



Engineers
Planners
Surveyors
Landscape Architects
Environmental Scientists

555 Hudson Valley Avenue, Suite 101
New Windsor, NY 12553-4749
T: 845.564.4495
F: 845.567.1025
www.maserconsulting.com

May 20, 2020

VIA EMAIL

Chris Brand, Chairman
Town of Marlborough Planning Board
Town Hall
21 Milton Turnpike
Milton, New York 12547

Re: Bayside Mixed-Use Development Project
Subdivision Approval Extension Request
Tax Lot 109.1-4-29
Town of Marlborough, Ulster County, NY
MC Project No. 05000787A

Dear Chairman Brand:

On behalf of the applicant, Bayside Construction, LLC, we would like to request to be placed on the June 1, 2020 agenda to request a 90-day extension of the Subdivision Approval Resolution for the Bayside Mixed-Use Development Project. At the Board's March 2, 2020 meeting, a 90-day extension was granted which will expire on June 12, 2020.

Based on recent coordination with yourself and the Board's Consulting Engineer & Attorney, it has been confirmed that the remaining outstanding resolution item for the Subdivision Approval is the applicant's payment of fees and consultant costs. Attached for your reference is our April 29, 2020 letter which identifies those required payments that are being made by the applicant and the other completed resolution items. If you have any questions please feel free to call me at 845.564.4495, extension 3804.

Very truly yours,

MASER CONSULTING P.A.

A handwritten signature in blue ink, appearing to read 'Justin E. Dates'.

Justin E. Dates, RLA
Senior Associate

JED/pw
Enclosures
cc: Bayside Construction, LLC, w/enclosures
File, w/enclosures
R:\Projects\2005\05000787A-Sussman Bayside\Letters\2020\200520JED_Brand.docx



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April 29, 2020

VIA EMAIL

Chris Brand, Chairman
Town of Marlborough Planning Board
Town Hall
21 Milton Turnpike
Milton, New York 12547

Re: Bayside Mixed-Use Development Project
Tax Lot 109.1-4-29
Town of Marlborough, Ulster County, N.Y.
MC Project No. 05000787A

Dear Chairman Brand:

As requested on the project conference call of April 23, 2020, which was attended by yourself, Mr. Patrick Hines, Mr. Jeffrey Battistoni, Esq., the applicant Mr. Asher Sussman and myself, below is a summary of the resolution item status associated with the Subdivision Approval (copy attached) for the project:

- A. The Applicants payment of all fees, including recreation fees, and the defraying of all consultant costs incurred by the Town of Marlborough;

Response: Per the April 23, 2020 call, the applicant must provide the following fees for Planning Board sign-off of the Subdivision:

1. Recreation Fees: \$4,500.00 (based on the creation of three (3) lots and a per lot recreation fee of \$1,500.00);
2. Planning Board Escrow Replenishment: \$1,350.00;
3. Town of Marlborough Municipal Planning Contribution: \$20,000.00 (per SEQRA Findings Statement, Section I); and
4. Sewer Reserve Capacity Fee: \$17,388.00 (Commercial Portion from July 2016 Agreement with the Town of Marlborough).



- B. Approval of the New York State Department of Transportation for 9W access and utility connection/construction permit;

Response: Attached please find correspondence from the NYSDOT regarding the completion of the land acquisition process and confirmation the project is ready for permit.

- C. Ulster County Health Department approvals for water system and sewer management;

Response: Attached please find the approval letter from the Ulster County Department of Health for the Water System. The NYSDEC has provided approval for the sewer management system as required for Item D below.

- D. New York State Department of Environmental Conservation (“NYSDEC”) approval for sewer system expansion;

Response: Attached please find the approval letter from the NYS Department of Environmental Conservation regarding the sanitary sewer system improvements and expansion.

- E. Town of Marlborough Highway Superintendent road access permit for emergency access onto Purdy Road;

Response: Attached please find the approval letter from the Town Highway Superintendent for the Purdy Avenue driveway access points.

- F. NYSDEC stormwater SPDES approval;

Response: Acknowledgement of the Notice of Intent from the NYSDEC regarding the SPDES General Permit for Storm Water Discharges from Construction Activity has been received (copy attached).

- G. Marlboro Central School District licenses or other approvals for improvements on School District property;

Response: Attached please find the Memorandum of Understanding executed by the applicant and the Marlboro Central School District for the proposed improvements on the Middle School property.

- H. Construction phasing plan review and approval by the Planning Board Engineer;

Response: The Planning Board Engineer requested additional clarification regarding the Construction Sequence/Phasing component of the Stormwater Pollution Prevention



Plan (SWPPP) for the project. This was prepared and submitted to Mr. Hines on September 10, 2018 (copies of plans attached). Subsequent follow-up conversations with Mr. Hines on this matter required some additional clarification. The below response was provided in our resolution item update from the July 3, 2019 Subdivision Application submission to the Board:

The Construction Sequence/Phasing for the project was revised from the initial five (5) phases to only two (2). Based on the earthwork required for the project to gain access from Route 9W, implement the necessary erosion and sediment control measures required by the SWPPP and grade the building development area, Phase 1 must disturb the majority of the site. This project requires a mass grading approach. Trying to further break-up the earthwork components into smaller areas is not feasible. The updated Phasing also included an 'Interim Grading and Erosion Control Plan' for the portion of the site along NYS Route 9W which ultimately proposes the commercial development of the project. The applicant does not intend to conduct all the site work required for the commercial development as part of Phase 1. Phase 2 outlines the commercial site work process which will be required at that time.

Upon the Board's receipt of the fees outlined above in Item A, the applicant requests the Board provide the required number of copies of the Subdivision Plat for signature. As discussed, this is a resolution item of the Site Plan approval for the project and a requirement tied to the Business Corridor Overlay procedure that remains to be worked through with the Town Board.

If you have any questions please feel free to call me at 845.564.4495, extension 3804.

Very truly yours,

MASER CONSULTING P.A.

A handwritten signature in blue ink, appearing to read 'Justin E. Dates'.

Justin E. Dates, RLA
Senior Associate

JED/paw
Enclosures

cc: Bayside Construction, LLC, w/enclosures
Mr. Pat Hines, McGoe, Hauser & Edsall, w/enclosures
Mr. Jeffrey S. Battistoni, Esq., Van DeWater & Van DeWater, LLP, w/enclosures
File, w/enclosures

APPLICATION OF **BAYSIDE CONSTRUCTION, LLC**

FILE COPY

**RESOLUTION OF APPROVAL
BY THE
TOWN OF MARLBOROUGH PLANNING BOARD
FOR SUBDIVISION**

2019 SEP 17 AM 9 CO
TOWN OF MARLBOROUGH

Regarding: Request for a 3-Lot Subdivision by Bayside Construction, LLC (the "Owner") of real property located at 18 Birdsall Avenue, Town of Marlborough, County of Ulster, State of New York, more particularly described as SBL#109.1-4-29 (the "Property").

WHEREAS, the Owner proposed to subdivide the Property into three parcels; and

WHEREAS, the Planning Board of the Town of Marlborough granted preliminary and final plat approval to the Owner by Resolution dated June 4, 2018, which Resolution contained many conditions to the approval; and

WHEREAS, the approval expired without the Owner having satisfied all conditions and without the Chairman of the Planning Board having signed the plat; and

WHEREAS, the Owner seeks a re-approval for the same proposal and has submitted a new application dated July 3, 2019 which is consistent with the previously approved application; and

WHEREAS, a final map entitled "Subdivision Plat", prepared by Maser Consulting, P.A., bearing last revision date of September 18, 2017, has been submitted; and

WHEREAS, the Planning Board has met and held public meetings and a public hearing on August 19, 2019, which was adjourned to and continued on September 16, 2019 and then closed, in accordance with applicable laws; and

WHEREAS, the new application was referred to the Ulster County Planning Board, which Board indicated by Memorandum dated August 2, 2019 that the referral was not necessary because it falls under an Exception Agreement between both Planning Boards; and

WHEREAS, the 3-Lot Subdivision as represented on the proposed plat meets all codes and regulations regarding set-backs, lot sizes, road and driveway configurations and other applicable regulations, codes and laws; and

WHEREAS, the Planning Board has considered a submission made by the applicant dated September 6, 2019, which addresses issues raised at the public hearing held on August 19, 2019; and

WHEREAS, on May 7, 2018, the Planning Board issued an adoption of the Town Board's Findings Statement as its Findings Statement pursuant to the State and Environmental Quality Review Act and hereby recertifies that adoption;


BE IT RESOLVED THAT, the Planning Board of the Town of Marlborough gives preliminary and final plat approval to this 3-Lot Subdivision and authorizes the Chairman of the Planning Board to carryout appropriate completion of the 3-Lot Subdivision process, including signing of the plat; and

BE IT FURTHER RESOLVED THAT, the plat approval is subject to the following conditions:

- a. The Owner's payment of all fees, including recreation fees, and the defraying of all consultant costs incurred by the Town of Marlborough.
- b. Approval of the New York State Department of Transportation for 9W access and utility connection/construction permit.
- c. Ulster County Health Department approvals for water system and sewer management.
- d. New York State Department of Environmental Conservation ("NYSDEC") approval for sewer system expansion.
- e. Town of Marlborough Highway Superintendent road access permit for emergency access onto Purdy Road.
- f. NYSDEC stormwater SPDES approval.
- g. Marlboro Central School District licenses or other approvals for improvements on School District property.
- h. Construction phasing plan review and approval by the Planning Board Engineer.

WHEREUPON the following vote was taken:

<u>MEMBER</u>	<u>YES</u>	<u>NO</u>
Chairman Brand		✓
Member Lanzetta	✓	
Member Truncali	N/A	
Member Trapani		✓
Member Lofaro	✓	
Member Clarke	✓	
Member Cauchi	✓	


 Jen Flynn, Planning Board Secretary

Dated: Milton, New York
 September 16, 2019

U:\docs\10244\00405\RESOLUTION\2503746.DOCX

Justin Dates

Subject: FW: Bayside SEQR 10-185

From: Philip Grealy <pgrealy@maserconsulting.com>
Sent: Thursday, May 16, 2019 4:44 PM
To: Justin Dates <JDates@maserconsulting.com>
Subject: FW: Bayside SEQR 10-185

See below.

Philip J. Grealy, Ph.D., P.E.

Principal

We have moved. NOTE OUR NEW ADDRESS BELOW

Connect with Us:



Maser Consulting P.A.

400 Columbus Avenue Suite 180E

Valhalla, NY 10595

P: 914.347.7500 ext: 4802

www.maserconsulting.com

From: Zimmer, Lee (DOT) <Lee.Zimmer@dot.ny.gov>
Sent: Thursday, May 16, 2019 4:21 PM
To: Philip Grealy <pgrealy@maserconsulting.com>
Subject: Bayside SEQR 10-185

Pending the completion of the land donation process, Bayside is a permittable project.

Lee A. Zimmer P.E.

Traffic Signals & Highway Work Permits

New York State Department of Transportation, Hudson Valley

4 Burnett Boulevard, Poughkeepsie, NY 12603

(845) 437-3320 | lee.zimmer@dot.ny.gov | www.dot.ny.gov





Department of Transportation

ANDREW M. CUOMO
Governor

MARIE THERESE DOMINGUEZ
Commissioner

LANCE MacMILLAN, P.E.
Regional Director

January 27, 2020

Bayside Construction, LLC
1451 47th Street
Brooklyn, NY 11219

Re: PIN AW08.02.70R
Proc. 14877
SH 5114
Milton - Marlboro
Town of Marlborough
Ulster County
Map 89, Parcel 119
Claimant: Bayside Construction, LLC

Dear Property Owner:

Enclosed is the Notice of Appropriation and map for the above-referenced property, to which you have been certified as having a possible right, title, or interest. Please be advised that title to the property, easement, or right indicated on the attached map was vested in the name of the People of the State of New York on **December 30, 2019**.

This service, dated **January 27, 2020**, is an official notice to you of our appropriation in accordance with Section 502 of the Eminent Domain Procedure Law. An Affidavit of Service by Certified Mail will be filed and recorded in the **Ulster** County Clerk's Office.

These forms are for your records; ***there is nothing to be signed or returned.*** If you have any questions concerning this notice or would like additional information, please contact me at (845) 437-3387 or by mail at the above address.

Very truly yours,

A handwritten signature in black ink, appearing to read "Susan E. Stepp", with a horizontal line extending to the right.

Susan E. Stepp
Real Estate Specialist 2

Enclosures

NEW YORK STATE DEPARTMENT OF TRANSPORTATION
OFFICE OF RIGHT OF WAY

APPROPRIATION OF PROPERTY
BY THE PEOPLE OF THE STATE OF NEW YORK

PROJECT: MAP NOS. PARCEL NOS. AND INTEREST
89 119 PE
SH 5114
MILTON-MARLBORO
PIN: AW0802 70R
PROC: 14877
ST. LAWRENCE County
TOWN OF MARLBOROUGH

109.1-4-29
Document
No. 2025-
00016147

NOTICE OF APPROPRIATION

Pursuant to the statute set forth in the above maps
TO:

1. BAYSIDE CONSTRUCTION, LLC; 1451 47TH STREET, BROOKLYN, NY 11219
2. PROVIDENT BANK; 400 RELLA BOULEVARD, MONTEBELLO, NY 10901
3. TOWN OF MARLBOROUGH; 21 MILTON TURNPIKE, SUITE 200, MILTON, NY 12547
4. CENTRAL HUDSON GAS & ELECTRIC CORP.; 284 SOUTH AVENUE, POUGHKEEPSIE, NY 12601-4879
5. SPECTRUM; 400 ATLANTIC STREET, STAMFORD, CT 06901
6. VERIZON NEW YORK INC.; 140 WEST STREET, NEW YORK, NY 10007
- 7.
- 8.

PLEASE TAKE NOTICE that on the 15TH day of JANUARY 2019 there was filed in the main office of the New York State Department of Transportation, the original tracing of the acquisition map or a microfilm or a computer digitized copy of the original acquisition map of the real property described above, which is necessary for purposes connected with the above referenced public project. The particular easement, interest, or right, in the real property being acquired is as set forth above.

PLEASE TAKE FURTHER NOTICE that title to the property, easement(s) interests or rights set forth in said maps will vest in the People of the State of New York upon filing of a certified copy of said map(s) in the Office of said Clerk of the county set forth above. Thereafter, the People of the State of New York, their officers and agents may immediately enter upon and take possession of the real property so described for any and all purposes connected with the proposed public project.

COMMISSIONER OF TRANSPORTATION
OF THE STATE OF NEW YORK

Dated: Dec 03, 2019

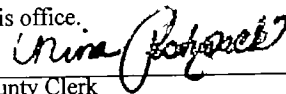
By: 
Director, Right of Way

COUNTY CLERK'S CERTIFICATE OF FILING OF MAPS

State of New York) SS.:
County of ST. LAWRENCE)

I hereby certify that on the ____ day
of DEC 30 2019, 20____,
the Commissioner of Transportation caused a copy
of each of the maps referred to in the above
notice of appropriation, to be filed in this office.

(SEAL) DEC 30 2019
Dated: _____



County Clerk

COUNTY CLERK'S CERTIFICATE OF FILING AND RECORDING OF NOTICE OF APPROPRIATION

State of New York)
County of ST. LAWRENCE) SS.:

I hereby certify that on the ____ day
of DEC 30 2019, 20____,
the Commissioner of Transportation caused the above
notice of appropriation to be filed and recorded
in this office.

(SEAL) DEC 30 2019
Dated: _____


County Clerk

NYS DOT
Attn Real Property
4 Burnette Blvd.
Poughkeepsie, NY
12601

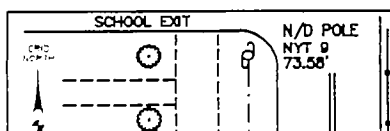
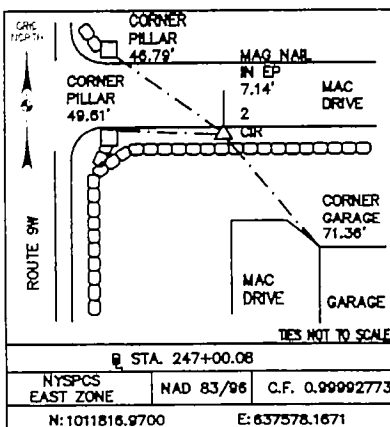
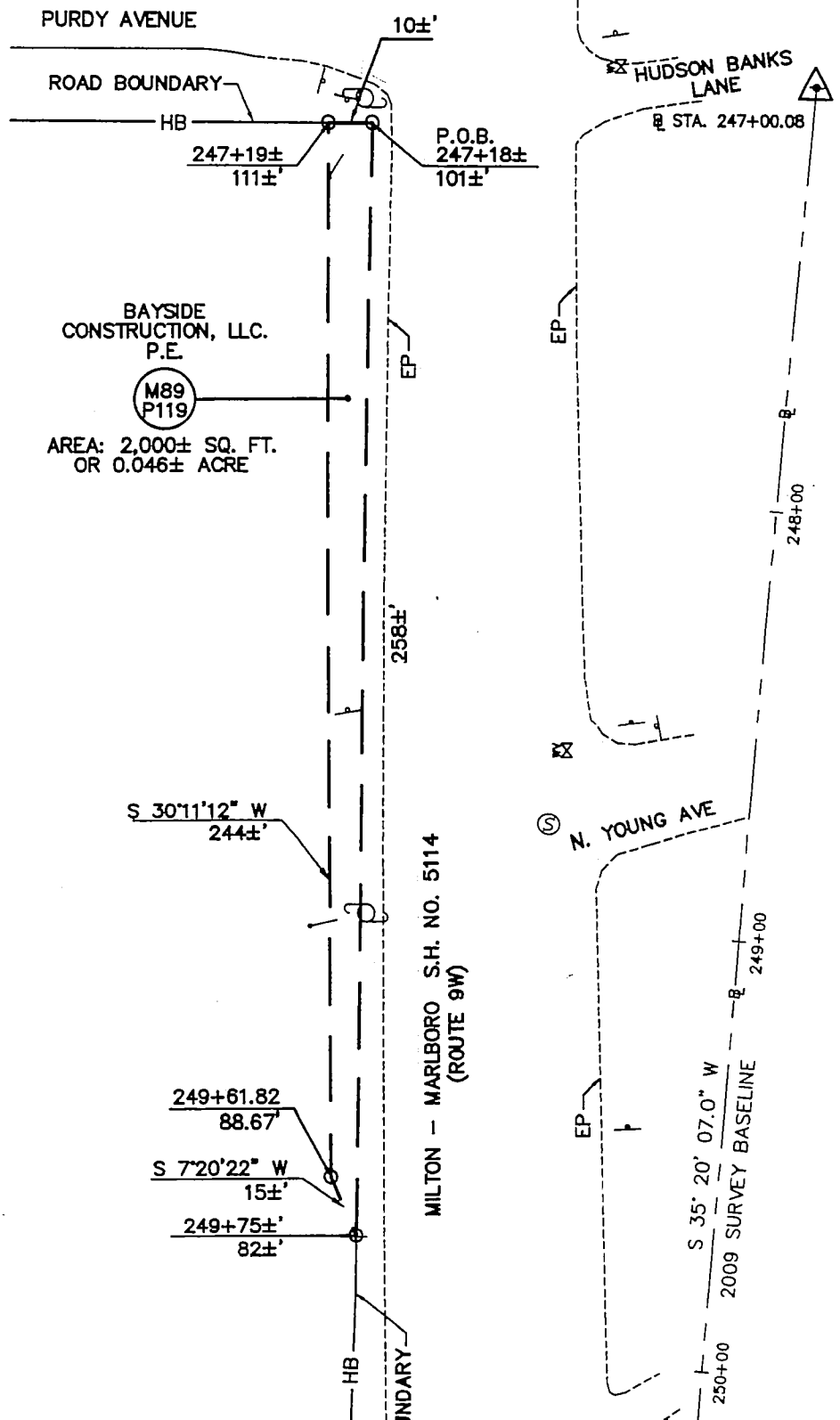
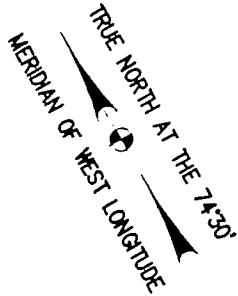
NYS DOT

Parcel Locator Point:
Parcel No: 119
N:1011760.236
E:637421.162

BAYSIDE CONSTRUCTION, LLC.
(REPUTED OWNER)
CCD: LIBER 4096 PAGE 57
DOCUMENT NO. 2005-00016147

Parcel Summary:

Type: Permanent Easement
Portion of 2008 Tax Map
Ref. No. 109.1-4-29
Town of Marlborough
County of Ulster
State of New York



Field Survey Records and Control Report are on file in the Regional Office of NYSDOT.

Parcel No. 119

PERMANENT EASEMENT FOR SIDEWALKS

A permanent easement to be exercised in, on and over the property delineated above and hereinafter described for the purpose of constructing, reconstructing and maintaining thereon sidewalks in and to all that piece or parcel of property designated as Parcel No. 119, situate in the Town of Marlborough, County of Ulster, State of New York, as shown on the accompanying map and described as follows:

Beginning at a point on the northwesterly boundary of the existing Milton-Marlboro highway at the intersection of the said boundary with the southwesterly boundary of the existing Purdy Avenue, said point being 101± feet distant northwesterly, measured at right angles, from station 247+18± of the hereinafter described survey baseline for the reconstruction of the Milton - Marlboro, State Highway No. 5114; thence northwesterly along the last mentioned boundary of said existing Purdy Avenue 10± feet to a point 111± feet distant northwesterly, measured at right angles, from station 247+19± of said baseline; thence through the property of Bayside Construction, LLC. (reputed owner) the following two (2) courses and distances: (1) South 30°-11'-12" West, 244± feet to a point 88.67 feet distant northwesterly, measured at right angles, from station 249+61.82 of said baseline; and (2) South 7°-20'-22" West, 15± feet to a point on the northwesterly boundary of said existing highway, the last mentioned point being 82± feet distant northwesterly, measured at right angles, from station 249+75± of said baseline; thence northeasterly along the last mentioned boundary of said existing highway 258± feet to the point of beginning; being 2,000 square feet or 0.046 acre more or less.

RESERVING, however, to the owner of any right, title or interest in and to the property above delineated as Parcel No. 119, and such owner's successors or assigns, the right of access and the right of using said property and such use shall not be further limited or restricted under this easement beyond that which is necessary to effectuate its purposes for, and as established by, the construction or reconstruction and as so constructed or reconstructed, the maintenance of the herein identified project.

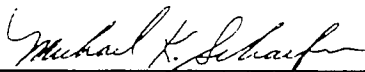
The above mentioned survey baseline is a portion of the 2009 survey baseline for the reconstruction of the Milton - Marlboro, State Highway No. 5114, as shown on a map and plan on file in the Office of the State Department of Transportation and described as follows:

Beginning at station 247+00.08; thence South 35°-20'-07.0" West to station 255+88.669.

All bearings referred to TRUE NORTH at the 74° - 30' MERIDIAN OF WEST LONGITUDE.

I hereby certify that the property mapped above is necessary for this project, and the acquisition thereof is recommended.

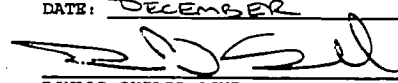
DATE: December 11, 2018

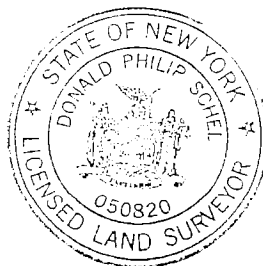

MICHAEL K. SCHAEFFER, REGIONAL DESIGN ENGINEER
FOR THE REGIONAL DIRECTOR OF TRANSPORTATION
REGION 8

Unauthorized alteration of a survey map bearing a licensed land surveyor's seal is a violation of the New York State Education Law.

I hereby certify that this map was prepared in accordance with current NYSDOT policies, standards and procedures.

DATE: DECEMBER 6, 2018


DONALD PHILIP SCHEL, LAND SURVEYOR
P.L.S. LICENSE NO. 050820



BAYSIDE CONSTRUCTION, LLC.
(Reputed Owner)

Map of property in and to which an easement, as hereinabove defined, is deemed necessary by the Commissioner of Transportation to be acquired by appropriation in the name of the People of the State of New York for purposes connected with the highway system of the State of New York pursuant to Section 30 of the Highway Law and the Eminent Domain Procedure Law.

There is excepted from this appropriation all the right, title and interest, if any, of the United States of America in or to said property.



ULSTER COUNTY DEPARTMENT OF HEALTH

239 Golden Hill Lane, Kingston, NY 12401-6441, (845) 340-3150, Fax (845) 334-8337



MICHAEL P. HEIN
County Executive

CAROL M. SMITH, MD, MPH
Commissioner of Health and Mental Health

September 25, 2018

RESOLUTION ITEM - C

Maser Consulting, PA
55 Hudson Valley Ave.
Suite 101
New Windsor, NY 12553

Re: Bayside Development Water System
Town of Marlborough, Ulster County

Dear Mr. Dates:

The Ulster County Department of Health has reviewed the Application for Approval of Plans for the Bayside Development located in the Town of Marlborough. The latest submission of the Application, dated July 31, 2018; the Engineer's Report, dated July 2018; and the Plans last revised September 18, 2018, to be acceptable as per New York State Public Health Law Section 225, Part 5, Subpart 5-1 for the water system only. I have attached two sets of Plans stamped "Received and Approved" on September 24, 2018, as requested.

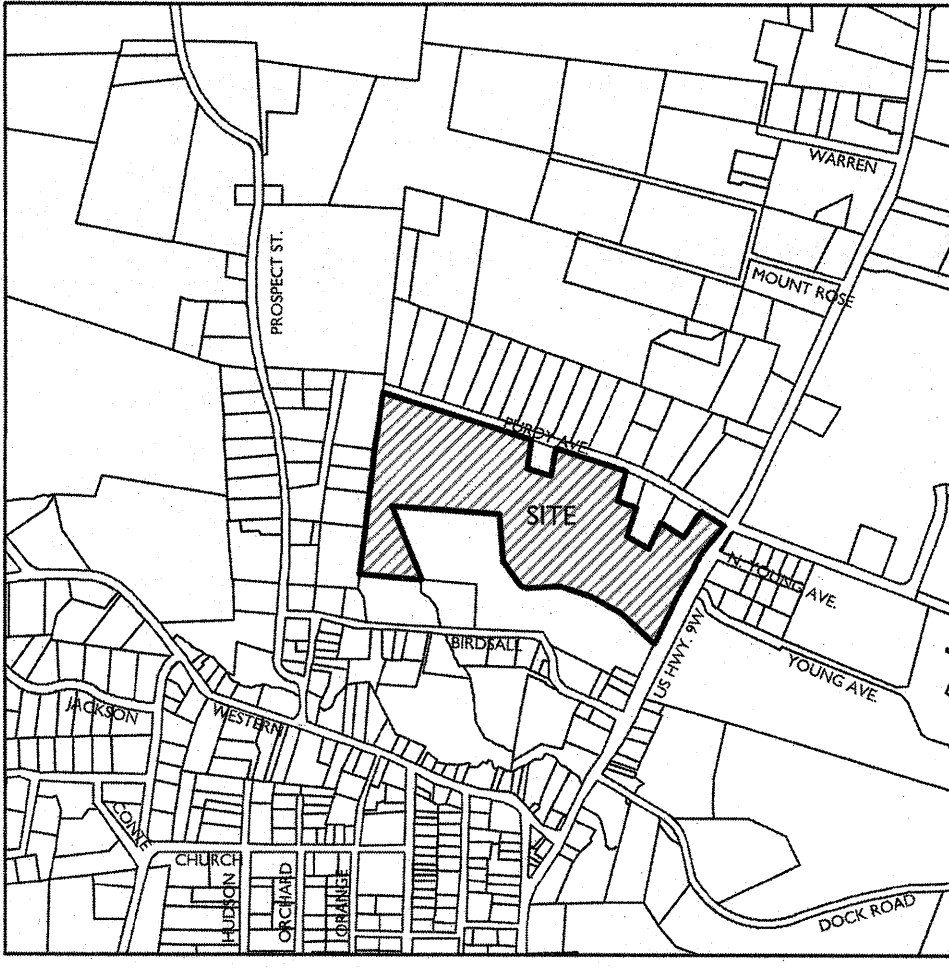
If you have any questions or concerns, please do not hesitate to contact me at your convenience.
Thank you.

Sincerely,

Donald L. Schmalzle
Public Health Engineer
845.340.3031

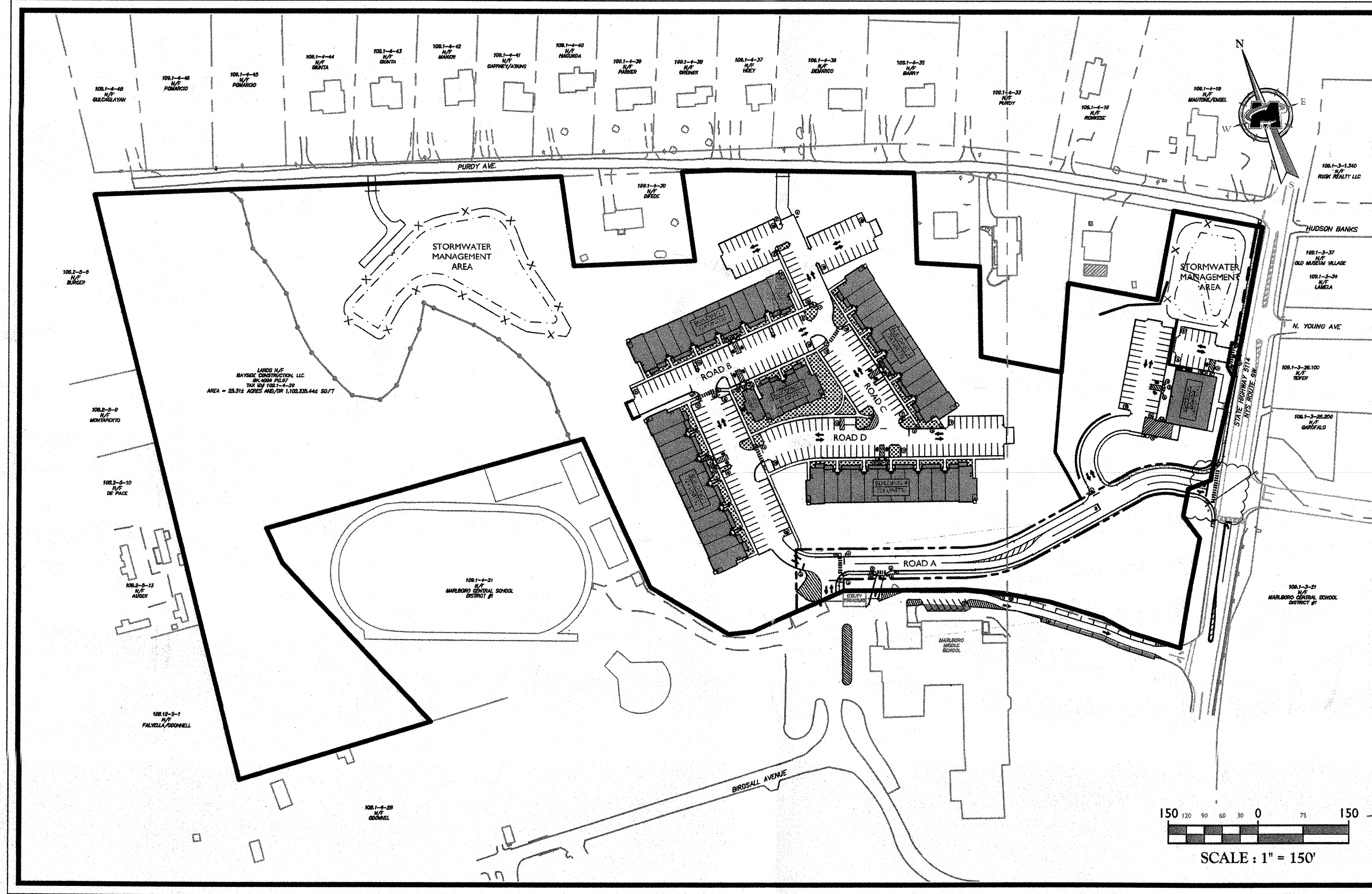
Enclosures

cc: file
Shelley Mertens



LOCATION MAP
SCALE: 1" = 2,000'

FINAL SITE PLANS FOR BAYSIDE CONSTRUCTION, LLC SECTION 109.1, BLOCK 4, LOT 29 TOWN OF MARLBOROUGH ULSTER COUNTY, NEW YORK



KEY MAP

OWNER/APPLICANT:
BAYSIDE CONSTRUCTION, LLC
1451 47TH STREET
BROOKLYN, NY 11219

ZONING:
R-1 (RESIDENTIAL DISTRICT)
BC (BUSINESS CORRIDOR OVERLAY DISTRICT)

TAX LOT:
109.1-4-29

SITE AREA (GROSS):
±1,102,335 SQ. FT.
±25.31 ACRES

WETLANDS AREA (ACOB):
±322,460 SQ. FT.
±7.40 ACRES

SITE AREA (NET):
±780,140 SQ. FT.
±17.91 ACRES

INDEX OF SHEETS

SHT. No.	DESCRIPTION	LATEST REVISION
1	COVER SHEET	8/17/2018
2	EXISTING CONDITIONS AND DEMOLITION PLAN	8/17/2018
3-5	LAYOUT AND DIMENSION PLAN	8/17/2018
6-7	GRADING & DRAINAGE PLAN	8/17/2018
6-8	UTILITY PLAN	8/17/2018
9-10	ROADWAY & UTILITY PROFILES	8/17/2018
12	SOIL EROSION AND SEDIMENT CONTROL PLAN	8/17/2018
13	SOIL EROSION AND SEDIMENT CONTROL DETAILS	8/17/2018
14-15	LANDSCAPE PLAN	8/17/2018
16-17	LIGHTING PLANS	8/17/2018
18-21	CONSTRUCTION DETAILS	8/17/2018

GENERAL INFORMATION

- BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS TAKEN FROM A PLAN ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY" PREPARED BY MASER CONSULTING, P.A. AND PREPARED FOR BAYSIDE CONSTRUCTION, LLC, DATED MAY 13, 2016.
- THE HORIZONTAL DATUM IS RELATIVE TO THE NEW YORK STATE PLANE COORDINATE SYSTEM EAST ZONE AND ADJUSTED TO NAD 83. THE VERTICAL DATUM IS RELATIVE TO N.A.V.D. 1988.
- THE LIMITS OF FRESHWATER WETLANDS SHOWN HEREON WERE FIELD DELINEATED BY MASER CONSULTING, P.A. A JURISDICTIONAL DETERMINATION FOR THESE WETLAND AREAS HAVE BEEN RE-SUBMITTED TO THE ARMY CORPS OF ENGINEERS FOR CONFIRMATION ON JUNE 13, 2016. A JOINT SITE INSPECTION OF THE WETLANDS WAS CONDUCTED ON AUGUST 10, 2016. A JURISDICTIONAL DETERMINATION FOR THE WETLANDS AS DERIVED ON THESE PLANS WAS ISSUED ON APRIL 28, 2017.
- NO 100 YEAR FLOOD PLAINS ARE KNOWN TO EXIST ON THE SITE PER THE FLOOD INSURANCE RATE MAP 36111C0905E, DATED SEPTEMBER, 2009 PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
- MATERIALS, WORKMANSHIP, AND CONSTRUCTION FOR THE SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH:
 - NEW YORK STATE DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS", 2002; AS SUPPLEMENTED.
 - CURRENT PREVAILING MUNICIPAL, COUNTY, AND/OR STATE AGENCY SPECIFICATIONS, STANDARDS, CONDITIONS, AND REQUIREMENTS.
 - CURRENT PREVAILING UTILITY COMPANY/AUTHORITY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
 - CURRENT MANUFACTURER SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
- WATER SERVICE TO BE PROVIDED FROM EXISTING WATER MAINS LOCATED IN NYS ROUTE 9W AND PURDY AVENUE, OPERATED BY THE TOWN WATER DEPARTMENT. PROPOSED WATER MAIN EXTENSIONS AND FIRE HYDRANT LOCATIONS ARE SUBJECT TO MUNICIPAL AND ULSTER COUNTY HEALTH DEPARTMENT REVIEW AND APPROVAL, AND AMERICAN WATERWORKS ASSOCIATION STANDARDS. PIPE MATERIALS SHALL BE CEMENT LINED DUCTILE IRON PIPE, CLASS 52, WITH ASPHALTIC EPOXY TYPE COATING. WATER MAINS SHALL BE INSTALLED TO PROVIDE A MINIMUM 5 FEET OF COVER FROM THE TOP OF PIPE TO THE PROPOSED GRADE.
- SANITARY SEWER SERVICE SHALL BE PROVIDED BY GRAVITY CONNECTION TO THE EXISTING SEWER MAIN IN NYS ROUTE 9W, OWNED AND OPERATED BY THE TOWN SEWER DEPARTMENT. PROPOSED SEWER MAIN EXTENSIONS AND MANHOLE LOCATIONS ARE SUBJECT TO MUNICIPAL REVIEW AND APPROVAL ACCORDING TO MUNICIPAL AND ULSTER COUNTY HEALTH DEPARTMENT REGULATIONS. PIPE MATERIALS SHALL BE PVC SDR-35, EXCEPT AS NOTED OTHERWISE ON THE PLANS. EXCEPT WHERE SHALLOWER DEPTHS ARE PERMITTED BY THE MUNICIPALITY OR UTILITY AUTHORITY, SEWER LINES, INCLUDING FORCE MAINS AND LATERALS, SHALL BE INSTALLED TO PROVIDE A MINIMUM 4 FEET OF COVER FROM THE TOP OF PIPE TO PROPOSED GRADE.
- SANITARY AND STORM SEWERS SHALL BE SEPARATED FROM WATER MAINS BY AT LEAST 10 FEET HORIZONTALLY. IF SUCH SEPARATION IS NOT POSSIBLE, THE PIPES SHALL BE IN SEPARATE TRENCHES WITH THE SANITARY SEWER AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN, WHERE APPROPRIATE SEPARATION IS NOT POSSIBLE, THE SEWER SHALL BE ENCASED IN CONCRETE, OR CONSTRUCTED OF DUCTILE-IRON-PIPE USING MECHANICAL OR SLIP ON JOINTS. FOR A DISTANCE OF 10 FEET ON EITHER SIDE OF THE CROSSING, IN ADDITION, ONE FULL LENGTH OF SEWER PIPE SHOULD BE LOCATED SO BOTH JOINTS ARE AS FAR AWAY AS POSSIBLE FROM THE WATER LINE.
- GAS, ELECTRIC, LIGHTING, CABLE TELEVISION, AND ELECTRICAL SERVICE PLANS, IF REQUIRED, SHALL BE PREPARED BY THE RESPECTIVE UTILITY COMPANIES THAT SERVICE THE AREA PRIOR TO SITE CONSTRUCTION AND SHALL BE INSTALLED PER ORDINANCE REQUIREMENTS.
- TELEPHONE, ELECTRIC, AND GAS LINES WILL BE INSTALLED UNDERGROUND. CROSSINGS OF PROPOSED PAVEMENTS WILL BE INSTALLED PRIOR TO THE CONSTRUCTION OF PAVEMENT BASE COURSE.
- UTILITY RELOCATIONS SHOWN HEREON, IF ANY, ARE FOR INFORMATIONAL PURPOSES ONLY AND MAY NOT REPRESENT ALL REQUIRED UTILITY RELOCATIONS. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING AND/OR COORDINATING ALL REQUIRED UTILITY RELOCATIONS IN COOPERATION WITH THE RESPECTIVE UTILITY COMPANY/AUTHORITY.
- STORM SEWERS SHALL BE CLASS III (OR HIGHER IF NOTED) REINFORCED CONCRETE PIPE (RCP) WITH "OT" RING GASKETS, HIGH DENSITY POLYETHYLENE PIPE (HDPE) OR APPROVED EQUAL AS NOTED. PROPER PIPE COVERAGE SHALL BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION. PIPE LENGTHS SHOWN HEREON ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
- REFUSE AND RECYCLABLES SHALL BE STORED ON-SITE, IN DESIGNATED LOCATIONS.
- TRAFFIC SIGNAGE AND STRIPING SHALL CORRESPOND TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- THESE ARE FINAL SITE PLANS AND UNLESS SPECIFICALLY NOTED ELSEWHERE HEREON, IS NOT A SURVEY.
- BUILDING FOOTPRINT DIMENSIONS SHOWN HEREON ARE APPROXIMATE. FINAL BUILDING FOOTPRINT DIMENSIONS FOR EACH BUILDING SHALL BE FURNISHED ON THE INDIVIDUAL PLOT PLANS/ARCHITECTURAL PLANS AT THE TIME OF APPLICATION FOR A BUILDING PERMIT. ALL STRUCTURES SHALL CONFORM TO THE APPROVED BULK ZONING REQUIREMENTS.
- DO NOT SCALE DRAWINGS AS THEY PERTAIN TO ADJACENT AND SURROUNDING PHYSICAL CONDITIONS, BUILDINGS, STRUCTURES, ETC. THEY ARE SCHEMATIC ONLY, EXCEPT WHERE DIMENSIONS ARE SHOWN THEREON.
- THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL APPROVALS REQUIRED HAVE BEEN OBTAINED. ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED AND THE DRAWINGS HAVE BEEN STAMPED "ISSUED FOR CONSTRUCTION". THIS SHALL INCLUDE APPROVAL OF ALL CATALOG CUTS, SHOP DRAWINGS AND/OR DESIGN CALCULATIONS AS REQUIRED BY THE PROJECT OWNER AND/OR MUNICIPALITY.
- EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO EXCAVATION. WHERE EXISTING UTILITIES ARE TO BE CROSSED BY PROPOSED CONSTRUCTIONS, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING INVERTS, MATERIALS, AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS. THE CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON. SUCH CONDITIONS COULD RENDER THE DESIGNS HEREON INAPPROPRIATE OR INEFFECTIVE.
- THIS SET OF PLANS DOES NOT DEPICT ENVIRONMENTAL CONDITIONS OR A CERTIFICATION/WARRANTY REGARDING THE PRESENCE OR ABSENCE OF ENVIRONMENTALLY IMPACTED SITE CONDITIONS. MASER CONSULTING HAS PERFORMED NO EXPLORATORY OR TESTING SERVICES, INTERPRETATIONS, CONCLUSIONS OR OTHER SITE ENVIRONMENTAL SERVICES RELATED TO THE DETERMINATION OF THE POTENTIAL FOR CHEMICAL, TOXIC, RADIOACTIVE OR OTHER TYPE OF CONTAMINANTS AFFECTING THE PROPERTY AND THE UNDERSIGNED PROFESSIONAL IS NOT QUALIFIED TO DETERMINE THE EXISTENCE OF SAME. SHOULD ENVIRONMENTAL CONTAMINATION OR WASTE BE DISCOVERED, THE OWNER AND CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LAWS AND REGULATIONS.
- A PHASE I ENVIRONMENTAL SITE ASSESSMENT WAS PERFORMED BY MASER CONSULTING, P.A. IN MARCH 2011.
- THE CONTRACTOR IS RESPONSIBLE FOR PROJECT SAFETY, INCLUDING PROVISION OF ALL APPROPRIATE SAFETY DEVICES AND TRAINING REQUIRED.
- INFORMATION SHOWN HEREON IS INCORPORATED WITH THE CONTENTS OF THE FOLLOWING REPORTS:
 - "STORMWATER POLLUTION PREVENTION PLAN" (SWPPP) PREPARED FOR BAYSIDE CONSTRUCTION, LLC, PREPARED BY MASER CONSULTING, P.A. DATED SEPTEMBER 2017.
 - "ENGINEER'S REPORT PROPOSED SEWER SYSTEM FOR BAYSIDE DEVELOPMENT" PREPARED FOR BAYSIDE CONSTRUCTION, LLC, PREPARED BY MASER CONSULTING, P.A. DATED JULY 2018.
 - "ENGINEER'S REPORT PROPOSED WATER SYSTEM FOR BAYSIDE DEVELOPMENT" PREPARED FOR BAYSIDE CONSTRUCTION, LLC, PREPARED BY MASER CONSULTING, P.A. DATED JULY 2018.
- THESE GENERAL NOTES SHALL APPLY TO ALL SHEETS IN THIS SET.

Received and approved
for the Ulster County Health Department
Carol M. Smith, MD, MPH
Commissioner of Health

By *Carol M. Smith, MD, MPH* 8/24/18
Public Health Director

Reviewed & Approved for
Water System Only

Recommended for Approval
D. J. White *J. J. J. J.*

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REV	DATE	DESCRIPTION	DRAWN BY	CHECKED BY
1	8/17/2018	ISSUED FOR CONSTRUCTION	CM	CM
2	8/17/2018	ISSUED FOR CONSTRUCTION	CM	CM
3	8/17/2018	ISSUED FOR CONSTRUCTION	CM	CM
4	8/17/2018	ISSUED FOR CONSTRUCTION	CM	CM

STATE OF NEW YORK
SEAL OF THE STATE OF NEW YORK
ANDREW B. FETHERSTON
NEW YORK LICENSED PROFESSIONAL
ENGINEER - LICENSE NUMBER: 07355-1

FINAL SITE PLAN FOR BAYSIDE CONSTRUCTION

SECTION 109.1
BLOCK 4
LOT 29
TOWN OF MARLBOROUGH
COUNTY OF ULSTER
STATE OF NEW YORK

NEW WINDSOR OFFICE
555 Hudson Valley Avenue
New Windsor, NY 12553
Phone: 845.544.4495
Fax: 845.567.1025

SCALE	DATE	DRAWN BY	CHECKED BY
AS SHOWN	08/23/2018	CM	JED

PROJECT NUMBER	DRAWING NAME
05000787A	C-COVER

SHEET TITLE
COVER SHEET

SHEET NUMBER
01 of 21

NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION

Division of Water, Bureau of Permits
625 Broadway, Albany, New York 12233-3505
P: (518) 402-8111 | F: (518) 402-9029
www.dec.ny.gov

RESOLUTION ITEM - D

November 13, 2018

Mr. Alphonso Lanzetta
Town Supervisor
21 Milton Turnpike
Milton, NY 12547

Re: Notification of Professional Engineering Design Certification Eligibility
Proposed Bayside Development Project Sewer Extension
SPDES Permit No. NY 0109720

Dear Mr. Lanzetta:

The Department has received and reviewed a sewer extension application with supporting information that indicates that downstream sewer capacity exists to allow the proposed connection. Pursuant to 6 NYCRR 750-2.10(f), in lieu of Department review and approval of the engineering reports, or plans and specification, the Department may accept, on a case-by case basis, a certification by a New York State licensed professional engineer (PE) that the design of a sewer extension conforms to design standards accepted by the Department. This is typically referred to as "PE Certification".

The Department has determined that *PE Certification* of this project is appropriate. Consequently, the design and construction of this project may commence without specific prior Department review and approval of the engineering reports, or plans and specifications.

By initiating construction of this project, the permittee, owner and/or operator accept and agree to abide by and conform to the following:

- (1) This approval is issued pursuant to SPDES Permit NY0109720 (Town of Marlborough Municipal Wastewater Treatment Plant).
- (2) This approval letter shall be maintained on permittee, owner and/or operator file.
- (3) Any and all construction undertaken shall be completely and wholly at the risk of the permittee. The Department does not assume any responsibility for the Department's reliance on *PE Certification*. It is the applicant and the design engineer's responsibility to ensure that the system conforms to acceptable design standards and that it will function properly
- (4) Upon completion of construction, a construction certification must be provided to



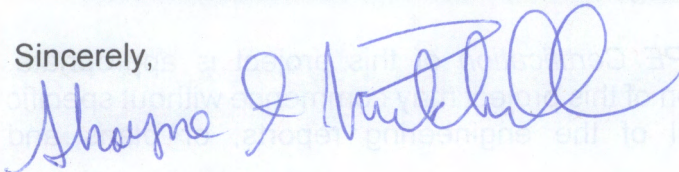
Department of
Environmental
Conservation

the Department using NYSDEC Form *SPDES ENG-2* (attached). At this time you must also submit to this office, in electronic PDF format, a final engineering report and as-built plans that are both stamped and signed by a PE, and, if applicable, the results of the leakage and deflection tests of the completed work.

- (5) Failure to submit an adequate construction certification, which includes engineering documents demonstrating conformance to acceptable design standards, may disqualify this project from *PE Certification* eligibility. The Department may withhold written acceptance of the construction certification until conformance is demonstrated.
- (6) If there is nonconformance with acceptable design standards it is possible that you may be required to remove all or part of the constructed sewer extension.
- (7) PE certification will expire if construction certification is not submitted within two (2) years of the date of this letter or the project's eligibility date.
- (8) You must receive written approval of the construction certification from the Department before commencing use of, or discharge from, the new system.
- (9) This approval does not relieve the permittee from the requirement to obtain any other permits or approvals which may be required by law before the project may proceed.

Please contact Meena George at 914-428-2505 if you have any questions.

Sincerely,



Shayne A. Mitchell, P.E.
Chief, West Permit Section

Attachment: NYSDEC Form *SPDES ENG-2*

cc: Ulster County Health Department
J. Dates, Maser Consulting
M. George, NYSDEC – White Plains

ATTACHMENT B

New York State Department of Environmental Conservation
**PROFESSIONAL ENGINEER'S CERTIFICATION OF WASTEWATER TREATMENT
PROJECT COMPLETION**
(Form SPDES ENG-2)

SPDES Permit Number NY-_____

SPDES Permittee Name: _____

Project Name: _____

Project Description: _____

I certify that the construction of the above referenced project was under my general supervision. The project was fully completed on _____ in accordance with the engineering reports, or plans and specifications, SPDES permit, and letter(s) of approval dated _____. I understand that certifying false, incorrect or inaccurate information is a violation of the laws of the State of New York, including Article 17 of the Environmental Conservation Law, 6 NYCRR 750-2.4(f), and Articles 17 and 210 of the Penal Law, and could subject me to criminal, civil, and/or administrative proceedings.

Engineering Firm Name: _____

Engineering Firm Address: _____

Certifying Engineer Name: _____

Date: _____

Certifying Engineer's Signature and Seal:

Attachments:

HIGHWAY SUPERINTENDENT

*Town of Marlborough
1650 Rt. 9W, P.O. Box 305
Milton, New York 12547*

RESOLUTION ITEM - E



GAEL R. APPLER, SR
Superintendent of Highways

*Home: (845) 795-2469
Office: (845) 795-2272 x 6
Fax: (845) 795-6037*

August 10, 2018

*Justin Dates, RLA
Maser Consulting PA
555 Hudson Valley Avenue
Suite 101
New Windsor, NY 12553-4749*

Re: Bayside Development Project

Dear Justin:

I have visited your driveway sites on Purdy Avenue, Bayside Development Project, and find both have safe, suitable sight distance and I approve their placement. Thank you for staking these out.

Very truly yours,

A handwritten signature in black ink, appearing to read 'Gael R. Appler, Sr.'.

*Gael R. Appler, Sr.
Highway Superintendent*

*cc: Mr. Pat Hines, MH & E
Mr. Chris Brand, Planning Board
Mr. Al Lanzetta, Supervisor*

NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION

Division of Water, Bureau of Water Permits

625 Broadway, Albany, New York 12233-3505

P: (518) 402-8111 F: (518) 402-9029

www.dec.ny.gov

RESOLUTION ITEM - F

11/26/2019

BAYSIDE CONSTRUCTION

Asher SUSSMAN

1451 47TH STREET

Brooklyn, New York 11219

**RE: ACKNOWLEDGMENT of NOTICE OF INTENT for
Coverage Under SPDES General Permit for
Storm Water Discharges from CONSTRUCTION
ACTIVITY – General Permit No. GP-0-15-002**

Dear Prospective Permittee:

This is to acknowledge that the New York State Department of Environmental Conservation (Department) has received a complete Notice of Intent (NOI) for coverage under General Permit No. GP-0-15-002 for the construction activities located at:

BAYSIDE DEVELOPMENT

ROUTE 9W

Marlborough, NY 12542

County: ULSTER

Pursuant to Environmental Conservation Law (ECL) Article 17, Titles 7 and 8, and ECL Article 70, discharges in accordance with GP-0-15-002 from the above construction site will be authorized 5 business days from 11/25/2019, which is the date we received your final NOI, unless notified differently by the Department.

The permit identification number for this site is: **NYR11F970**. Be sure to include this permit identification number on any forms or correspondence you send us. When coverage under the permit is no longer needed, you must submit a Notice of Termination to the Department.

This authorization is conditioned upon the following:

1. The information submitted in the NOI received by the Department on 11/25/2019 is accurate and complete.
2. You have developed a Stormwater Pollution Prevention Plan (SWPPP) that complies with GP-0-15-002 which must be implemented as the first element of construction at the above-noted construction site.
3. Activities related to the above construction site comply with all other requirements of GP-0-15-002.



Department of
Environmental
Conservation

4. Payment of the annual \$110 regulatory fee, which is billed separately by the Department in the late fall. The regulatory fee covers a period of one calendar year. In addition, since September 1, 2004, construction stormwater permittees have been assessed an initial authorization fee which is now \$110 per acre of land disturbed and \$675 per acre of future impervious area. The initial authorization fee covers the duration of the authorized disturbance.

5. Your SWPPP has been reviewed by the regulated, traditional land use control MS4 where your project is located and has been determined to be in substantive conformance with the requirements in the SPDES General Permit for Stormwater Discharges from MS4s.

6. Before disturbing greater than 5 acres of soil at any one time, you have obtained written authorization from the regulated, traditional land use control MS4 that has jurisdiction over the project.

7. When applicable, project review pursuant to the State Environmental Quality Review Act (SEQRA) has been satisfied.

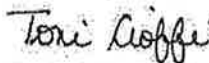
8. You have obtained all necessary Department permits subject to the Uniform Procedures Act (UPA). You should check with your Regional Permit Administrator for further information.

***Note: Construction activities cannot commence until project review pursuant to SEQRA has been satisfied, when SEQRA is applicable; and, where required, all necessary Department permits subject to the UPA have been obtained.**

Please be advised that the Department may request a copy of your SWPPP for review.

Should you have any questions regarding any aspect of the requirements specified in GP-0-15-002, please contact Dave Gasper at (518) 402-8114 or the undersigned at (518) 402-8109.

Sincerely,



Toni Cioffi

Environmental Program Specialist 1

cc: RWE -3
SWPPP Preparer
MASER CONSULTING, P.A.
Andrew Fetherston, P.E.
555 HUDSON VALLEY AVE
New Windsor, NY 12553

MEMORANDUM OF UNDERSTANDING (MOU)

Made this 9th day of May, 2018, between the Marlboro Central School District (hereinafter the "MCSD"), with offices at 21 Milton Turnpike, Suite 100, Milton, NY 12547 and Bayside Construction, LLC (hereinafter the "Owner"), with an address at 1451 47th Street, Brooklyn, NY 11219, seek an MOU in connection with the improvements to benefit the MCSD (as shown on Attachment #1 & #2).

The Owner is the owner of real property situated on the west side of NYS Route 9W just north of the Marlboro Middle School and on Purdy Avenue in the Town of Marlborough, which is assigned Marlborough Tax identification 109.1-4-29 (hereinafter the "Property"), and the MCSD is owner of the adjacent parcel south of this also in the Town of Marlborough, which is assigned Marlborough Tax identification 109.1-4-21.

Based on prior meetings and discussions, both the Owner and MCSD have evaluated a series of site improvements to benefit the MCSD and the existing Middle School parcel through the construction of said improvements by the Owner and in association with the proposed project (Bayside Mixed-Use Development) which is before the Town of Marlborough for approvals. There are two (2) separate proposals for improvements which are as follows:

Proposal #1

This proposal specifically addresses the expansion of existing pavement for additional parking spaces and striping same on the Middle School property (as depicted on Attachment #1).

This shall be executed via:

1. The Owner shall pay for and physically construct these improvements on the Middle School parcel, or;
2. An offer of donation shall be made to the MCSD for the parking and striping improvements based on receiving three (3) bids for the work and the lowest bid amount will establish the donation amount, or;
3. No agreement. These items will be removed from the Owner's project.

The MCSD wishes to proceed with Proposal #1, Item # 1.

Proposal #2

This proposal specifically addresses two (2) driveway connections to the Bayside Roadway and connecting same to the Middle School property (as depicted on Attachment #2).

It is the MCSD's desire to:

1. Have the Owner construct the two (2) proposed Middle School driveway connections to the Bayside project roadway. The two-way driveway shall be within a proposed Town right-of-way

and the one-way driveway shall be within an easement to benefit the MCSD over the Owner's property, or;

2. The driveway connection improvements to benefit the Middle School property shall be removed from the Bayside Mixed-Use Development project.

The MCSD wishes to proceed with Proposal #2, Item # 1.

For both proposals the MCSD shall be responsible for those costs, including but not limited to the costs of all required permits and approvals (outside of the Site Plan approvals from the Town which are the Owners responsibility) and engineering, attorney, etc. consulting fees, and the necessary granting of construction and access easements which may be necessary to formalize execution of the improvements. Upon completion of any potential improvements, the MCSD shall accept responsibility for maintenance of these facilities in perpetuity. This applies to both proposal #1 and proposal #2.

If desired by the MCSD, the Owner will continue to process the improvements as a component of the current Town approvals for the project. The Owner will not provide additional payment or bond to the MCSD for the proposed work to be conducted to benefit the MCSD and the Middle School parcel. Details of construction for the proposed improvements are provided on the project plans, no separate design documents shall be prepared by the Owner or its representatives for the improvements to benefit the MCSD.

By signing this MOU, it shall confirm the advancement and the scope of work of the proposed improvements between the Owner and the MCSD.

Marlborough Central School District

Bayside Construction, LLC

By: 
Mr. Michael Brooks
Superintendent of Schools

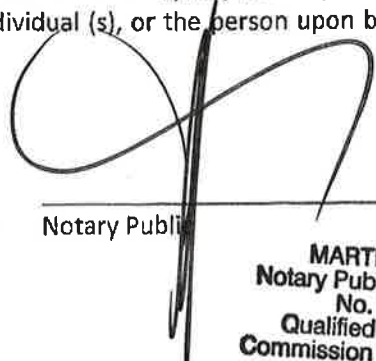
By: 
Mr. Asher Sussman
Managing Member

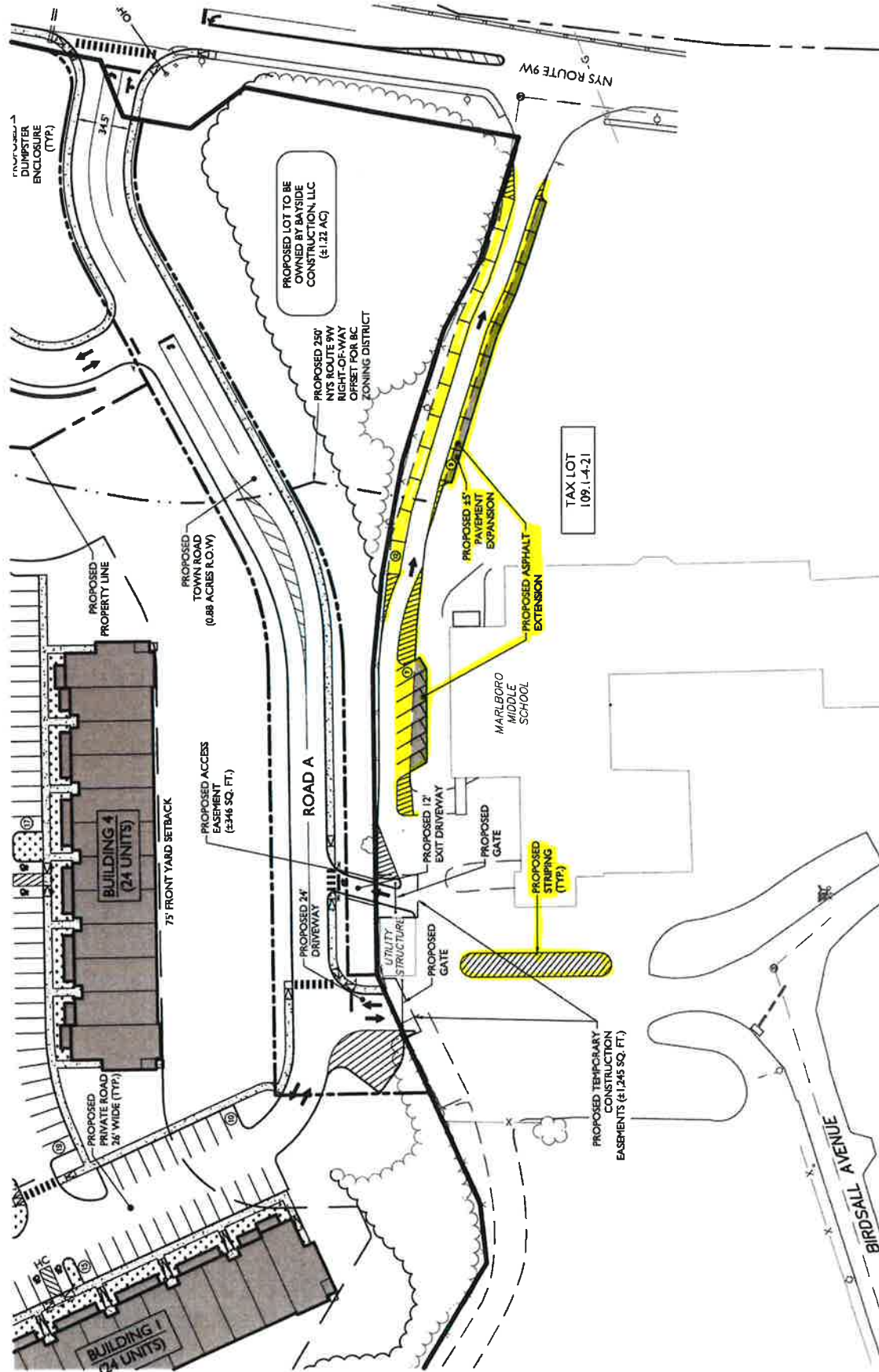
State of New York, County of Ulster ss.:
On the 9th day of May, 2018, before me, the undersigned, a notary public in and for said state, personally appeared Michael Brooks personally know to me or proved to me on the basis of satisfactory evidence to be the individual (s) is (are) subscribed to the within instrument and acknowledged to me that hs/she/they executed the same in his/her/their capacity (ies), and that by his/her/their signature(s) on the instrument, the individual (s), or the person upon behalf of which the individual (s) acted, executed the instrument.

SUSAN CANFIELD
Notary Public, State of New York
No. 01CA6250972
Qualified in Orange County
Term Expires November 14, 2019

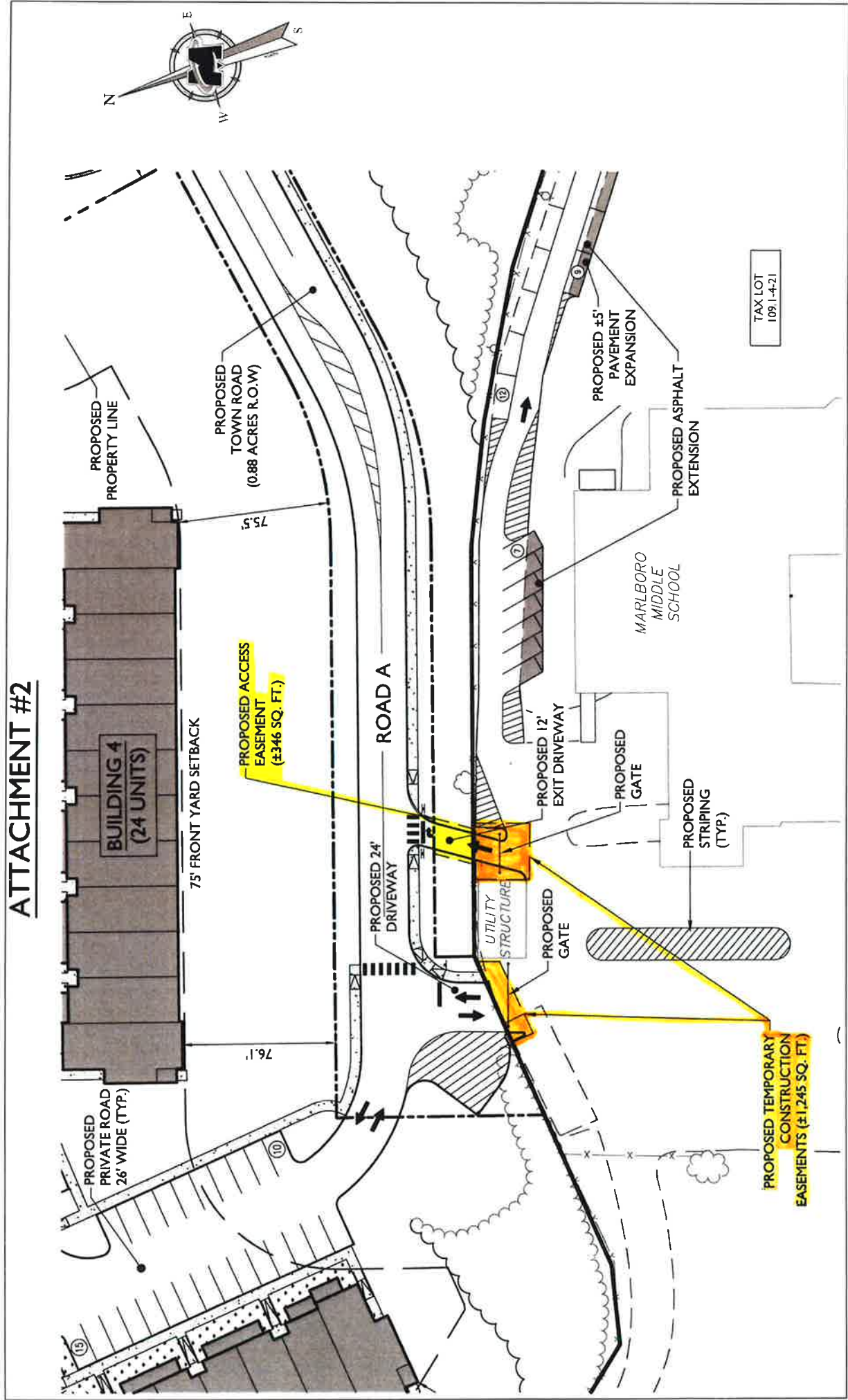

Notary Public

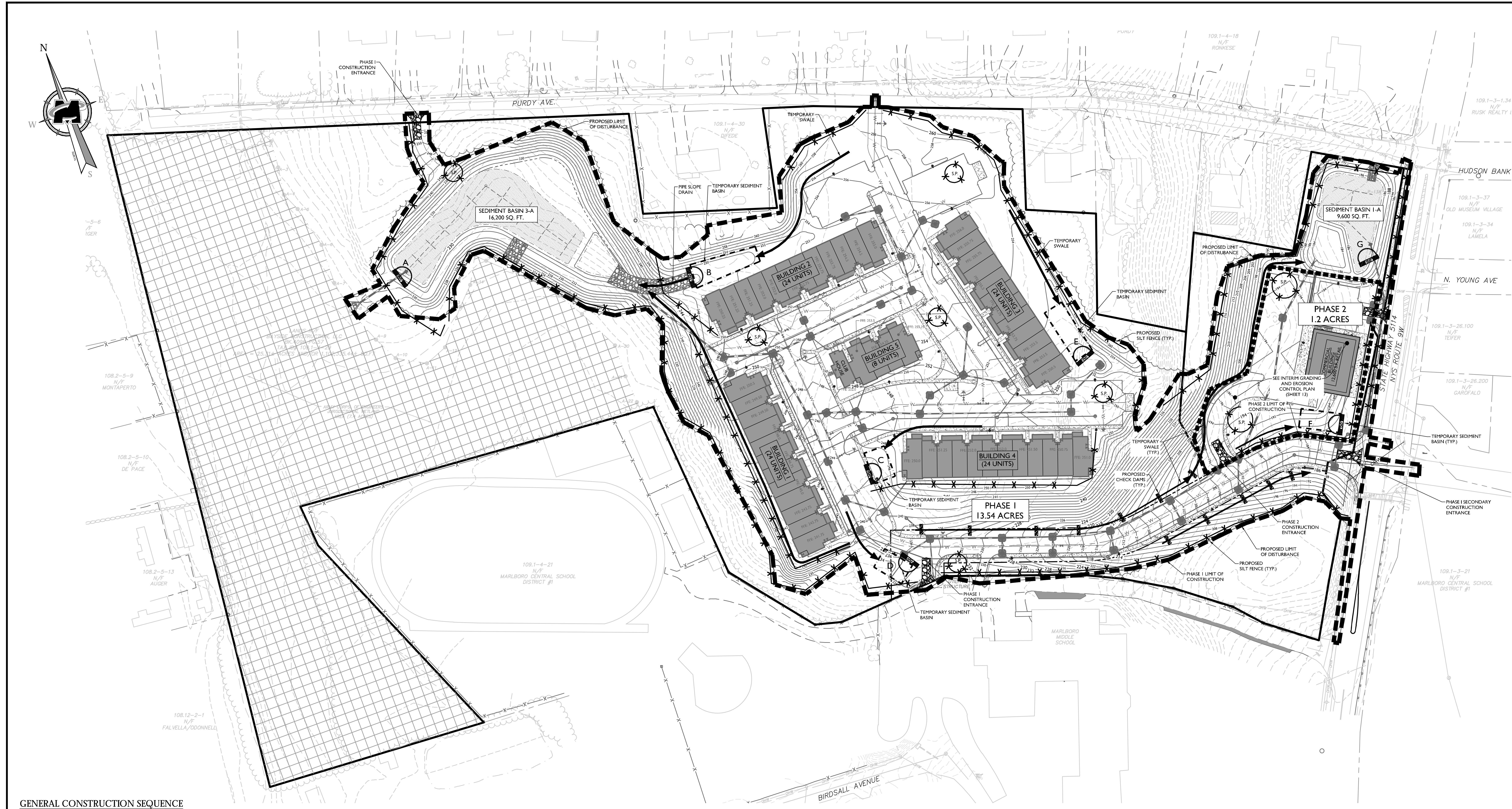
State of New York, County of Essex ss.:
On the 22 day of May, 2018, before me, the undersigned, a notary public in and for said state, personally appeared Asher Sussman personally know to me or proved to me on the basis of satisfactory evidence to be the individual (s) is (are) subscribed to the within instrument and acknowledged to me that hs/she/they executed the same in his/her/their capacity (ies), and that by his/her/their signature(s) on the instrument, the individual (s), or the person upon behalf of which the individual (s) acted, executed the instrument.


Notary Public
MARTIN SILVERSTEIN
Notary Public, State of New York
No. 01SI4696011
Qualified in Nassau County
Commission Expires Nov. 30, 2019



ATTACHMENT #2





GENERAL CONSTRUCTION SEQUENCE

- PHASE 1**
1. THE PROPOSED TWO STORY COMMERCIAL BUILDING CONSTRUCTION AREA IS NOT PART OF THIS PHASE. SEE INTERIM GRADING AND EROSION CONTROL PLAN (SHEET 13).
 2. A FIVE (5) ACRE DISTURBANCE WAIVER WILL BE REQUIRED FROM THE TOWN.
- DISTURBANCE AREA = 13.54 ACRES
TEMP STORAGE REQUIRED = 3,600 CF PER ACRE DISTURBED = 48,744 CF
TEMP STORAGE PROVIDED = 90,216 CF.
- THIS PHASE INCLUDES CONSTRUCTION OF THE RESIDENTIAL BUILDINGS, ROADS SERVING THE RESIDENTIAL BUILDINGS, PARKING AREAS, ASSOCIATED UTILITIES AND CONSTRUCTION OF BORESTENTION BASINS 1-A & 3-A. SEE PLAN FOR LIMIT OF PHASE DISTURBANCE.
1. THE APPLICANT AND THE APPLICANTS CONTRACTOR SHALL ATTEND A PRE-CONSTRUCTION MEETING WITH REPRESENTATIVES FROM THE TOWN BUILDING DEPARTMENT, HIGHWAY DEPARTMENT, ENGINEERS AND ANY OTHER PARTIES DEEMED NECESSARY TO REVIEW ALL PROTOCOLS, BONDING REQUIREMENTS, AGREEMENTS AND THE SEQUENCE AND SCHEDULING OF THE WORK BEING UNDERTAKEN, AS APPLICABLE.
 2. THE CONTRACTOR SHALL DEMOLISH THE EXISTING ON SITE STRUCTURES AS INDICATED ON THE DEMOLITION PLAN.
 3. THE CONTRACTOR SHALL INSTALL CONSTRUCTION ENTRANCES AS SHOWN ON THE PLANS, OR AS AGREED UPON.
 4. THE CONTRACTOR SHALL EXCAVATE SEDIMENT BASINS 1-A AND 3-A IN ADVANCE OF DISTURBANCE ACTIVITIES. SEDIMENT BASIN 3-A SHALL BE ACCESSIBLE FROM THE CONSTRUCTION ENTRANCE OFF PURDY AVENUE. THE CONTRACTOR SHOULD STABILIZE THE SLOPES OF EACH BASIN AS SOON AS PRACTICAL WITH SLOPE STABILIZATION MEASURES TO MEET STABILIZATION REQUIREMENTS. THE CONTRACTOR SHALL INSTALL THE OUTLETS FOR EACH SEDIMENT BASIN IN ACCORDANCE TO NYSDC STANDARDS AND REGULATIONS. EROSION CONTROL MEASURES AND CONSTRUCTION FENCING AROUND THE PROPOSED LIMIT OF DISTURBANCE SHALL BE INSTALLED AS SHOWN ON THE PLAN.
 5. THE CONTRACTOR SHALL CLEAR EXISTING VEGETATION, INSTALL SILT FENCE, TEMPORARY SEDIMENT TRAPS & BASINS, TEMPORARY SWALES AND ORANGE CONSTRUCTION FENCE AS SHOWN ON THE EROSION AND SEDIMENT CONTROL PLAN. ORANGE CONSTRUCTION FENCE IS AN ACCEPTABLE ALTERNATIVE TO SILT FENCE TO DELINEATE WORK LIMITS UPSTREAM OF DISTURBANCE AREAS. CONTRACTOR TO CONSTRUCT ADDITIONAL EROSION CONTROL MEASURES AS NEEDED TO CONTROL SEDIMENT LADEN RUNOFF THROUGHOUT THE LIFE OF THE PROJECT. CONSTRUCTION OF EROSION CONTROL MEASURES TO BE IN ACCORDANCE WITH NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION STANDARDS (BLUE BOOK). TREES TO REMAIN SHALL BE CLEARLY IDENTIFIED AND PROTECTED FROM DAMAGE.
 6. THE CONTRACTOR SHALL GRUB THE EXISTING VEGETATION. ALL EXISTING SITE IMPROVEMENTS AS CALLED OUT ON THE DEMOLITION PLAN AND/OR DIRECTED BY DESIGNATED REPRESENTATIVES, SHALL BE REMOVED WITHIN THE CONSTRUCTION LIMITS.
 7. THE CONTRACTOR SHALL ROUGH GRADE THE SITE. EXCAVATED MATERIALS THROUGHOUT THE SITE SHALL BE STOCKPILED AT DESIGNATED LOCATIONS OR REMOVED IN AN ORGANIZED FASHION KEEPING ALL TEMPORARY SWALES, SEDIMENT BASINS AND ROADWAYS CLEAR OF DEBRIS. THE STOCKPILE AREAS SHALL BE CORDONED OFF WITH SILT FENCE PER THE APPROPRIATE SPECIFICATIONS AND DETAILS. THE OPERATOR SHALL INITIATE STABILIZATION MEASURES AS SOON AS PRACTICAL IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN (7) DAYS IF MORE THAN 5 ACRES IS DISTURBED OR (14) DAYS IF LESS THAN 5 ACRES. AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.

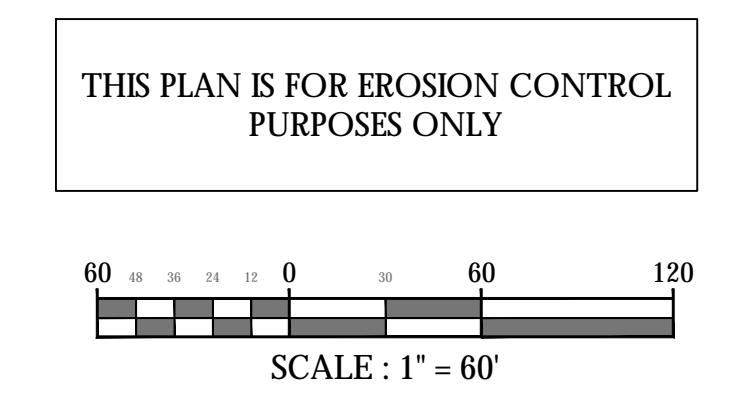
8. THE CONTRACTOR SHALL INSTALL ALL UTILITIES (SEWER, WATER, AND DRAINAGE) AS OUTLINED ON THE PLAN. ALL INVERTS SHALL BE PLUGGED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS. STORM INLET SEDIMENT TRAPS SHALL BE INSTALLED ON ALL DRAINAGE STRUCTURES, AS IDENTIFIED ON THE PLANS OR AN ACCEPTABLE ALTERNATIVE FOUND IN THE NYSDC "BLUE BOOK".
9. THE CONTRACTOR SHALL INSTALL CURBING, SIDEWALKS, BASE COURSE AND BUILDING PADS AS SOON AS PRACTICAL TO STABILIZE THESE AREAS.
10. THE CONTRACTOR SHALL CONSTRUCT THE RESIDENTIAL BUILDINGS AND CLUBHOUSE. AFTER COMPLETION OF BUILDING EXTERIOR, GRADE AND SPREAD TOPSOIL ON ALL LAWN AREAS AND SEED. MAINTAIN ALL SEEDD AND PLANTED AREAS TO INSURE A VIABLE STABILIZED VEGETATIVE COVER.
11. THE PROJECT SITE MUST MEET FINAL STABILIZATION CRITERIA PRIOR TO REMOVING ALL EROSION AND SEDIMENT CONTROL DEVICES AND CLOSING OUT THE PROJECT. LITTER AND CONSTRUCTION DEBRIS SHALL BE REMOVED AS PRACTICAL THROUGHOUT THE LIFE OF THE PROJECT.
12. UPON FINAL STABILIZATION BEING MET, CONTRACTOR SHALL CLEAR DRAINAGE PIPES AND STRUCTURE OF ANY SEDIMENT WHICH MAY HAVE ACCUMULATED, REMOVE PLUGS, AND COMMISSION THE SYSTEM.
13. THE GENERAL PERMIT FOR STORMWATER DISCHARGE FROM CONSTRUCTION ACTIVITIES STATES THIS IS UNLAWFUL FOR ANY PERSON TO CAUSE OR CONTRIBUTE TO A VIOLATION OF WATER QUALITY STANDARDS.

- PHASE 2**
- DISTURBANCE AREA = 1.20 ACRES
TEMP STORAGE REQUIRED = 3,600 CF PER ACRE DISTURBED = 4,320 CF
TEMP STORAGE PROVIDED = 7,200 CF
- THIS PHASE INCLUDES CONSTRUCTION OF THE COMMERCIAL BUILDING, ROADS SERVING THE COMMERCIAL BUILDING, PARKING AREAS, RETAINING WALLS, ASSOCIATED UTILITIES AND MINOR GRADING OF SLOPE WEST OF PROPOSED BUILDING.
1. THE THE CONTRACTOR SHALL ESTABLISH A NEW CONSTRUCTION ENTRANCE OFF OF ROAD A.
 2. EROSION CONTROL MEASURES SHALL BE REESTABLISHED OR REPAIRED AS REQUIRED. TEMPORARY SEDIMENT BASINS SHALL BE EXCAVATED AS REQUIRED TO PROVIDE ADEQUATE STORAGE.
 3. THE CONTRACTOR SHALL CLEAR AND GRUB THE EXISTING VEGETATION FOR THE REMAINDER OF THE APPLICABLE PHASE. ALL EXISTING SITE IMPROVEMENTS AS CALLED OUT ON THE DEMOLITION PLAN AND/OR DIRECTED BY DESIGNATED REPRESENTATIVES, SHALL BE REMOVED WITHIN THE CONSTRUCTION LIMIT. THE SITE SHALL BE ROUGH GRADED.
 4. THE CONTRACTOR SHALL ROUGH GRADE THE SITE. EXCAVATED MATERIALS THROUGHOUT THE SITE SHALL BE STOCKPILED AT DESIGNATED LOCATIONS OR REMOVED IN AN ORGANIZED FASHION KEEPING ALL TEMPORARY SWALES, SEDIMENT BASINS AND ROADWAYS CLEAR OF DEBRIS. THE STOCKPILE AREAS SHALL BE CORDONED OFF WITH SILT FENCE PER THE APPROPRIATE SPECIFICATIONS AND DETAILS. THE OPERATOR SHALL INITIATE STABILIZATION MEASURES AS SOON AS PRACTICAL IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN (14) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.
 5. CONTRACTOR SHALL INSTALL RETAINING WALLS, CURBING, SIDEWALK, BASE COURSE AND BUILDING PAD AS SOON AS PRACTICABLE TO STABILIZE IMPERVIOUS AREAS.
 6. THE CONTRACTOR SHALL CONSTRUCT THE COMMERCIAL BUILDING. AFTER COMPLETION OF BUILDING EXTERIOR, GRADE AND SPREAD TOPSOIL ON ALL LAWN AREAS AND SEED. MAINTAIN ALL SEEDD AND PLANTED AREAS TO INSURE A VIABLE STABILIZED VEGETATIVE COVER.
 7. THE PROJECT SITE MUST MEET FINAL STABILIZATION CRITERIA PRIOR TO REMOVING ALL EROSION AND SEDIMENT CONTROL DEVICES AND CLOSING OUT THE PROJECT. LITTER AND CONSTRUCTION DEBRIS SHALL BE REMOVED AS PRACTICAL THROUGHOUT THE LIFE OF THE PROJECT.
 8. UPON FINAL STABILIZATION BEING MET, CONTRACTOR SHALL CLEAR DRAINAGE PIPES AND STRUCTURE OF ANY SEDIMENT WHICH MAY HAVE ACCUMULATED, REMOVE PLUGS, AND COMMISSION THE SYSTEM.

RESOLUTION ITEM - H

LEGEND FOR EROSION CONTROL DURING CONSTRUCTION

- CONSTRUCTION LIMIT LINE PER PHASE
- SILT FENCE
- STORM INLET SEDIMENT TRAP
- STABILIZED CONSTRUCTION ENTRANCE
- STONE OUTLET SEDIMENT TRAP
- TEMPORARY SWALE
- TEMPORARY SEDIMENT BASIN
- MATERIAL STOCKPILE
- CHECK DAM



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3	01/01/14	CPM	ISSUED FOR LOCAL COMMENTS

PRELIMINARY

ANDREW B. FETHERSTON
NEW YORK LICENSED PROFESSIONAL
ENGINEER - LICENSE NUMBER: 07555-1

FINAL SITE PLAN FOR BAYSIDE CONSTRUCTION

SECTION 109.1
BLOCK 4
LOT 29

TOWN OF MARLBOROUGH
COUNTY OF ULSTER
STATE OF NEW YORK

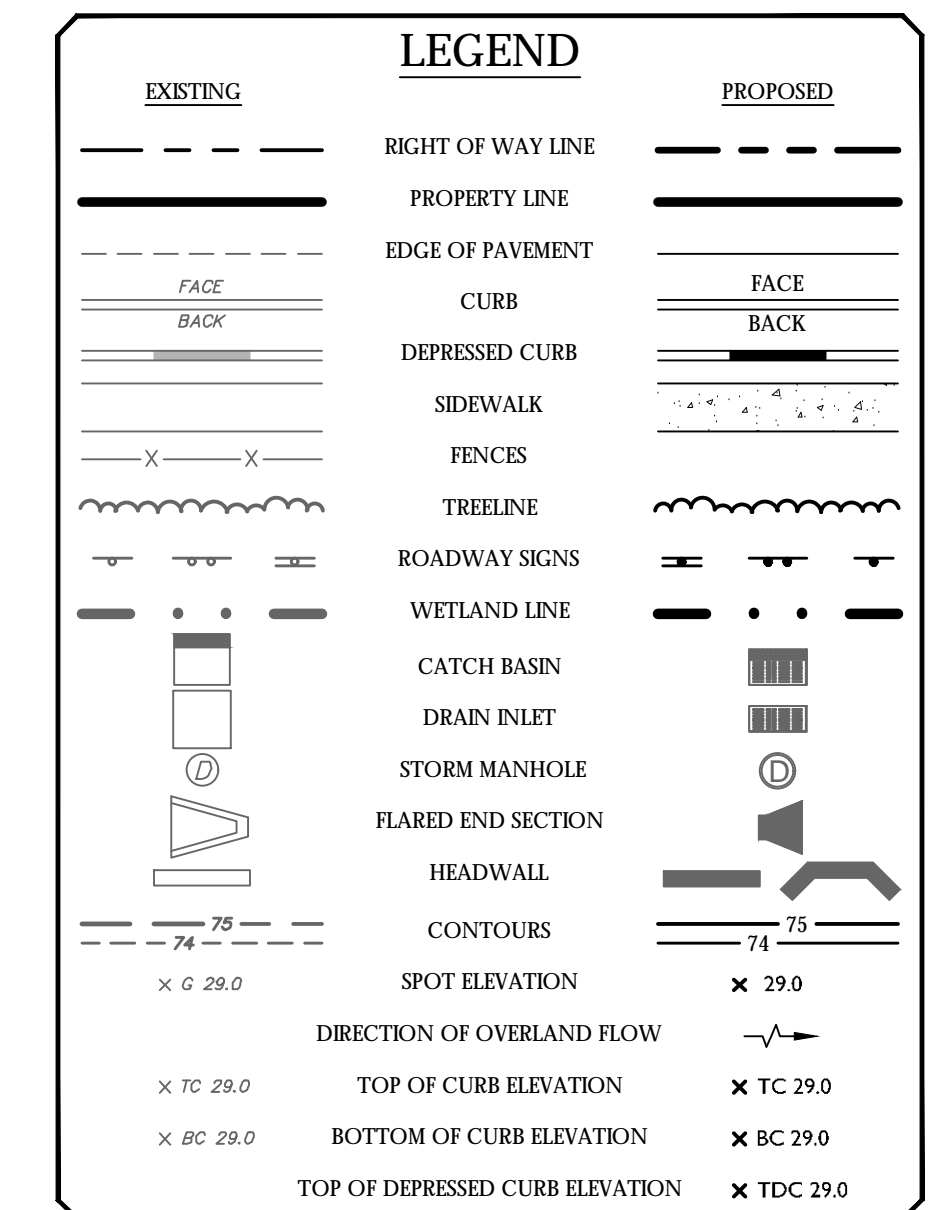
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355 Hollow Valley Avenue
Suite 101
New Windsor, NY 12553
Phone: 845.564.4495
Fax: 845.567.1025

SCALE:	DATE:	DRAWN BY:	CHECKED BY:
AS SHOWN	09/22/2017	CPM	IED

PROJECT NUMBER:	DRAWING NAME:
60000787A	C-SEC

SHEET TITLE: **SOIL EROSION & SEDIMENT CONTROL PLAN**

SHEET NUMBER: **12 of 21**

[illegible][illegible]

PRELIMINARY


ANDREW B. FETHERSTON
NEW YORK LICENSED PROFESSIONAL
ENGINEER - LICENSE NUMBER: 073555-1

FINAL
SITE PLAN

FOR
BAYSIDE
CONSTRUCTION

SECTION 109.1
BLOCK 4
LOT 29

TOWN OF MARLBOROUGH
COUNTY OF ULSTER
STATE OF NEW YORK



NEW WINDSOR OFFICE
555 Hudson Valley Avenue
Suite 101
New Windsor, NY 12553
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Fax: 845.567.1025

SCALE	DATE	DRAWN BY:	CHECKED BY:
AS SHOWN	09/22/2017	CPM	ED
PROJECT NUMBER:		DRAWING NAME	
05000787A		C-GRAD-PHAS	
SHEET TITLE:			
<p align="center">INTERIM GRADING & EROSION CONTROL PLAN</p>			

SHEET NUMBER:
13 of 21

GENERAL SOIL EROSION AND SEDIMENT CONTROL NOTES

1. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
2. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN FOURTEEN (14) DAYS FOR DISTURBANCES LESS THAN FIVE (5) ACRES AND SEVEN (7) DAYS FOR DISTURBANCES GREATER THAN FIVE (5) ACRES, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO STATE STANDARDS.
3. PERMANENT VEGETATION TO BE SEEDING OR SOEDING ON ALL EXPOSED AREAS WITHIN FIVE (5) DAYS AFTER FINAL GRADING. MULCHING IS REQUIRED ON ALL SEEDING. WHEN HYDROSEEDING, MULCH SHALL NOT BE INCLUDED IN THE TANK WITH THE SEED.
4. ALL WORK TO BE DONE IN ACCORDANCE WITH THE 2015 NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL OR AS AMENDED.
5. A SUBBASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS TO STABILIZE STREETS, ROADS, DRIVEWAYS, AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUBBASE SHALL BE INSTALLED WITHIN FIVE (5) DAYS OF THE PRELIMINARY GRADING.
6. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (E.G. STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO STATE STANDARDS.
7. ANY STEP SLOPES RECEIVING PIPELINE INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION CONTINUES (E.G. SLOPES GREATER THAN 3:1).
8. THE STANDARD FOR STABILIZED CONSTRUCTION ACCESS REQUIRES THE INSTALLATION OF A STONE PAD, AT ALL CONSTRUCTION DRIVEWAYS, IMMEDIATELY AFTER INITIAL SITE DISTURBANCE.
9. IN ACCORDANCE WITH THE STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS, ANY SOIL HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULPHIDES SHALL BE COVERED WITH A MINIMUM OF TWELVE (12) INCHES OF SOIL HAVING A PH OF 5 OR MORE PRIOR TO SEEDING PREPARATION. AREAS WHERE TREES OR SHRUBS ARE TO BE PLANTED SHALL BE COVERED WITH A MINIMUM OF TWENTY-FOUR (24) INCHES OF SOIL HAVING A PH OF 5 OR MORE.
10. AT THE TIME THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE COMPLETED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER, SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT IT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.
11. CONDUIT OUTLET PROTECTION MUST BE REVIEWED & SUPPLEMENTED AT ALL OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.
12. UNLINTED DEWATERING IS NOT PERMITTED. TAKE ALL NECESSARY PRECAUTIONS DURING ALL DEWATERING OPERATIONS TO MINIMIZE SEDIMENT TRANSFER. ANY DEWATERING METHOD USED MUST BE IN ACCORDANCE WITH STATE STANDARDS.
13. SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SURFACE IS TO BE SPRINKLED UNTIL THE SURFACE IS WET. TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED IN ACCORDANCE WITH STATE STANDARDS FOR EROSION CONTROL.
14. ALL SOIL WASHED, DROPPED, SPILLED, OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHT-OF-WAY WILL BE REMOVED IMMEDIATELY.
15. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ANY EROSION AND SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.
16. STOCKPILE AND STAGING LOCATIONS DETERMINED IN THE FIELD, SHALL BE PLACED WITHIN THE LIMITS OF DISTURBANCE ACCORDING TO THE CERTIFIED PLAN.
17. CONCRETE WASHOUT, DUMPMSTER, & STAGING AREA LOCATIONS SHALL BE DETERMINED BY THE CONTRACTOR AND APPROVED AT THE PRE-CONSTRUCTION MEETING. THEY SHALL BE PLACED IN THE PROXIMITY OF THE CONSTRUCTION ENTRANCE AND STAGING AREAS AND SHALL BE USED PRIOR TO EXITING THE PROJECT SITE. THE LOCATION SHALL BE IN A PRACTICAL, CLEARLY DELINEATED, AREA AND BE MAINTAINED THROUGHOUT CONSTRUCTION.
18. ALL SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
19. ALL PERMANENT SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED BY THE PROPERTY OWNER, AND SHALL BECOME THEIR RESPONSIBILITY.
20. PAVEMENT AREAS ARE TO BE KEPT CLEAN AT ALL TIMES.
21. DURING CONSTRUCTION, ANY ADDITIONAL CONTROL MEASURES AS DEMED NECESSARY TO PREVENT EROSION OR CONTROL SEDIMENT BEYOND THOSE MEASURES SHOWN ON THE APPROVED PLAN SHALL BE INSTALLED OR EMPLOYED AT THE DISCRETION OF THE MUNICIPAL ENGINEER.
22. ALL TEMPORARY STRUCTURAL EROSION AND SEDIMENT CONTROL MEASURES CAN BE REMOVED, WHEN ALL CONSTRUCTION ACTIVITY IDENTIFIED IN THE SWPPP HAS BEEN COMPLETED, ALL AREAS OF DISTURBANCE HAVE ACHIEVED FINAL STABILIZATION** AND ALL POST CONSTRUCTION STORMWATER MANAGEMENT PRACTICES HAVE BEEN CONSTRUCTED IN CONFORMANCE WITH THE SWPPP AND ARE OPERATIONAL.

FINAL STABILIZATION MEANS THAT ALL SOIL DISTURBANCE ACTIVITIES HAVE CEASED AND A UNIFORM, PERENNIAL VEGETATIVE COVER WITH A DENSITY OF EIGHTY (80) PERCENT OVER THE ENTIRE PERVIOUS SURFACE HAS BEEN ESTABLISHED, OR OTHER EQUIVALENT STABILIZATION MEASURES, SUCH AS PERMANENT LANDSCAPE MULCHES, ROCK RIP-RAP OR WASHED CRUSHED STONE HAVE BEEN APPLIED ON ALL DISTURBED AREAS THAT ARE NOT COVERED BY PERMANENT STRUCTURES, CONCRETE OR PAVEMENT.

MAINTENANCE PLAN DURING CONSTRUCTION

INSPECTION AND MAINTENANCE SHALL BE PERFORMED IN CONFORMANCE WITH GP-6.15-002. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED AND INSTALLED FOR THE PROJECT. THE SEDIMENT TRAPS WILL BE CLEANED OUT WHEN THE LEVEL OF SEDIMENT REACHES 25% OF ITS CAPACITY. SEDIMENT WILL BE REMOVED FROM BEHIND THE SILT FENCE WHEN IT BECOMES APPROXIMATELY 6" DEEP AT THE FENCE. THE SEDIMENT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER. ALL SEEDING AREAS WILL BE FERTILIZED, BE SEEDS AS NECESSARY, AND MULCHED ACCORDING TO SPECIFICATIONS IN THE LANDSCAPE PLAN TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.

NOTE DURING THE CONSTRUCTION OF A PHASE, EACH SUBSEQUENT PHASE WILL HAVE BEEN CAPPED AND STABILIZED WITH DENSE GRASS COVER.

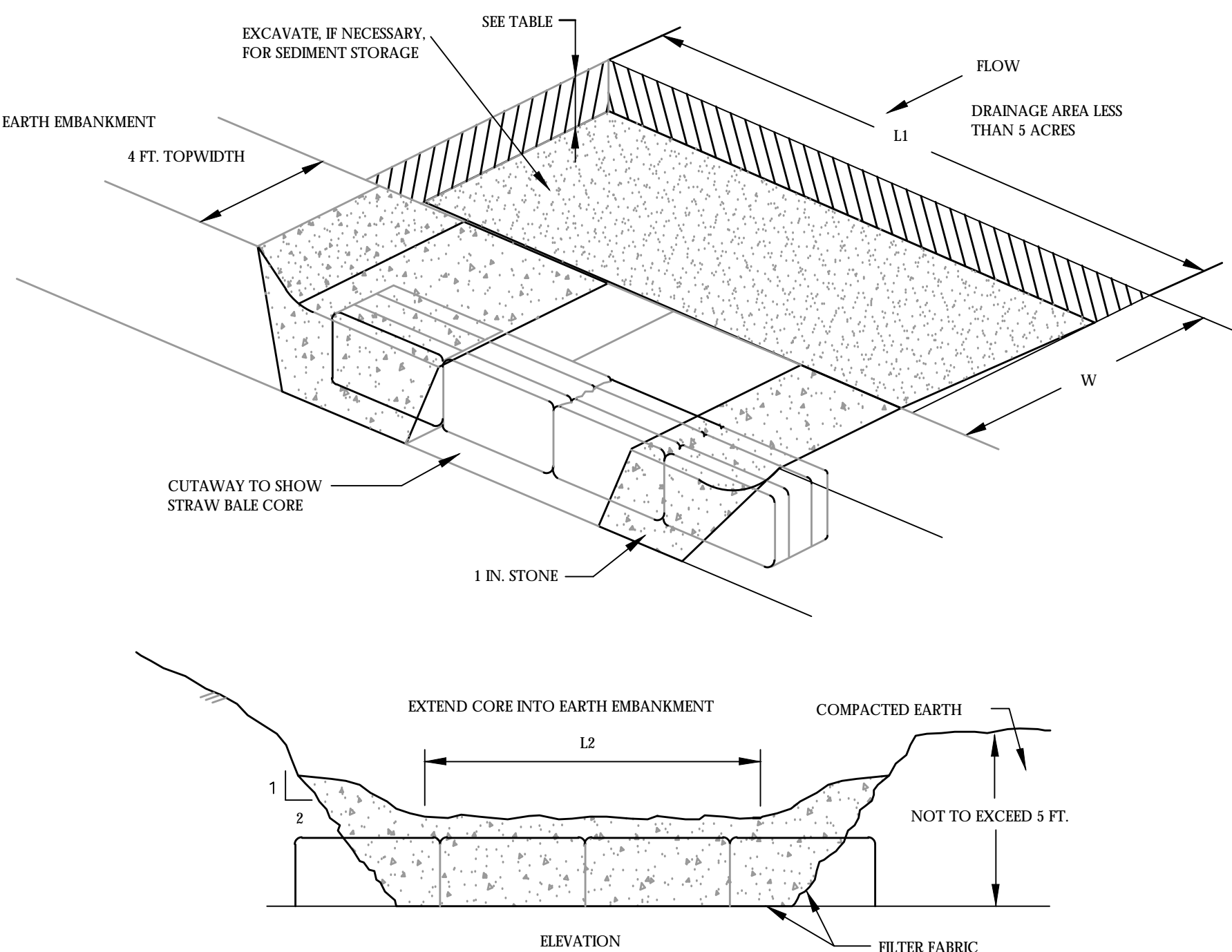
MAINTENANCE AGREEMENT NOTE

THE OWNER/APPLICANT SHALL ENTER INTO AN ENFORCEABLE MAINTENANCE AGREEMENT WITH THE MUNICIPALITY RELATED TO MAINTENANCE OF STORMWATER FACILITIES. THE OWNER/APPLICANT IS RESPONSIBLE TO PERFORM ALL REQUIRED MAINTENANCE BOTH DURING CONSTRUCTION AND LONG-TERM. THE NATURE OF THE AGREEMENT IS TO ALLOW THE TOWN TO PERFORM MAINTENANCE AT THEIR OPTION SHOULD THE OWNER/APPLICANT FAIL TO ADEQUATELY MAINTAIN THE SYSTEM AS DETERMINED BY THE MUNICIPAL ENGINEER. MAINTENANCE OF THE STORMWATER SYSTEM SHALL BE PERFORMED IN ACCORDANCE WITH THE APPROVED SWPPP AND DETAIL SHEETS.

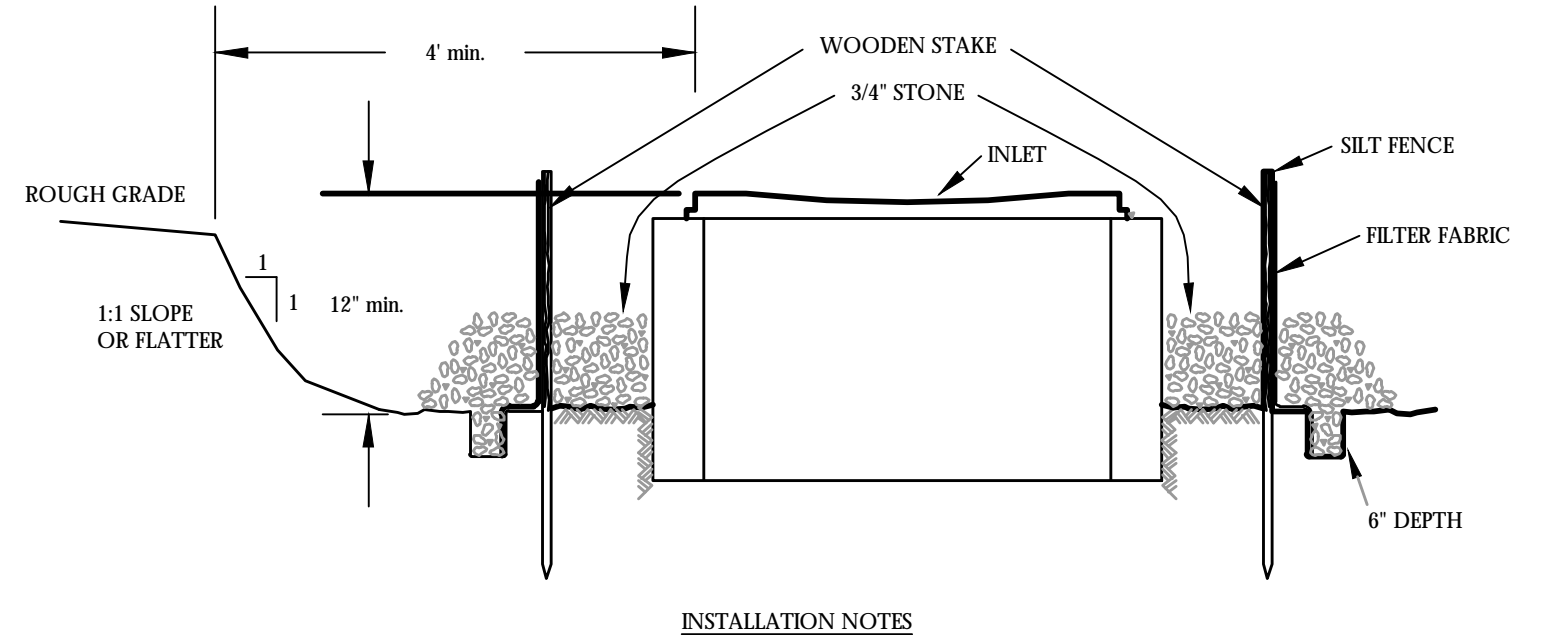
GENERAL SEEDING NOTES

1. TEMPORARY SEEDING SHALL CONSIST OF PERENNIAL RYEGRASS APPLIED AT A RATE OF 1.0 LBS. PER 1000 SF OR SPRING OUTLAYS APPLIED AT A RATE OF 2.0 LBS. PER 1000 SF. TEMPORARY SEEDING SHALL BE MULCHED AND MAINTAINED UNTIL DISTURBED AREAS ARE PERMANENTLY STABILIZED WITH PERMANENT SEEDING.
2. PERMANENT SEEDING SHALL CONSIST OF THE FOLLOWING MIXTURE OR APPROVED EQUAL. OPTIMUM SEEDING DATES ARE BETWEEN APRIL 1 AND MAY 31 AND AUGUST 16 AND OCTOBER 15.

MIXTURE	HARD FESCUE	120 LBS/ACRE
PERENNIAL RYE GRASS	30 LBS/ACRE	
KENTUCKY BLUE GRASS (BLENDED)	40 LBS/ACRE	
3. PERMANENT SEEDING TO BE APPLIED BY BAKING OR DRILLING INTO THE SOILS AT A RATE OF 150# PER ACRE, SLOPED AREA TO BE COVERED WITH MULCH AS INDICATED IN NOTE 5.
4. FERTILIZER FOR THE ESTABLISHMENT OF TEMPORARY AND PERMANENT VEGETATIVE COVER SHALL BE IN COMPLIANCE WITH THE LATEST NYSDEC REGULATIONS. A SOIL TEST PRIOR TO FERTILIZER APPLICATION IS RECOMMENDED.
5. IF SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY OR PERMANENT SEEDING, EXPOSED AREA TO BE STABILIZED WITH MULCH AS INDICATED IN NOTE 6.
6. MULCH TO CONSIST OF SMALL GRAIN STRAW OR SALT HAY ANCHORED WITH A WOOD AND FIBER MULCH BINDER OR AN APPROVED EQUAL. MULCH WILL BE SPREAD AT RATES OF 90 TO 110 LBS. PER 1000 SF AND ANCHORED WITH A MULCH ANCHORING TOOL OR LIQUID MULCH BINDER AND SHALL BE PROVIDED ON ALL SEEDINGS. HYDROMULCH SHALL ONLY BE USED DURING OPTIMUM GROWING SEASONS.
7. WORK TIME AND FERTILIZER INTO SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRINGTOOTH HARROW, OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DRIVING OPERATION SHOULD BE ON THE GENERAL CONTROL. CONTINUE TILLAGE UNTIL A REASONABLY UNIFORM FINE SEED BED IS PREPARED. ALL BUT CLAY OR SILTY SOILS AND COARSE SANDS SHOULD BE ROLLED TO FIRM THE SEEDBED WHEREVER FEASIBLE.
8. REMOVE FROM THE SURFACE ALL STONES TWO INCHES OR LARGER IN ANY DIMENSION. REMOVE ALL OTHER DEBRIS, SUCH AS WIRE, CABLE, TREE ROOTS, PIECES OF CONCRETE, CLODS, LUMPS, OR OTHER UNSUITABLE MATERIAL.
9. INSPECT SEEDBED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RETILLED AND FIRMED AS ABOVE.

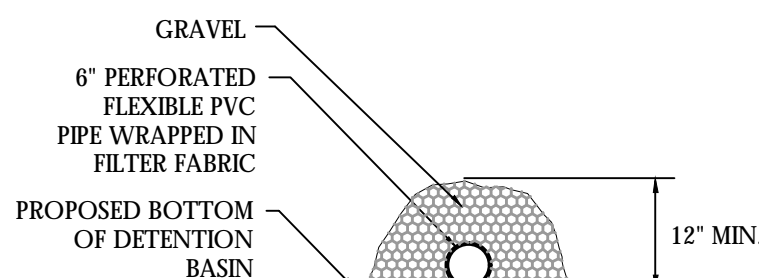


STONE OUTLET SEDIMENT TRAP
N.T.S.



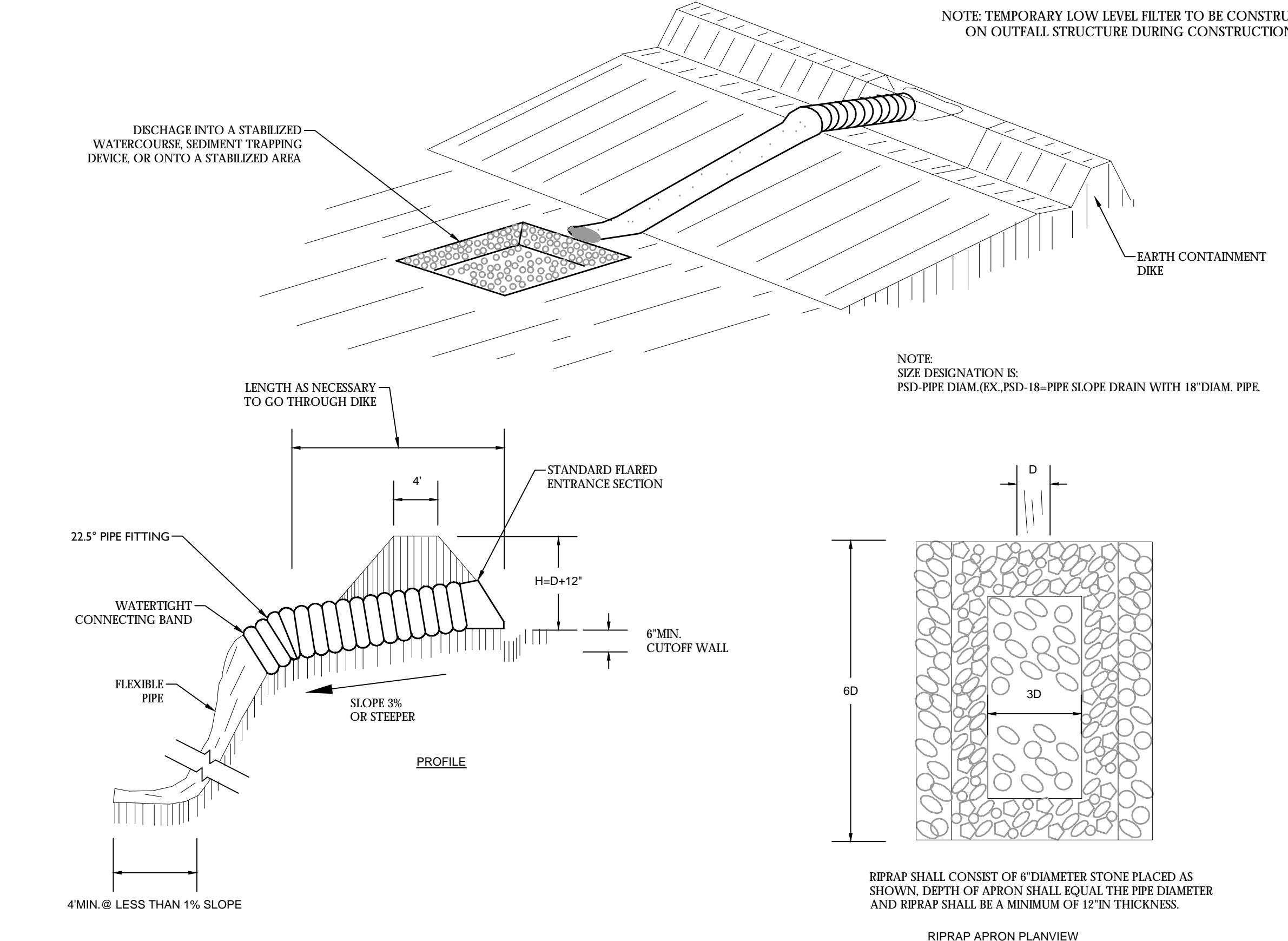
SILT FENCE INSTALLATION

(WHEN NOT PARALLEL TO CONTOURS)



STORM INLET SEDIMENT TRAP

N.T.S.



RIPRAP APRON PLAN VIEW

CONSTRUCTION SPECIFICATIONS

1. THE INLET PIPE SHALL HAVE A SLOPE OF 3% OR STEEPER.
2. THE TOP OF THE EARTH DIKE OVER THE INLET PIPE AND THOSE DIKES CARRYING WATER TO THE PIPE SHALL BE AT LEAST 1' HIGHER AT ALL POINTS THAN THE TOP OF THE INLET PIPE.
3. THE INLET PIPE SHALL BE CORRUGATED PIPE WITH WATER TIGHT CONNECTING BANDS.
4. THE FLEXIBLE TUBING SHALL BE THE SAME DIAMETER AS THE INLET PIPE AND SHALL BE CONSTRUCTED OF A DURABLE MATERIAL WITH HOLD-DOWN GROMMETS SPACED AT 10' ON CENTER.
5. THE FLEXIBLE TUBING SHALL BE SECURELY FASTENED TO THE CORRUGATED PIPE WITH METAL STRAPPING OR WATER TIGHT CONNECTING COLLARS.
6. THE FLEXIBLE TUBING SHALL BE SECURELY ANCHORED TO THE SLOPE BY STAKING AT THE GROMMETS PROVIDED.
7. A RIP RAP APRON SHALL BE PROVIDED AT THE OUTLET. THIS SHALL CONSIST OF 6\"/>
8. THE SOIL AROUND AND UNDER INLET PIPE AND ENTRANCE SECTION SHALL BE HAND TAMPED IN 4\"/>
9. FOLLOW-UP INSPECTION AND ANY NEEDED MAINTENANCE SHALL BE PERFORMED AFTER EACH STORM EVENT.

* DRAINAGE AREA MUST NOT EXCEED 3.5 ACRES.

PIPE SLOPE DRAIN

N.T.S.

TO BE INSTALLED PRIOR TO GRADING OR FILLING IN THE DRAINAGE AREA THEY ARE TO PROTECT. TRAPS THAT ARE TO FUNCTION DURING BUILDING CONSTRUCTION MUST NOT BE LOCATED WITHIN 10 FEET OF A PROPOSED BUILDING FOUNDATION. WHILE TRAPS SHOULD BE SITED TO MAXIMIZE STORAGE BENEFIT, THEY SHOULD NOT BE LOCATED IN A WETLAND OR WETLAND BUFFER AREAS, OR IN EXISTING WATERCOURSES.

SEE EROSION AND SEDIMENT CONTROL PLAN FOR LOCATIONS.

INSTALLATION NOTES

1. AREA UNDER EMBANKMENT SHALL BE CLEARED, GRUBBED, AND STRIPPED OF ANY VEGETATION AND ROOT MAT. THE POOL AREA SHALL BE CLEARED AS WELL.
2. THE FILL MATERIAL FOR THE EMBANKMENT SHALL BE FREE OF ROOTS OR OTHER WOODY VEGETATION AS WELL AS OVER-SIZED STONES, ROCKS, ORGANIC MATERIAL AND OTHER QUESTIONABLE MATERIAL. THE EMBANKMENT SHALL BE COMPACTED BY TRAVELING WITH EQUIPMENT WHILE IT IS BEING CONSTRUCTED.
3. SEDIMENT SHALL BE REMOVED AND TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
4. THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED.
5. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION IS MINIMIZED.
6. THE STRUCTURE SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE DRAINAGE AREA HAS PROPERLY STABILIZED.
7. ALL CUT AND FILL SLOPES SHALL BE 1 : 2 OR FLATTER.
8. THE STONE USED IN THE OUTLET SHALL BE SMALL RIPRAP 4\"/>
9. WHEN BIO-RETENTION AREAS ARE TO BE USED FOR TEMPORARY SEDIMENT TRAPS DURING CONSTRUCTION, THE BOTTOM OF THE SEDIMENT TRAP SHALL BE EXCAVATED TO A MAXIMUM OF 2 FEET ABOVE THE FINISHED STONE ELEVATION OF THE PROPOSED BIO-RETENTION AREA.

SIZING CALCULATIONS

NOTE: 3,600 CUBIC FEET OF STORAGE REQUIRED PER ACRE OF DISTURBANCE.

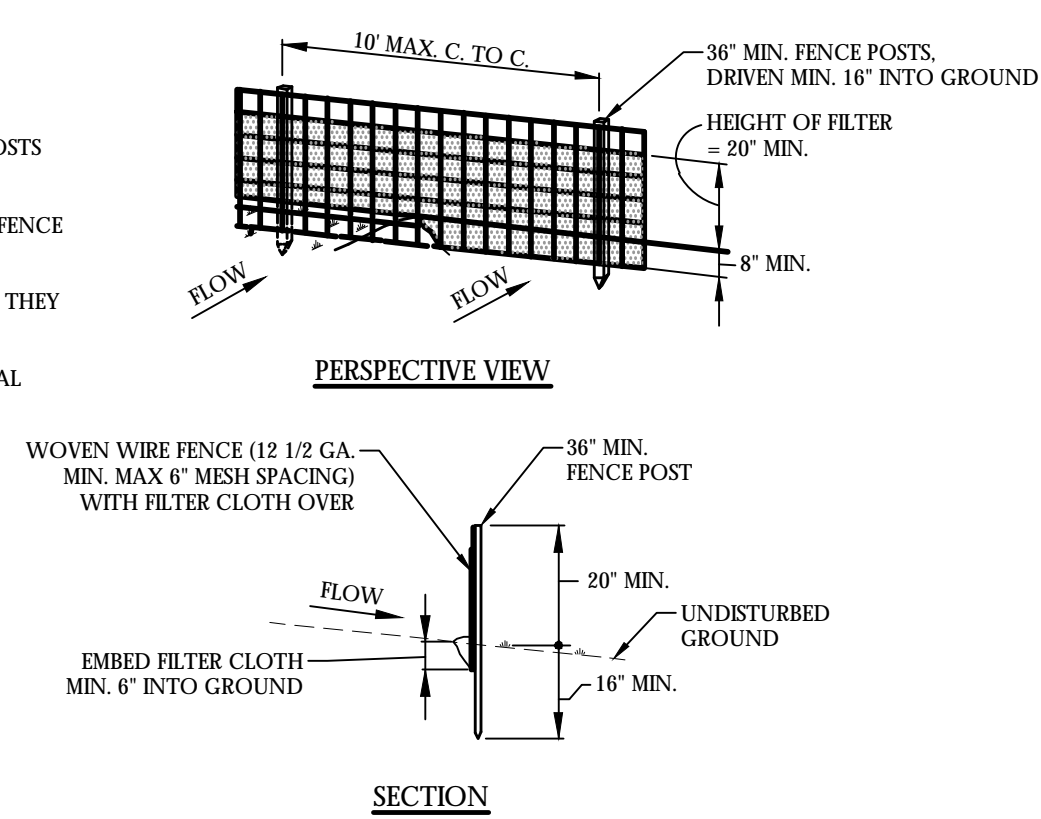
*THIS IS THE MINIMUM AMOUNT OF SEDIMENT TRAPS. ADDITIONAL MAY BE REQUIRED BASED UPON OTHER ON-SITE CONDITIONS.

STONE OUTLET SEDIMENT TRAP TABLE					
SEDIMENT TRAP	DRAINAGE AREA	AREA (W X L)	DEPTH (FT.)	VOLUME REQ'D (C.F.)	VOLUME PROVIDED (C.F.)
A	2.83 AC.	45' X 360'	2.0 FT.	10,188 C.F.	32,400 C.F.
B	2.99 AC.	30' X 100'	4.0 FT.	10,764 C.F.	12,000 C.F.
C	1.30 AC.	32' X 48'	3.5 FT.	4,680 C.F.	5,376 C.F.
D	0.90 AC.	32' X 48'	2.5 FT.	3,240 C.F.	3,840 C.F.
E	2.63 AC.	30' X 85'	4.0 FT.	9,468 C.F.	10,200 C.F.
F	1.92 AC.	30' X 80'	4.0 FT.	6,912 C.F.	7,200 C.F.
G	3.07 AC.	80' X 120'	2.0 FT.	11,952 C.F.	19,200 C.F.

CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

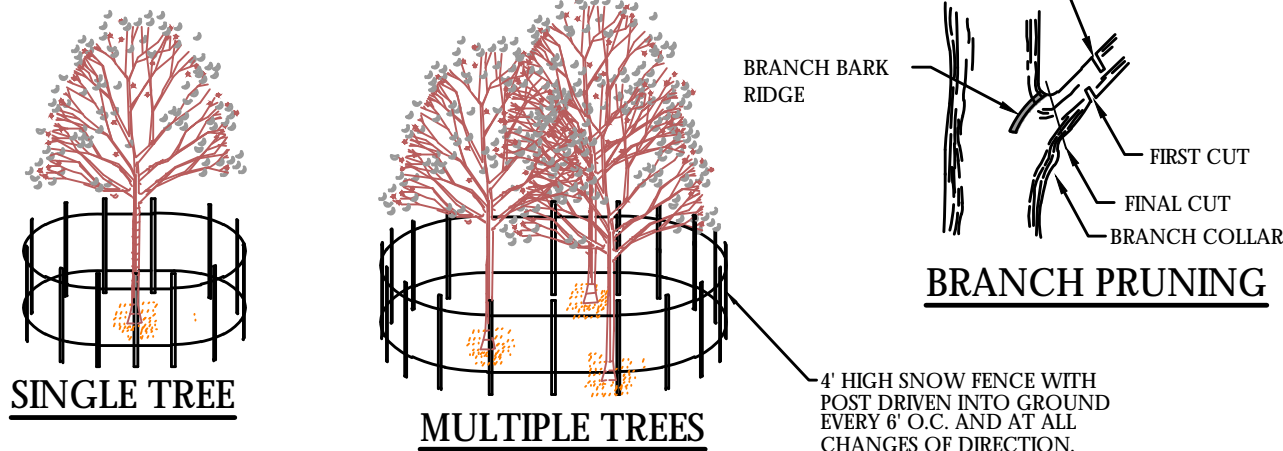
1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24\"/>
3. WHEN TWO SECTIONS OF FILTER CLOTH ADD ON EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN 'BULGES' DEVELOP IN THE SILT FENCE.

POSTS: STEEL EITHER \"T\" OR \"U\" TYPE OR 2\" HARDWOOD.
FENCE: WOVEN WIRE 14 1/2 GA. 6\" MAX. MESH OPENING.
FILTER CLOTH: FILTER X, MIRAAR 100X, STAINLESS STEEL OR APPROVED EQUAL.
PREFABRICATED UNIT: GEOTAF, ENVIRONMENT OR APPROVED EQUAL.



WIRE REINFORCED SILT FENCE

N.T.S.



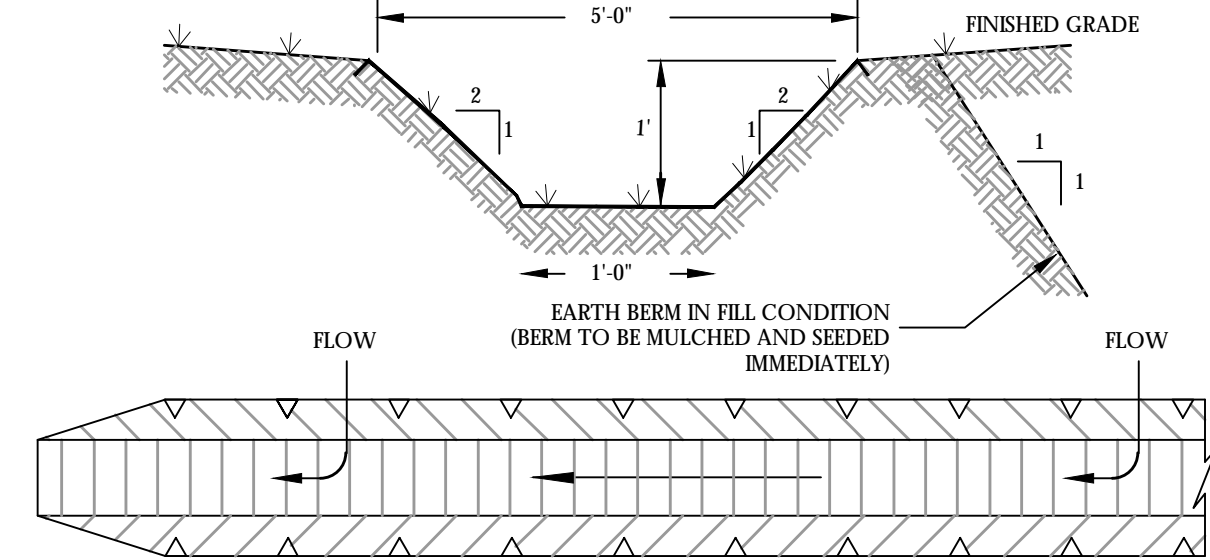
1. PROTECTIVE FENCING IS TO BE ERCTED PRIOR TO CONSTRUCTION AND MAINTAINED DURING CONSTRUCTION AS DIRECTED BY THE LANDSCAPE ARCHITECT, SOIL CONSERVATION DISTRICT AND/OR MUNICIPAL ENGINEER.
2. NO CONSTRUCTION ACTIVITY IS PERMITTED WITHIN THE PROTECTIVE FENCING.
3. AS CONSTRUCTION NEARS COMPLETION THE FENCING WILL BE REMOVED AS DIRECTED.
4. AT THE COMPLETION OF CONSTRUCTION ALL TREES WILL BE PRUNED AS NECESSARY TO CORRECT ANY DAMAGE RESULTING FROM CONSTRUCTION ACTIVITY.
5. GENERAL MECHANICAL DAMAGE - SEE DETAIL ABOVE FOR CORRECT PLACEMENT OF TREE PROTECTION.
6. BOX TREES WITHIN 25 FEET OF A BUILDING SITE TO PREVENT MECHANICAL INJURY. FENCING OR OTHER BARRIER SHOULD BE INSTALLED AT THE DROP LINE OF THE TREE BRANCHES.
7. BOARDS WILL NOT BE NAILED TO TREES DURING BUILDING OPERATIONS.
8. PRIMER ROOTS SHOULD NOT BE CUT IN AN AREA INSIDE THE DROP LINE OF THE TREE BRANCHES.
9. DAMAGED TRUNKS OR EXPOSED ROOTS SHOULD HAVE DAMAGED BARK REMOVED IMMEDIATELY AND NO PAINT SHALL BE APPLIED. EXPOSED ROOTS SHOULD BE COVERED WITH TOPSOIL IMMEDIATELY AFTER EXCAVATION IS COMPLETE. ROOTS SHALL BE PRUNED TO GIVE A CLEAN, SHARP SURFACE AMENABLE TO HEALING. ROOTS EXPOSED DURING HOT WEATHER SHOULD BE IRRIGATED TO PREVENT PERMANENT TREE INJURY. CARE FOR SERIOUS INJURY SHOULD BE PRESCRIBED BY A PROFESSIONAL FORESTER OR CERTIFIED TREE EXPERT.
10. TREE LIMB REMOVAL WHERE NECESSARY, WILL BE DONE AS NATURAL TARGET PRUNING TO REMOVE THE DESIRED BRANCH COLLAR. THERE SHOULD BE NO FLUSH CUTS. FLUSH CUTS DESTROY A MAJOR DEFENSE SYSTEM OF THE TREE. NO TREE PAINT SHALL BE APPLIED. ALL CUTS SHALL BE MADE AT THE OUTSIDE EDGE OF THE BRANCH COLLAR CUTS MADE TOO FAR BEYOND THE BRANCH COLLAR MAY LEAD TO EXCESS SPROUTING, CRACKS AND ROT. REMOVAL OF A \"V\" CROTCH SHOULD BE CONSIDERED FOR FREE STANDING SPECIMEN TREES TO AVOID FUTURE SPLITTING DAMAGE.

TEMPORARY TREE PROTECTION DETAIL

N.T.S.

TREE PROTECTION NOTES:

1. TREE PROTECTION FENCING IS TO BE INSTALLED ALONG THE DISTURBANCE LIMIT LINE WHEREVER EROSION CONTROL FENCING IS NOT PROPOSED.
2. THERE SHALL BE NO STORAGE OF EQUIPMENT OR MATERIALS OUTSIDE CLEARING LIMITS. NO EQUIPMENT IS PERMITTED OUTSIDE CLEARING LIMITS.
3. THE FENCING SHOULD REMAIN IN GOOD CONDITION FOR THE DURATION OF THE CONSTRUCTION PERIOD.

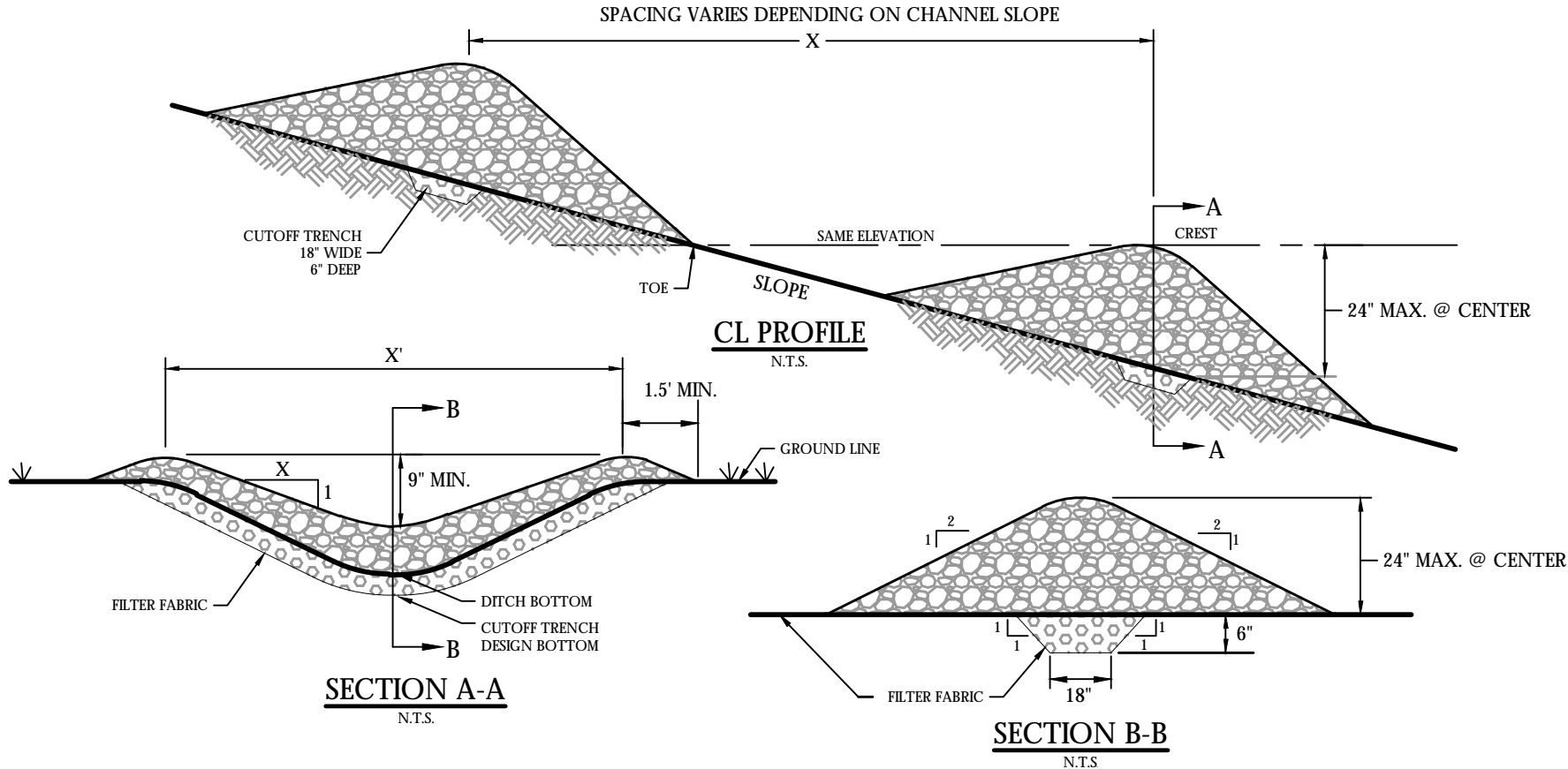


INSTALLATION NOTES

1. ALL SWALES SHALL HAVE UNDISTURBED FIRMING GRADE TO AN OUTLET.
2. DIVERTED RUNOFF FROM A DISTURBED AREA SHALL BE CONVEYED TO A SEDIMENT TRAPPING DEVICE.
3. DIVERTED RUNOFF FROM AN UNDISTURBED AREA SHALL OUTLET DIRECTLY INTO AN UNDISTURBED STABILIZED AREA AT NON-EROSIVE VELOCITY.
4. ALL TREES, BRUSH, STUMPS, OBSTRUCTIONS AND OTHER OBSTRUCTIONABLE MATERIAL SHALL BE REMOVED AND DISPOSED OF SO AS NOT TO INTERFERE WITH THE PROPER FUNCTIONING OF THE SWALE.
5. THE SWALE SHALL BE EXCAVATED OR SHAPED TO LINE, GRADE AND CROSS SECTION AS REQUIRED TO MEET THE CRITERIA SPECIFIED HEREIN AND BE FREE OF BANK PROJECTIONS OR OTHER IRREGULARITIES WHICH WILL IMPIDE NORMAL FLOW.
6. FILLS SHALL BE COMPACTED BY EARTH MOVING EQUIPMENT.
7. ALL EARTH REMOVED AND NOT NEEDED FOR CONSTRUCTION SHALL BE PLACED SO AS NOT TO INTERFERE WITH THE FUNCTIONING OF THE SWALE.
8. INSPECTION AND MAINTENANCE MUST BE PROVIDED AFTER EACH RAIN EVENT.
9. STABILIZATION SHALL BE SED AND STRAW MULCH.

TEMPORARY SWALE

N.T.S.



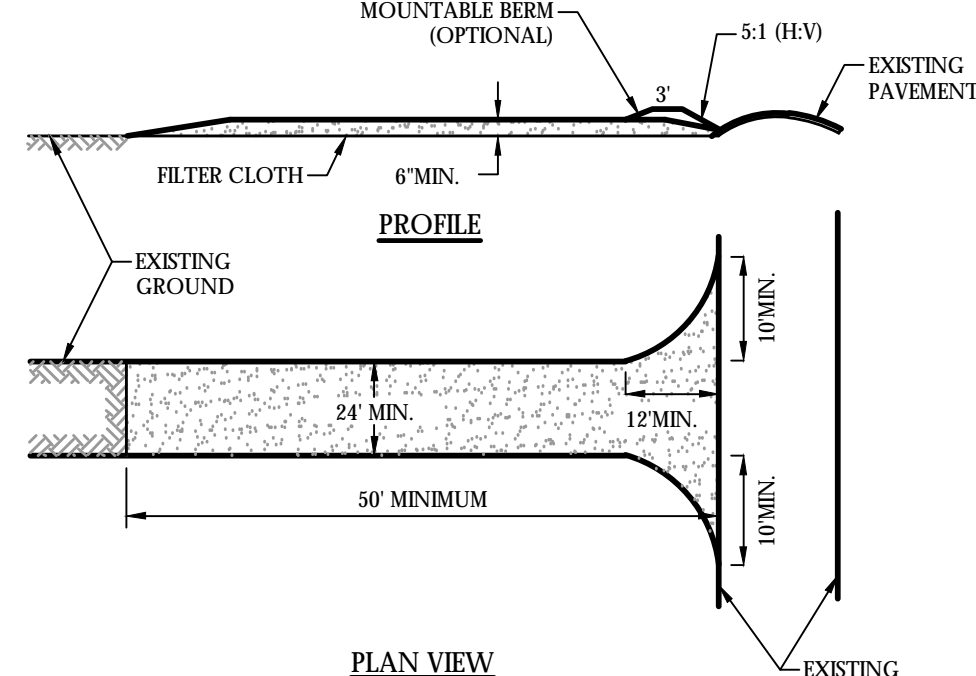
CONSTRUCTION SPECIFICATIONS

1. STONE WILL BE PLACED ON A FILTER FABRIC FOUNDATION TO THE LINES, GRADES AND LOCATIONS SHOWN ON THE PLAN.
2. SET SPACING OF CHECK DAMS TO ASSUME THAT THE ELEVATIONS OF THE CREST OF THE DOWNSTREAM DAM IS AT THE SAME ELEVATION OF THE TOE OF THE UPSTREAM DAM.
3. EXTEND THE STONE A MINIMUM OF 1.5 FEET BEYOND THE DITCH BANKS TO PREVENT CUTTING AROUND THE DAM.
4. PROTECT THE CHANNEL DOWNSTREAM OF THE LOWEST CHECK DAM FROM SCOUR AND EROSION WITH STONE OR LINER AS APPROPRIATE.
5. ENSURE THAT CHANNEL APPURTENANCES SUCH AS CULVERT ENTRANCES BELOW CHECK DAMS ARE NOT SUBJECT TO DAMAGE OR BLOCKAGE FROM DISPLACED STONE.

MAXIMUM DRAINAGE AREA: 2 ACRES

STONE CHECK DAM

N.T.S.

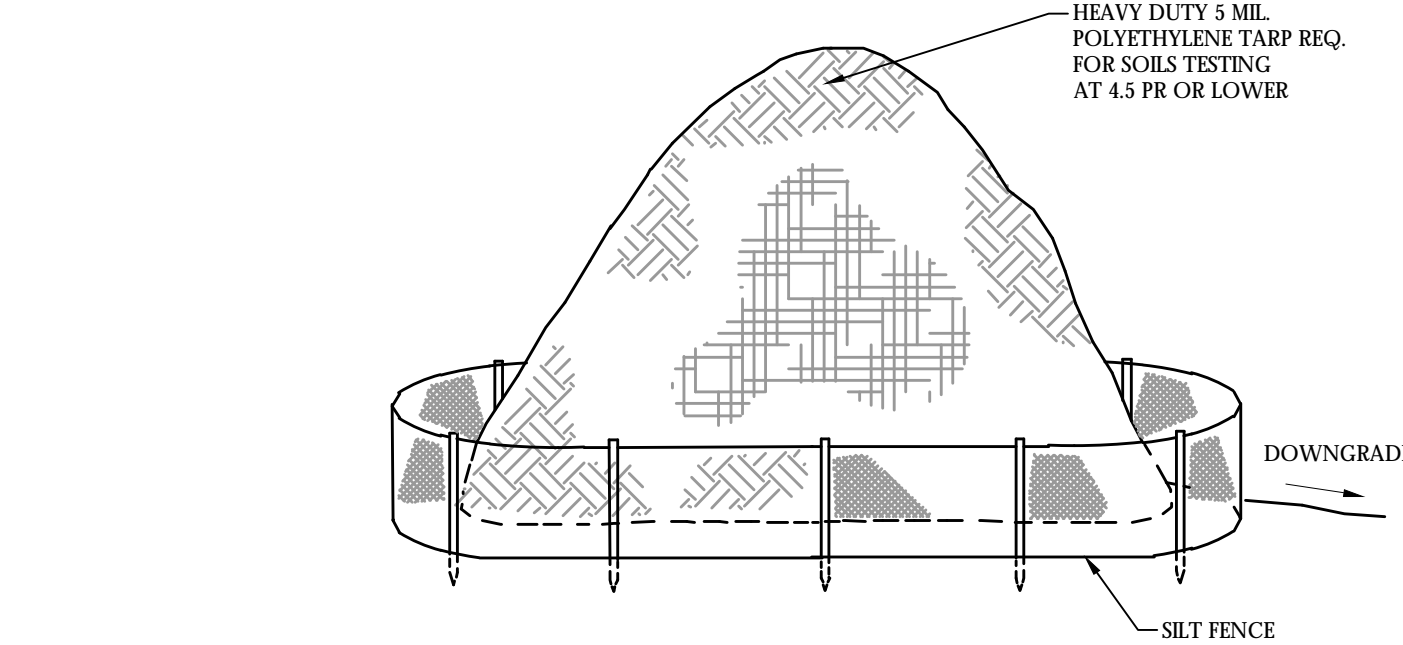


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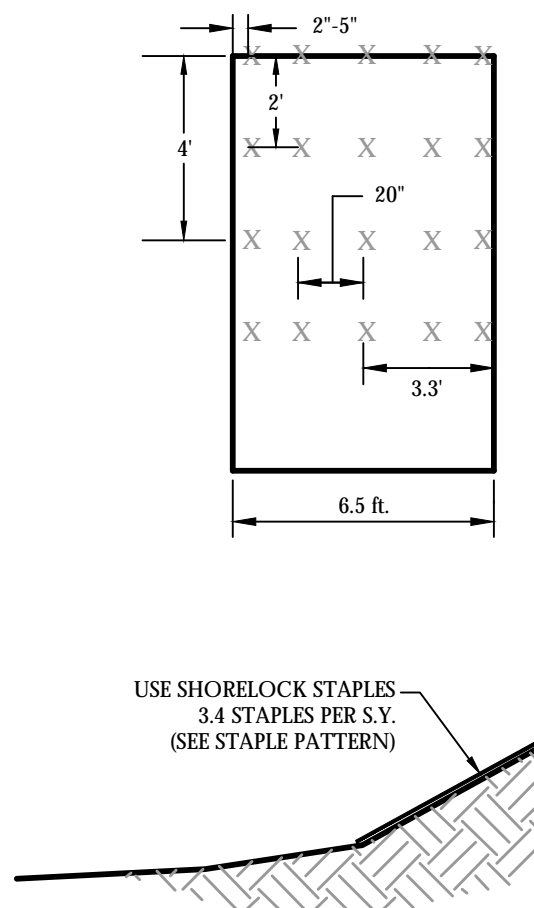
1. MATERIALS:
 - STONE SIZE - USE 2\"/>
2. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
3. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL A MOUNTING BERM WITH 5:1 SLOPES WILL BE PERMITTED.
4. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
5. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
6. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN EVENT.

STABILIZED CONSTRUCTION ENTRANCE

N.T.S.



SOIL STOCKPILE



NOTES

1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF TOPSOIL, FERTILIZER, AND SEED.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6\"/>
3. ROLL BLANKETS IN DIRECTION OF WATER FLOW.
4. PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH A 6\"/>
5. FULL LENGTH EDGE OF BLANKETS AT TOP OF SIDE SLOPES MUST BE ANCHORED IN 6\"/>
6. BLANKETS ON SIDE SLOPES MUST BE OVERLAPPED 4\"/>
7. THE TERMINAL END OF THE BLANKETS MUST BE ANCHORED IN A 6\"/>
8. EROSION CONTROL BLANKET SHALL BE RITE-MATTING.

SLOPE STABILIZATION DETAIL (FINAL STABILIZATION)

N.T.S.

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REV	DATE	DRAWN BY	DESCRIPTION
1	01/01/15	CPM	ISSUED FOR PERMANENT BOARD COMMENTS
2	01/01/15	CPM	ISSUED FOR LOCAL AGENCY SUBMISSION
3	01/01/15	CPM	ISSUED FOR LOCAL COMMENTS

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PRELIMINARY

ANDREW B. FETHERSTON
NEW YORK LICENSED PROFESSIONAL ENGINEER - LICENSE NUMBER: 075555-1

FINAL SITE PLAN FOR BAYSIDE CONSTRUCTION

SECTION 109.1
BLOCK 4
LOT 29

**TOWN OF MARLBOROUGH
COUNTY OF ULSTER
STATE OF NEW YORK**

NEW WINDSOR OFFICE
355 Hollow Valley Avenue
Suite 101
New Windsor, NY 12553
Phone: 845.564.4495
Fax: 845.567.1025

SCALE	DATE	DRAWN BY	CHECKED BY
AS SHOWN	09/22/2017	CPM	RED

PROJECT NUMBER	DRAWING NAME
60000787A	C-SECT

SHEET TITLE
SOIL EROSION & SEDIMENT CONTROL DETAILS

SHEET NUMBER
14 of 21