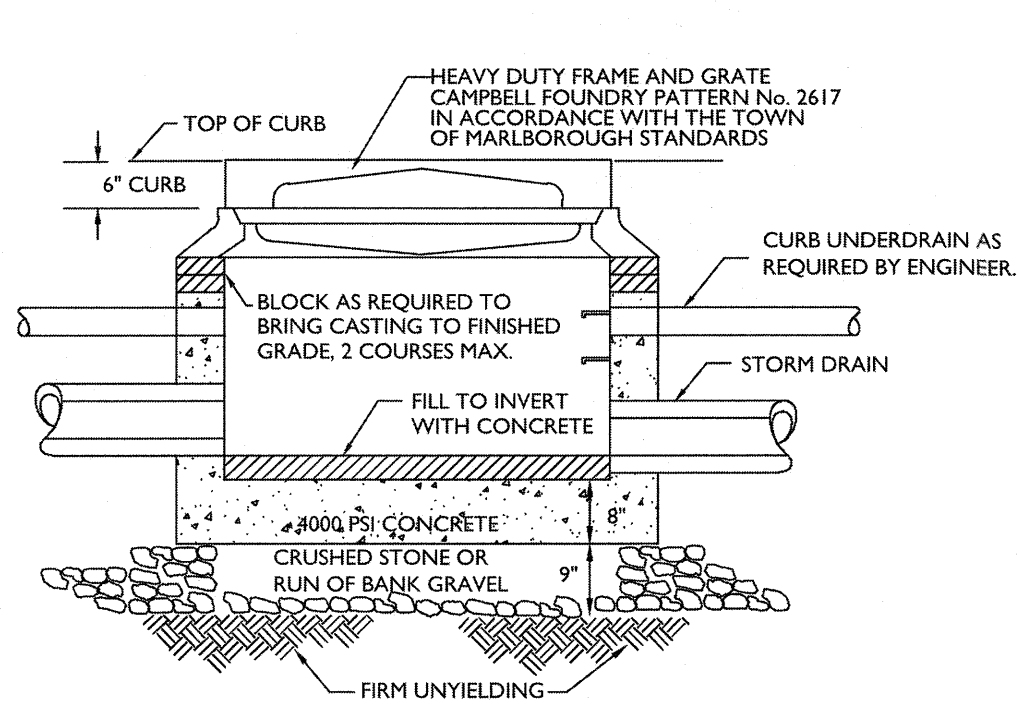
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NEW YORK STATE

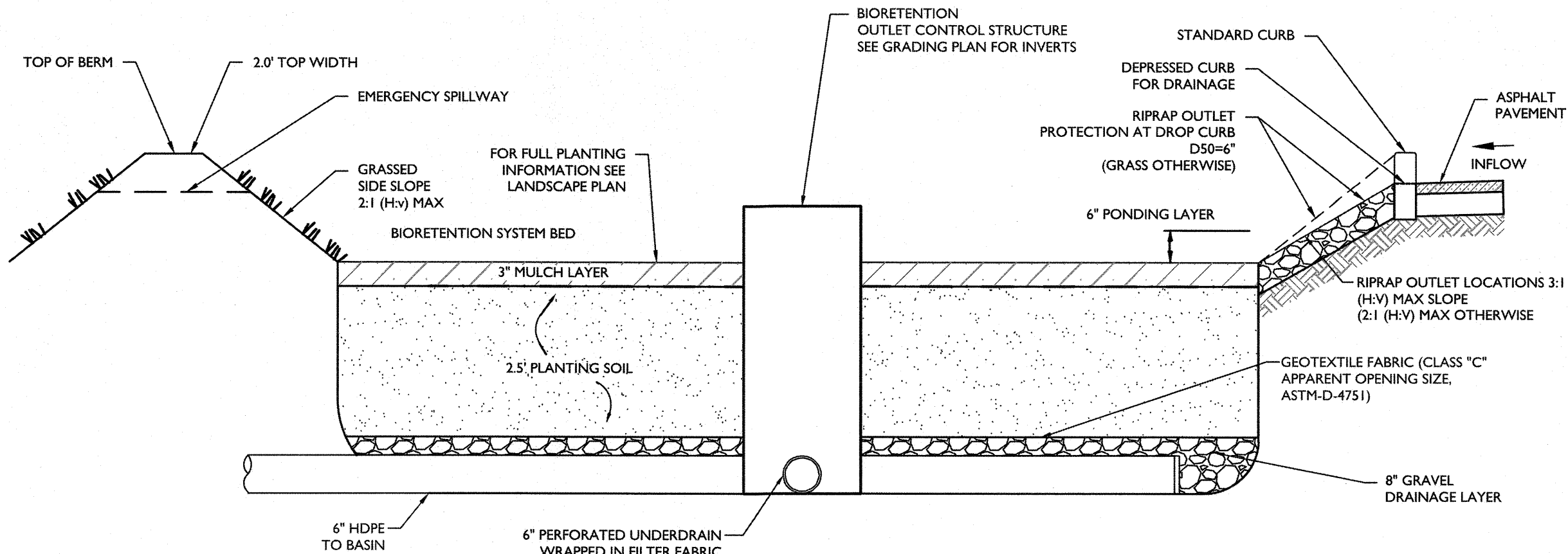
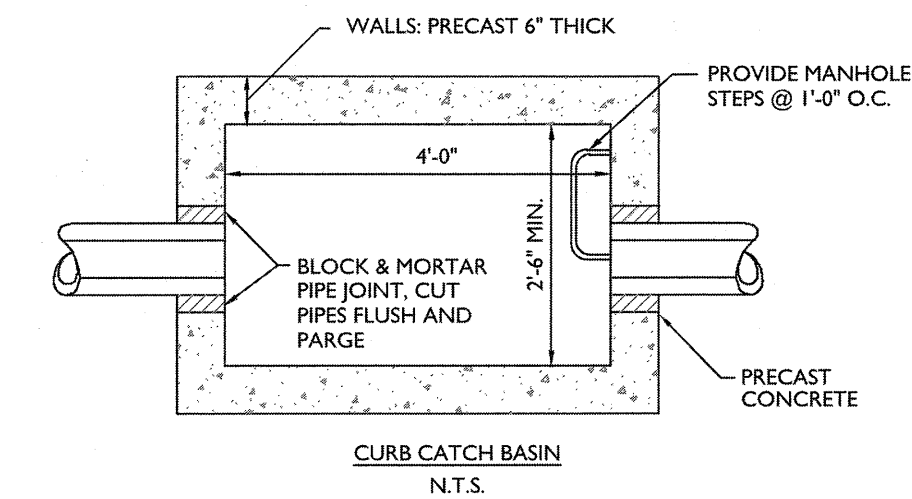
**MASER CONSULTING, P.A.**  
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SCALE: AS SHOWN DATE: 06/18/2018 DRAWN BY: CPM CHECKED BY: ABF  
PROJECT NUMBER: 090218F DRAWING NAME: C-DT15  
SHEET NUMBER: 10 of 12





NOTE:  
MINIMUM STRENGTH CONCRETE 4000 PSI  
WALL THICKNESS 6\"/>



### BIORETENTION SYSTEM CROSS SECTION

NOTES:

- SEE PLAN FOR DROP CURB LOCATIONS AND BIORETENTION AREA CONFIGURATION.
- PLANTING SOIL TO BE IN ACCORDANCE WITH NEW YORK STATE STANDARDS AND SPECIFICATIONS FOUND WITHIN THE PROJECT SWPPP.

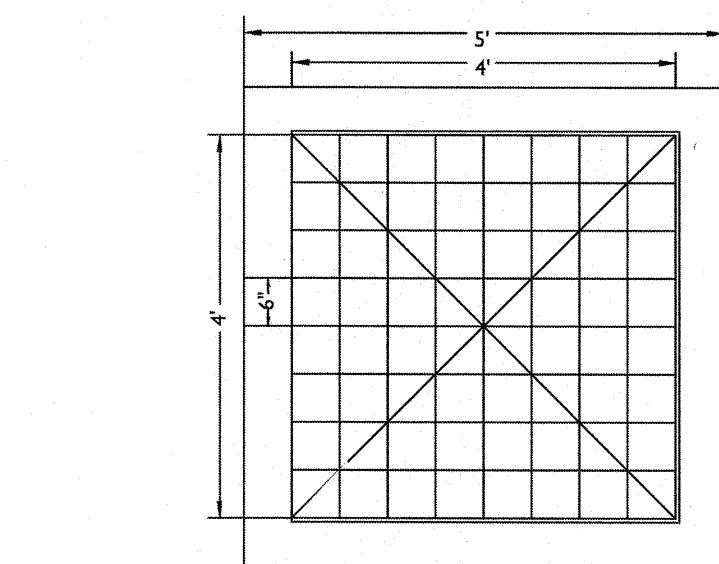
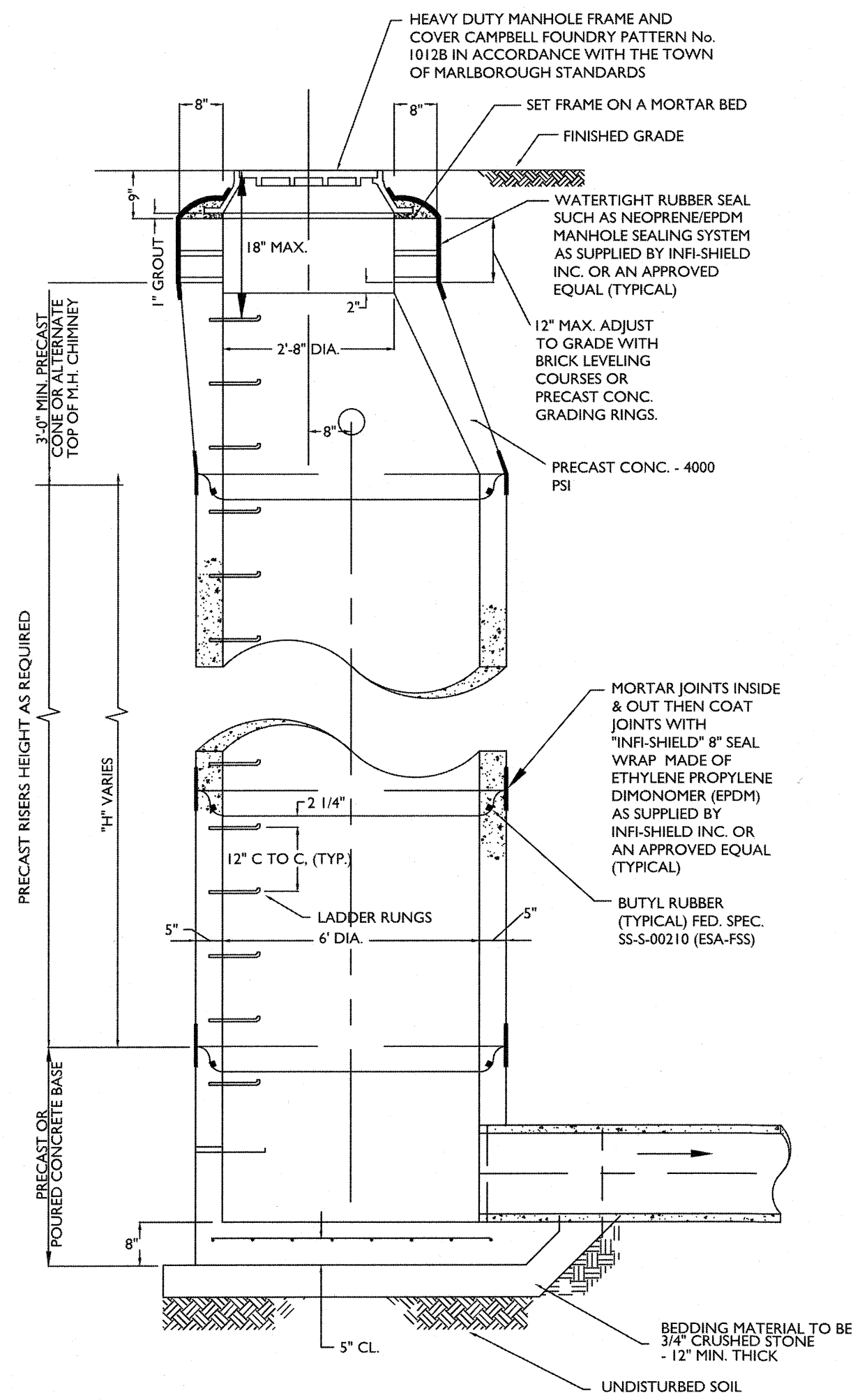
### PLANTING SOIL NOTE:

THE PLANTING SOIL SHOULD BE A SANDY LOAM, LOAMY SAND, LOAM (USDA), OR A LOAM/SAND MIX (SHOULD CONTAIN A MINIMUM 35 TO 60% SAND, BY VOLUME). THE CLAY CONTENT FOR THESE SOILS SHOULD BE LESS THAN 25% BY VOLUME. SOILS SHOULD FALL WITHIN THE SM, OR ML CLASSIFICATIONS OF THE UNIFIED SOIL CLASSIFICATION SYSTEM (USCS). A PERMEABILITY OF AT LEAST 1.0 FEET PER DAY (0.5\"/>

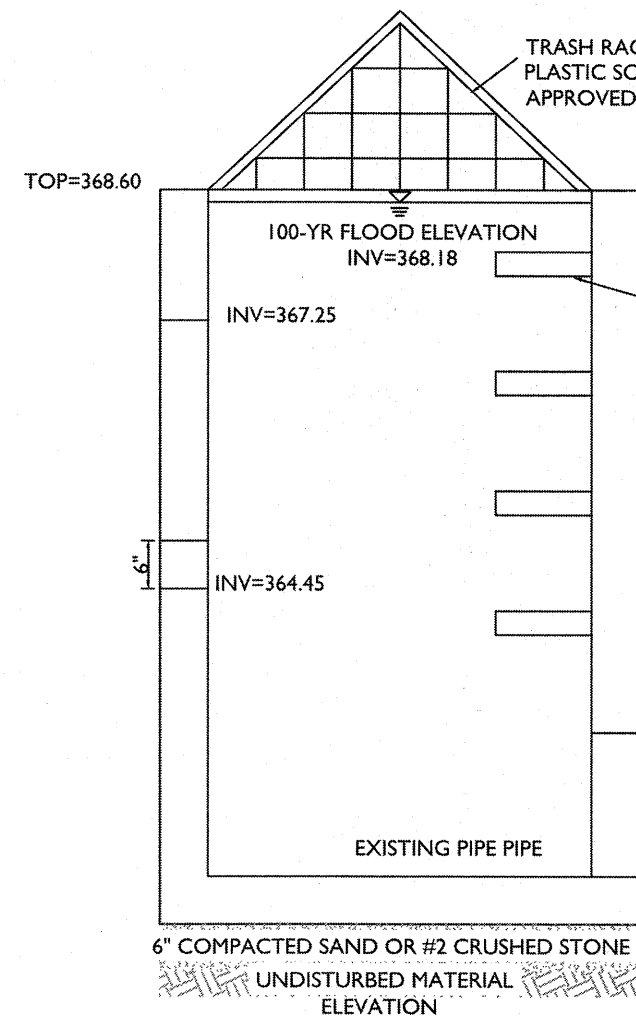
PARAMETER	VALUE
PH RANGE	5.2 TO 7.00
ORGANIC MATTER	1.5 TO 4.0%
MAGNESIUM	35 LBS. PER ACRE, MINIMUM
PHOSPHORUS (P <sub>2</sub> O <sub>5</sub> )	75 LBS. PER ACRE, MINIMUM
POTASSIUM (K <sub>2</sub> O)	85 LBS. PER ACRE, MINIMUM
SOLUBLE SALTS	500 ppm
CLAY	10 TO 25%
SILT	30 TO 55%
SAND	35 TO 60%

### BIORETENTION ELEVATIONS

SYSTEM	OUTLET NAME	OUTLET SIZE	BED ELEVATION	100 YR PEAK ELEVATION	TOP OF BERM ELEVATION	EMERGENCY SPILLWAY EL.
I-A	RIPRAP OVERFLOW SPILLWAY	20' LONG X 1.5' WIDE WEIR	367.5	368.18	370.0	378.0
4-A	EXISTING CATCH BASIN	4'X2'	375.0	375.63	376.0	375.5

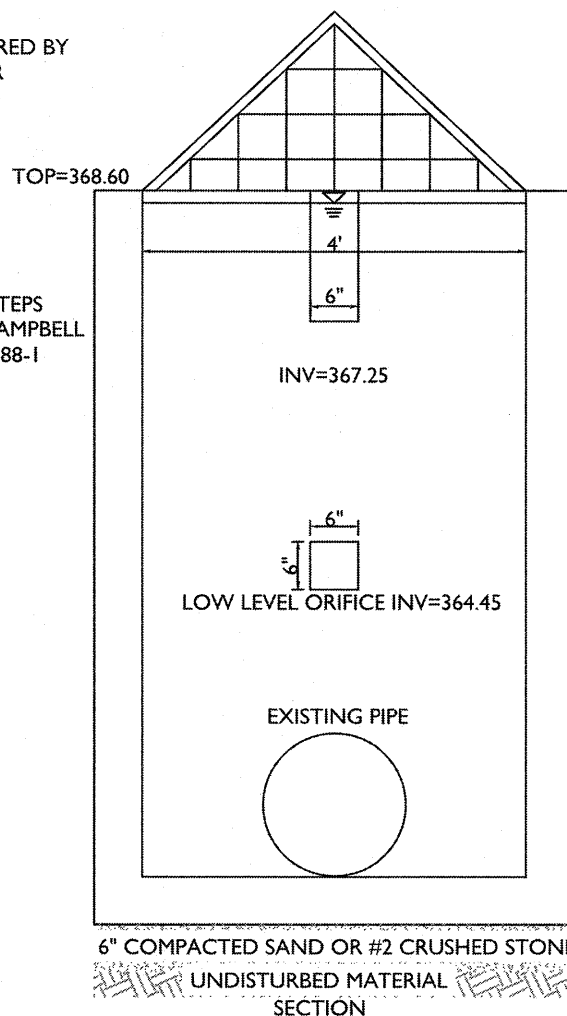


PLAN



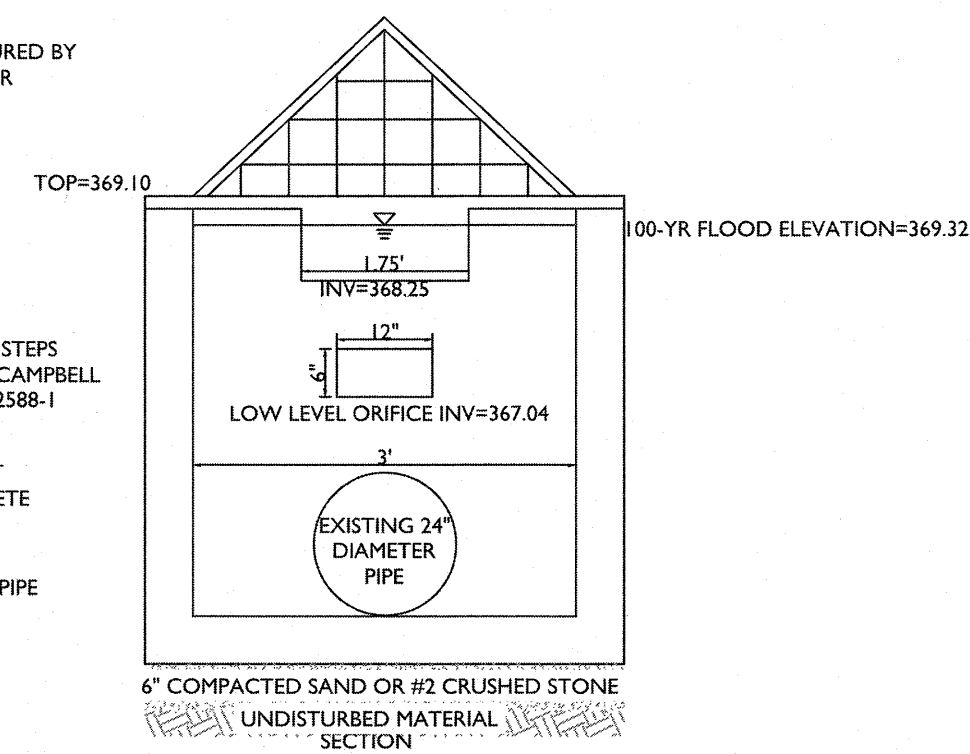
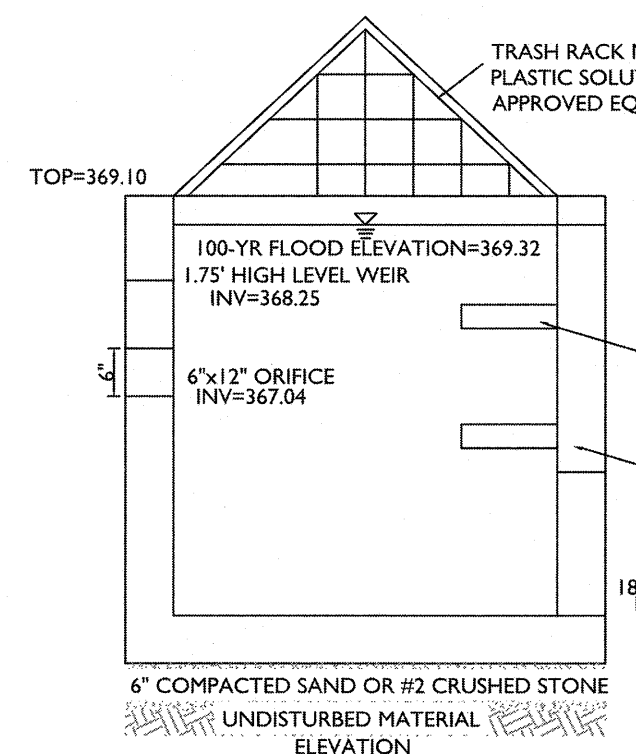
BASIN 1A SOUTH POND CONTROL STRUCTURE

N.T.S.



BASIN 3A NORTH POND CONTROL STRUCTURE

N.T.S.



### SANITARY SEWER NOTES

- SANITARY SEWERS ARE TO BE OF SDR 35 PVC (OR HEAVIER IF REQUIRED BY THE TOWN OF MARLBOROUGH ENGINEER DUE TO LOADING CONDITIONS).
- ALL HOUSE LATERALS TO BE INSTALLED BY PLUMBERS, LICENSED IN THE TOWN OF MARLBOROUGH AND ALL WORK SHALL BE INSPECTED BEFORE BACKFILLING.
- ALL PIPE SHALL BE BEDDED (CUSHIONED) ON A MINIMUM OF 6\"/>

4. SANITARY SEWER CONSTRUCTION SHALL MEET ALL SEWER CONSTRUCTION SPECIFICATIONS FOR THE TOWN OF MARLBOROUGH.

5. TEST RESULTS FOR THE FOLLOWING TESTS MUST BE SUBMITTED AND ACCEPTED BY THE ULSTER COUNTY HEALTH DEPARTMENT PRIOR TO USE.

VACUUM TEST  
THE VACUUM TEST SHALL MEET THE REQUIREMENTS OF C1244-02 STANDARD TEST METHOD FOR CONCRETE SEWER MANHOLES BY THE NEGATIVE AIR PRESSURE (VACUUM) TEST PRIOR TO BACKFILL.

LEAKAGE TESTS  
LEAKAGE TESTS SHALL BE SPECIFIED. THIS MAY INCLUDE APPROPRIATE WATER OR LOW PRESSURE AIR TESTING. THE TESTING METHODS SELECTED SHOULD TAKE INTO CONSIDERATION THE RANGE IN GROUNDWATER ELEVATIONS DURING THE TEST AND ANTICIPATED DURING THE DESIGN LIFE OF THE SEWER.

WATER (HYDROSTATIC) TEST  
THE LEAKAGE EXFILTRATION OR INFILTRATION SHALL NOT EXCEED 100 GALLONS PER INCH OF PIPE DIAMETER PER MILE PER DAY (0.02 M3/MM OF PIPE DIA./KM/DAY) FOR ANY SECTION OF THE SYSTEM. AN EXFILTRATION OR INFILTRATION TEST SHALL BE PERFORMED WITH A MINIMUM POSITIVE HEAD OF 2 FEET (600 MM).

DEFLECTION TEST  
DEFLECTION TESTS SHALL BE PERFORMED ON ALL FLEXIBLE PIPE. THE TEST SHALL BE CONDUCTED AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS TO PERMIT STABILIZATION OF THE SOIL-PIPE SYSTEM. NO PIPE SHALL EXCEED A DEFLECTION OF 5 PERCENT. IF DEFLECTION EXCEEDS 5 PERCENT, REPLACEMENT OR CORRECTION SHALL BE ACCOMPLISHED IN ACCORDANCE WITH REQUIREMENTS IN THE APPROVED SPECIFICATIONS. THE RIGID BALL OR HANDRIEL USED FOR THE DEFLECTION TEST SHALL HAVE A DIAMETER NOT LESS THAN 95 PERCENT OF THE BASE INSIDE DIAMETER OR AVERAGE INSIDE DIAMETER OF THE PIPE DEPENDING ON WHICH IS SPECIFIED IN THE ASTM SPECIFICATION, INCLUDING THE APPENDIX, TO WHICH THE PIPE IS MANUFACTURED. THE TEST SHALL BE PERFORMED WITHOUT MECHANICAL PULLING DEVICES.

6. LAMP ALIGNMENT TEST  
INFILTRATION, EXFILTRATION AND VISUAL TESTS BY MEANS OF LIGHT FLASHING BETWEEN MANHOLES SHALL BE AS PER REQUIREMENTS OF TOWN ENGINEER. NO TESTS SHALL BE MADE UNTIL TWO (2) WEEKS AFTER BACKFILLING OF SANITARY SEWERS OR LONGER IF CONDITIONS, IN THE OPINION OF THE TOWN ENGINEER, WARRANT IT.

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REV	DATE	DESCRIPTION	DRAWN BY	CPM
1	8/18/2018	REVISED PER PLANNING BOARD COMMENTS.	CPM	

STATE OF NEW YORK  
SEAL OF THE OFFICE OF THE ENGINEER  
ANDREW B. FETHERSTON  
NEW YORK LICENSED PROFESSIONAL ENGINEER - LICENSE NUMBER: 073555-1

SITE PLAN  
FOR  
MARLBORO ON HUDSON  
SECTION 108.12  
BLOCK 8  
LOT 23  
TOWN OF MARLBOROUGH  
ULSTER COUNTY  
NEW YORK STATE

NEW WINDSOR OFFICE  
555 Hudson Valley Avenue  
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SCALE	DATE	DRAWN BY	CHECKED BY
AS SHOWN	06/18/2018	CPM	ABF
PROJECT NUMBER: 030218F	DRAWING NAME: C-DTLS		
SHEET TITLE: CONSTRUCTION DETAILS			
SHEET NUMBER: 11 of 12			