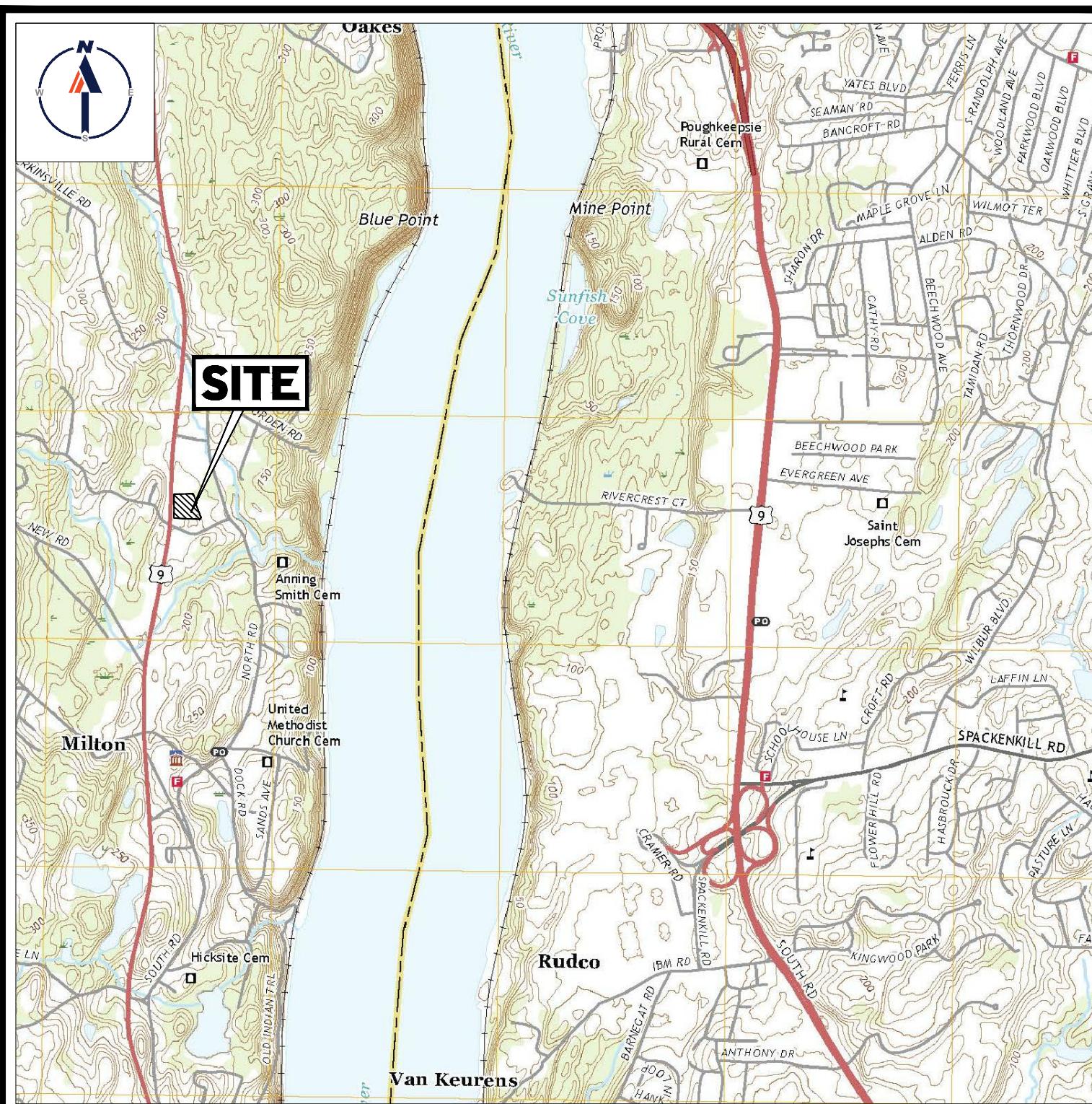


# ***PROPOSED SITE PLAN DOCUMENTS***

— FOR —  
**HSC MILTON, LLC**

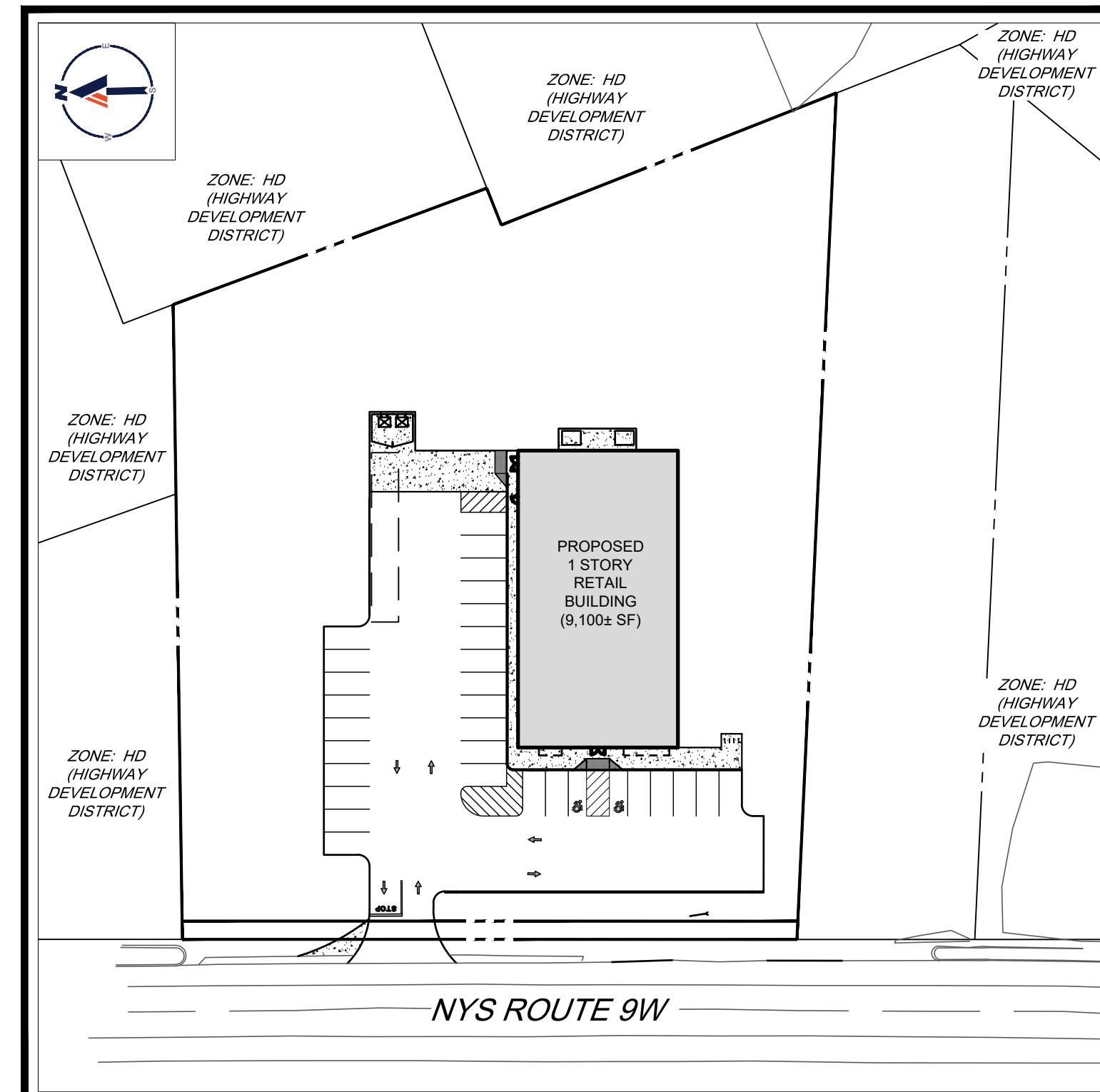


**LOCATION OF SITE**  
**NYS ROUTE 9W, TOWN OF MARLBOROUGH**  
**ULSTER COUNTY, NEW YORK**  
**MAP 103.1, BLOCK 2, LOT 74**



**USGS MAP**

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## **AREA PLAN**

## ***PREPARED BY***

# BOHLER //



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2020 RELEASE UNDER E.O. 14176

# PRELIMINARY

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REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION  
DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: B200130  
DRAWN BY: ~ NCN ~  
CHECKED BY: ~ CVM / CEB ~  
DATE: 08/14/2020  
CAD I.D.: B200130SS00

# PROJECT: **PROPOSED SITE PLAN DOCUMENTS**

**PLAN DOCUMENTS**  
— FOR —  
**HSC  
MILTON  
LLC.**  
  
**PROPOSED  
DEVELOPMENT**  
  
**MAP #103.1, BLOCK #2, LOT #74  
NYS ROUTE 9W  
TOWN OF MARLBOROUGH  
ULSTER COUNTY  
STATE OF NEW YORK**

**BOHLER //**

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17 COMPUTER DRIVE WEST  
ALBANY, NY 12205

Phone: (518) 438-9900  
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*[www.BohlerEngineering.com](http://www.BohlerEngineering.com)*

**W.D. GOEBEL**

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**PROFESSIONAL ENGINEER**

MASSACHUSETTS LICENSE No. 42644-C  
RHODE ISLAND LICENSE No. 7268  
CONNECTICUT LICENSE No. 21854.  
NEW HAMPSHIRE LICENSE No. 10280  
MAINE LICENSE No. 9490  
NEW YORK LICENSE No. 071284-1  
FLORIDA LICENSE No. 66202

**SHEET TITLE:**

# **COVER SHEET**

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**SHEET NUMBER:**

REVISION 1 12/16/2022









DONALD C. MOYER &  
KIMBERLY A. MOYER  
BK. 2404, P. 336  
TM#103.001-2-75

LANDS N/F  
NORTH ROAD PROPERTIES LLC  
DOC. #2007-00027230

LANDS N/F  
CHERNOBYL POWER & LIGHT LLC  
DOC. #2004-00009549  
TM#103.001-2-72

**BOHLER** CONSULTING ENGINEERS

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**SITE CIVIL AND CONSULTING ENGINEERING**

- LAND SURVEYING
- PROGRAM MANAGEMENT
- LANDSCAPE ARCHITECTURE
- SUSTAINABLE DESIGN
- PERMITTING SERVICES
- TRANSPORTATION SERVICES



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ALWAYS CALL 911  
. It's free. It's the law.

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## **PROPOSED SITE PLAN DOCUMENTS**

MAP #103.1, BLOCK #2, LOT #74  
NYS ROUTE 9W  
TOWN OF MARLBOROUGH  
ULSTER COUNTY  
STATE OF NEW YORK

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HEET TITLE:

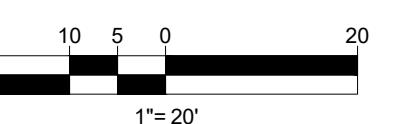
# GRADING AND DRAINAGE PLAN

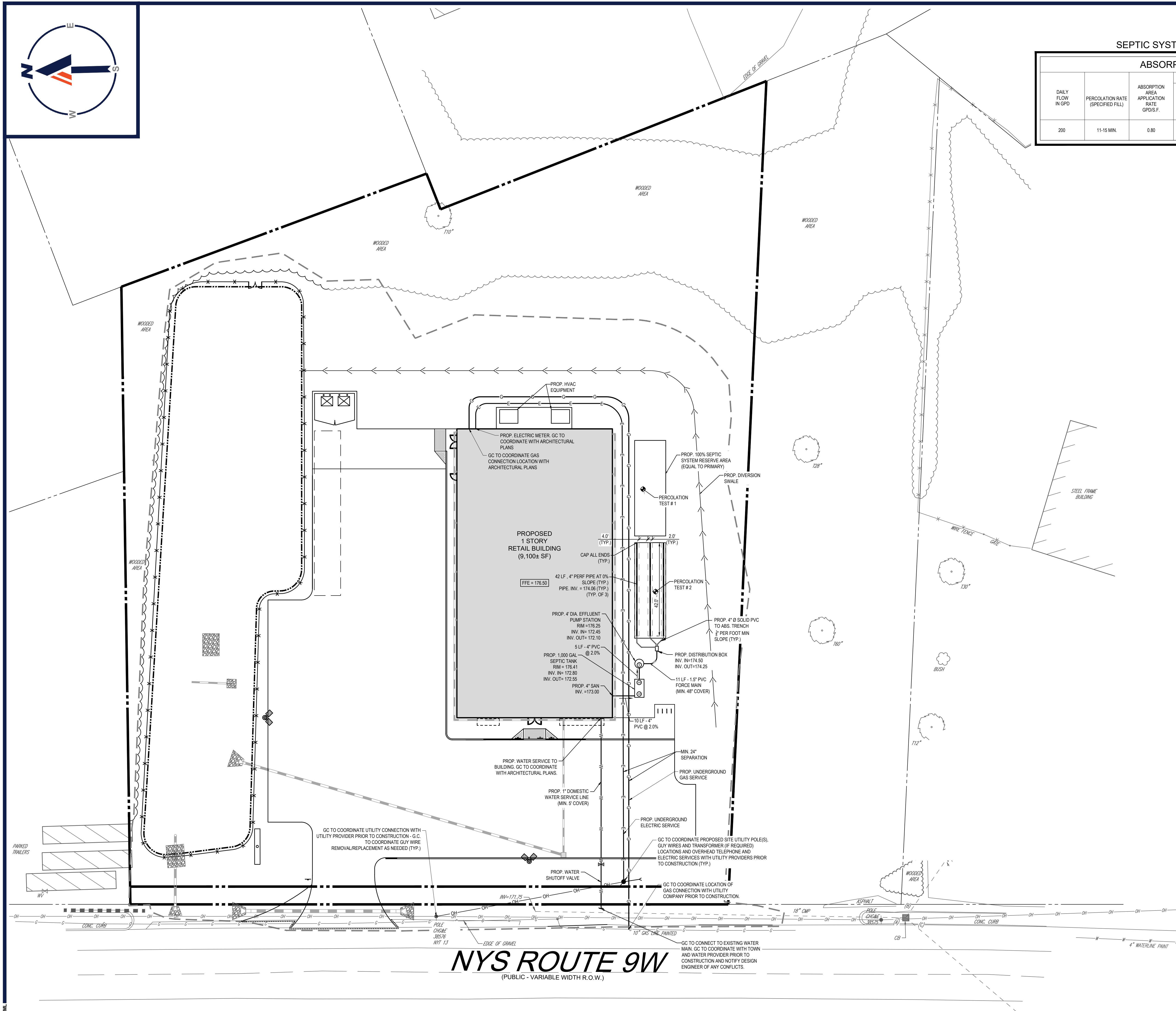
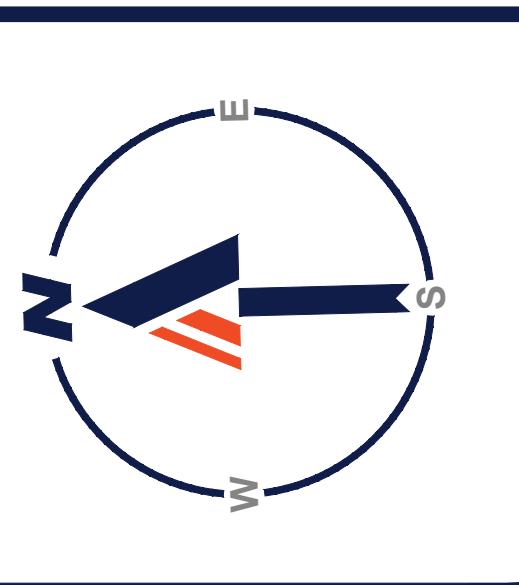
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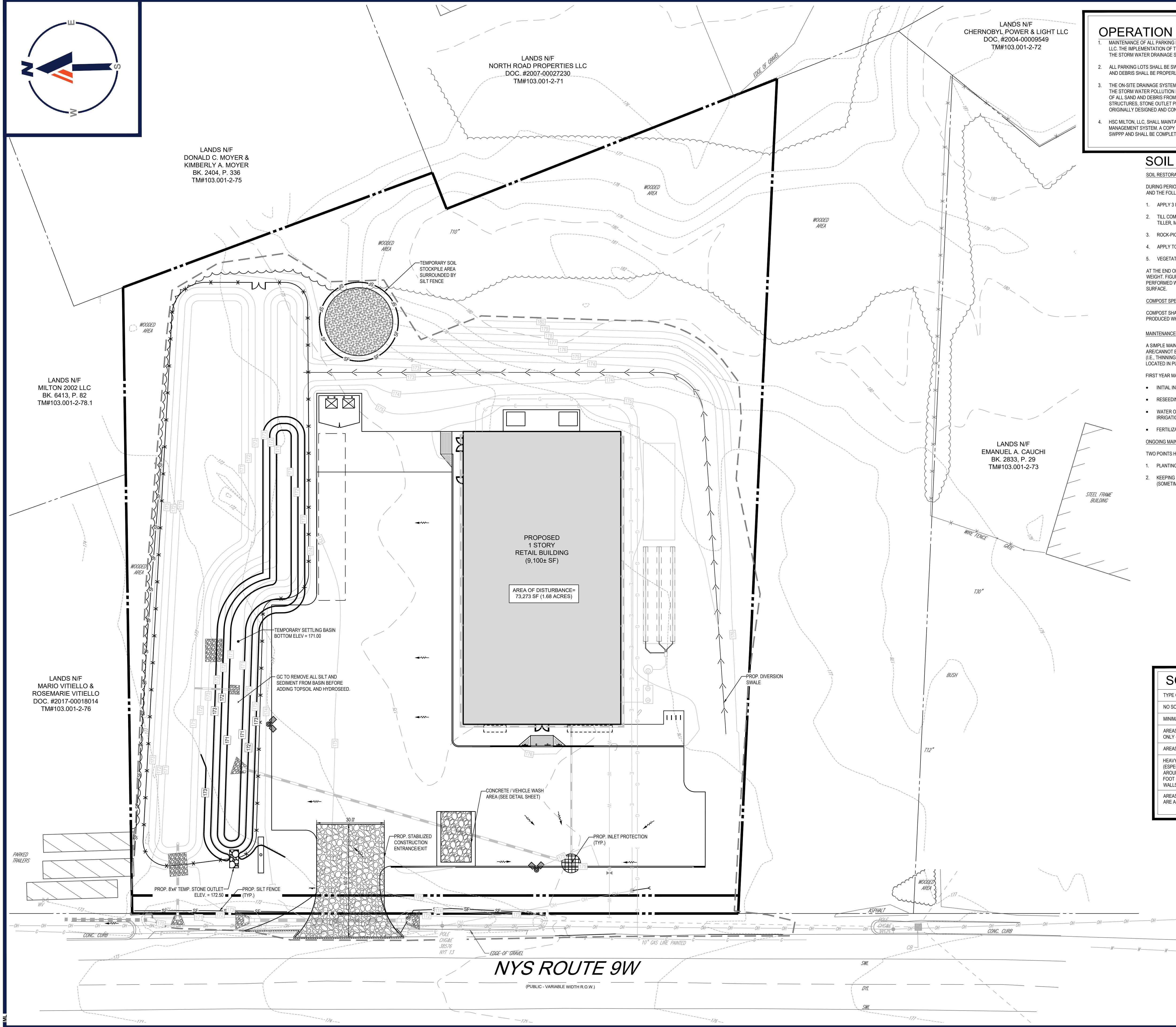
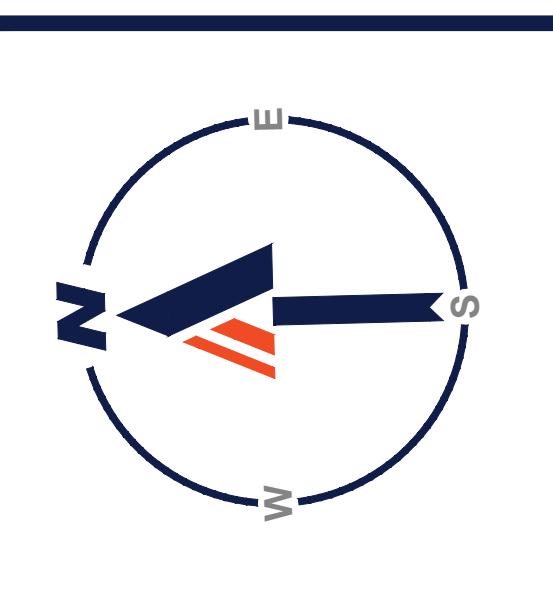
## C-401

REVISION 1 - 12/10/2020

**THIS PLAN TO BE UTILIZED FOR SITE  
GRADING PURPOSES ONLY. REFER TO  
GENERAL NOTES SHEET  
FOR ADDITIONAL GRADING & UTILITY  
NOTES**







## OPERATION / MAINTENANCE NOTES

- MAINTENANCE OF ALL PARKING LOTS AND ON-SITE DRAINAGE SYSTEMS ON THE PROPERTIES SHALL BE THE RESPONSIBILITY OF HSC MILTON, LLC. THE IMPLEMENTATION OF THE FOLLOWING MAINTENANCE PROGRAM IS INTENDED TO ADEQUATELY MANAGE SEDIMENT INFILTRATION TO THE STORM WATER DRAINAGE SYSTEM.
- ALL PARKING LOTS SHALL BE SWEEP TWO (2) TIMES PER YEAR, BETWEEN THE DATES OF OCTOBER 1 AND JUNE 1 OF EACH YEAR AND ALL SAND AND DEBRIS SHALL BE PROPERLY DISPOSED.
- THE ON-SITE DRAINAGE SYSTEM INCLUDING INFILTRATION AND PRETREATMENT BASINS SHALL BE INSPECTED PER GUIDELINES SET FORTH IN THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP). CLEANING OF STRUCTURES SHALL INCLUDE THE REMOVAL AND PROPER DISPOSAL OF ALL SAND AND DEBRIS FROM ANY AND ALL COMPONENTS OF THE SYSTEM AND REPAIR AND/OR REPLACEMENT OF ANY DAMAGED STRUCTURES, STONE OUTLET PROTECTION, SLOPES OR ANY COMPONENT OF THE SYSTEM THAT IS IN NEED OF REPAIR TO RESTORE TO ITS ORIGINALLY DESIGNED AND CONSTRUCTED CONDITION.
- HSC MILTON, LLC. SHALL MAINTAIN A MAINTENANCE LOG DOCUMENTING THE INSPECTION AND MAINTENANCE OF THE STORMWATER MANAGEMENT SYSTEM. A COPY OF THE CONSTRUCTION INSPECTION, OPERATIONS AND MAINTENANCE CHECK LISTS ARE INCLUDED IN THE SWPPP AND SHALL BE COMPLETED AS NOTED AND KEPT IN THE LOG FOR REVIEW AND REFERENCE.

## SOIL RESTORATION NOTES:

### SOIL RESTORATION PROCEDURE:

DURING PERIODS OF RELATIVELY LOW TO MODERATE SUBSOIL MOISTURE, THE DISTURBED SUBSOILS ARE RETURNED TO ROUGH GRADE AND THE FOLLOWING SOIL RESTORATION STEPS APPLIED:

- APPLY 3 INCHES OF COMPOST OVER SUBSOIL
- TILL COMPOST INTO SUBSOIL TO A DEPTH OF AT LEAST 12 INCHES USING A CAT-MOUNTED RIPPER, TRACTOR-MOUNTED DISC, OR TILLER, MIXING, AND CIRCULATING AIR AND COMPOST INTO SUBSOILS
- ROCK-PICK UNTIL UPLIFTED STONE/ROCK MATERIALS OF FOUR INCHES AND LARGER SIZE ARE CLEARED OFF THE SITE
- APPLY TOPSOIL TO A DEPTH OF 6 INCHES
- VEGETATE AS REQUIRED BY APPROVED PLAN

AT THE END OF THE PROJECT AN INSPECTOR SHOULD BE ABLE TO PUSH A 3/8" METAL BAR 12 INCHES INTO THE SOIL JUST WITH BODY WEIGHT. FIGURES 5.16 AND 5.17 SHOW TWO ATTACHMENTS USED FOR SOIL DECOMPACTION. TILLING STEP 2 ABOVE SHOULD NOT BE PERFORMED WITHIN THE DRIP LINE OF ANY EXISTING TREES OR OVER UTILITY INSTALLATIONS THAT ARE WITHIN 24 INCHES OF THE SURFACE.

### COMPOST SPECIFICATIONS:

COMPOST SHALL BE AGED, FROM PLANT DERIVED MATERIALS, FREE OF Viable WEED SEEDS, HAVE NO VISIBLE FREE WATER OR DUST PRODUCED WHEN HANDLING, PASS THROUGH A HALF INCH SCREEN AND HAVE A PH SUITABLE TO GROW DESIRED PLANTS.

### MAINTENANCE:

A SIMPLE MAINTENANCE AGREEMENT SHOULD IDENTIFY WHERE SOIL RESTORATION IS APPLIED, WHERE NEWLY RESTORED AREAS ARE/CANNOT BE CLEARED, WHO THE RESPONSIBLE PARTIES ARE TO ENSURE THAT ROUTINE VEGETATION IMPROVEMENTS ARE MADE (IE., THINNING, INVASIVE PLANT REMOVAL, ETC.). SOIL COMPOST AMENDMENTS WITHIN A FILTER STRIP OR GRASS CHANNEL SHOULD BE LOCATED IN PUBLIC RIGHT OF WAY, OR WITHIN A DEDICATED STORMWATER OR DRAINAGE EASEMENT.

### FIRST YEAR MAINTENANCE OPERATIONS INCLUDES:

- INITIAL INSPECTIONS FOR THE FIRST SIX MONTHS (ONCE AFTER EACH STORM GREATER THAN HALF-INCH)
- RESEEDING TO REPAIR BARE OR ERODING AREAS TO ASSURE GRASS STABILIZATION
- WATER ONCE EVERY THREE DAYS FOR FIRST MONTH, AND THEN PROVIDE A HALF INCH OF WATER PER WEEK DURING FIRST YEAR. IRRIGATION PLAN MAY BE ADJUSTED ACCORDING TO THE RAIN EVENT.
- FERTILIZATION MAY BE NEEDED IN THE FALL AFTER THE FIRST GROWING SEASON TO INCREASE PLANT VIGOR.

### ONGOING MAINTENANCE:

TWO POINTS HELP ENSURE LASTING RESULTS OF DECOMPACTION:

- PLANTING THE APPROPRIATE GROUND COVER WITH DEEP ROOTS TO MAINTAIN SOIL STRUCTURE.
- KEEPING THE SITE FREE OF VEHICULAR AND FOOT TRAFFIC OR OTHER WEIGHT LOADS. CONSIDER PEDESTRIAN FOOTPATHS. (SOMETIMES IT MAY BE NECESSARY TO DE-THICKEN THE TURF EVERY FEW YEARS).

## SEDIMENT TRAP CALCULATIONS

CONTRIBUTING AREA= 0.78± ACRES  
REQUIRED LENGTH OF OUTLET= 4(DRAINAGE AREA)  
= 4 x 0.78 = 3.12  
MINIMUM WIDTH= 4'  
PROVIDED 8x4' OUTLET  
REQUIRED STORAGE: 3,600 CF PER ACRE OF  
CONTRIBUTING DRAINAGE AREA= 0.78(3,600)=2,808 CF  
REQUIRED: 2,808CF  
PROVIDED: 3,283 CF  
SEDIMENT SHALL BE REMOVED AND TRAP  
RESTORED TO ORIGINAL DIMENSIONS WHEN  
SEDIMENT HAS ACCUMULATED TO 1/2 THE  
ORIGINAL DESIGN CAPACITY  
DESIGN CAPACITY= 3,283 CF x 0.5= 1,642 CF  
SEDIMENT TRAPS WILL REACH 1/2 DESIGN CAPACITY  
AT ELEVATION 171.90  
ORIGINAL ELEVATION TO BE MARKED AND TRAP TO BE RESTORED  
TO ORIGINAL DIMENSIONS WHEN 0.90' OF SEDIMENT ACCUMULATED

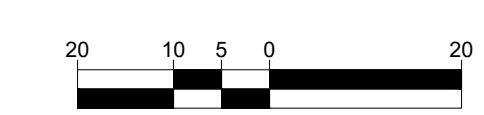
## SOIL RESTORATION REQUIREMENTS

TYPE OF DISTURBANCE	SOIL RESTORATION REQUIREMENT
NO SOIL DISTURBANCE	RESTORATION NOT PERMITTED
MINIMAL SOIL DISTURBANCE	RESTORATION NOT REQUIRED
AREAS WHERE TOPSOIL IS STRIPPED ONLY - NO CHANGE IN GRADE	AERATE AND APPLY 6" OF TOPSOIL
AREAS OF CUT OR FILL	APPLY FULL SOIL RESTORATION (SEE NOTES ON SHEET 9)
HEAVY TRAFFIC AREAS ON SITE (ESPECIALLY IN A ZONE 5-25 FEET AROUND BUILDINGS BUT NOT WITHIN 5 FOOT PERIMETER AROUND FOUNDATION WALLS)	APPLY FULL SOIL RESTORATION (DE-COMPACTION AND COMPOST ENHANCEMENT)
AREAS WHERE INFILTRATION PRACTICES ARE APPLIED	RESTORATION NOT REQUIRED, BUT MAY BE APPLIED TO ENHANCE THE REDUCTION SPECIFIED FOR APPROPRIATE PRACTICES

THE EDUCATION LAW OF THE STATE OF NEW YORK PROHIBITS ANY PERSON  
ALTERING ANYTHING ON THESE DRAWINGS AND/OR THE ACCOMPANYING  
SPECIFICATIONS, UNLESS THE CHANGES ARE MADE UNDER THE AUTHORITY OF A  
PROFESSIONAL ENGINEER WHERE SUCH ALTERATIONS ARE MADE, THE  
PROFESSIONAL ENGINEER MUST SIGN, SEAL AND DESCRIBE THE FULL  
EXTENT OF THE ALTERATION ON THE DRAWINGS AND/OR IN THE  
SPECIFICATIONS. (NYS EDUCATION LAW SECTION 7209-2)

## THIS PLAN TO BE UTILIZED FOR SITE SOIL AND EROSION CONTROL PURPOSES ONLY

## REFER TO SOIL EROSION CONTROL NOTES & DETAIL SHEET FOR EROSION NOTES AND DETAILS



## EROSION AND SEDIMENT CONTROL NOTES

- ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE DONE AS SET FORTH IN THE MOST CURRENT STATE SEDIMENT AND EROSION CONTROL MANUAL.
- THESE AREAS UNDERGOING ACTUAL CONSTRUCTION WILL BE LEFT IN AN UNGRADED OR UNVEGETATED CONDITION FOR A MINIMUM TIME. AREAS SHALL BE PERMANENTLY STABILIZED WITHIN 15 DAYS OF FINAL GRADING AND TEMPORARILY STABILIZED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF THE SOIL. IF THE DISTURBANCE IS WITHIN 100 FEET OF A STREAM OR POND, THE AREA SHALL BE STABILIZED WITHIN 7 DAYS OR PRIOR TO ANY STORM EVENT (THIS WOULD INCLUDE WETLANDS).
- SEDIMENT BARRIERS (SILT FENCE, STRAW BARRIERS, ETC.) SHOULD BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THEM. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
- INSTALL SILTATION BARRIER AT TOE OF SLOPE TO FILTER SILT FROM RUNOFF. SEE SILTATION BARRIER DETAILS FOR PROPER INSTALLATION. SILTATION BARRIER WILL REMAIN IN PLACE PER NOTE #5.
- ALL EROSION CONTROL STRUCTURES WILL BE INSPECTED, REPLACED AND/OR REPAVED EVERY 7 DAYS AND IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL OR SNOW MELT OR WHEN NO LONGER SERVICABLE DUE TO SEDIMENT ACCUMULATION OR DECOMPOSITION. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL AREAS UPSLOPE ARE STABILIZED BY TURF.
- NO SLOPES, EITHER PERMANENT OR TEMPORARY, SHALL BE STEEPER THAN TWO TO ONE (2:1).
- IF FINAL SEEDING OF THE DISTURBED AREAS IS NOT COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST, USE TEMPORARY MULCH (DORMANT MULCH MAY BE ATTEMPTED AS WELL) TO PROTECT THE SITE AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.
- TEMPORARY SEEDING OF DISTURBED AREAS THAT HAVE NOT BEEN FINAL GRADED SHALL BE COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST TO PROTECT FROM SPRING RUNOFF PROBLEMS.
- DURING THE CONSTRUCTION PHASE, INTERCEPTED SEDIMENT WILL BE RETURNED TO THE SITE AND REGRADED ONTO OPEN AREAS.
- REVEGETATION MEASURES WILL COMMENCE UPON COMPLETION OF CONSTRUCTION EXCEPT AS NOTED ABOVE. ALL DISTURBED AREAS NOT OTHERWISE STABILIZED WILL BE GRADED, SMOOTHED, AND PREPARED FOR FINAL SEEDING AS FOLLOWS:

  - SIX INCHES OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND SMOOTHED TO A UNIFORM SURFACE.
  - APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 800 LB PER ACRE OR 18.4 LB PER 1,000 SF USING 10-20-0 OR EQUIVALENT. APPLY GROUND LIMESTONE (EQUIVALENT TO 50% CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF 3 TONS PER ACRE (138 LB PER 1,000 SF).
  - FOLLOWING SEED BED PREPARATION, DITCHES AND BACK SLOPES WILL BE SEED TO A MIXTURE OF 47% CREEPING RED FESCUE, 5% REDTOP, AND 48% TALL FESCUE. THE LAWN AREAS WILL BE SEEDED TO A PREMIUM TURF MIXTURE OF 44% KENTUCKY BLUE-GRASS, 44% CREEPING RED FESCUE, AND 12% PERENNIAL RYEGRASS. SEEDING RATE IS 1.03 LBS PER 1,000 SF LAWN QUALITY SOD MAY BE SUBSTITUTED FOR SEED.
  - STRAW MULCH AT THE RATE OF 70-90 LBS PER 1,000 SF. A HYDRO-APPLICATION OF WOOD OR PAPER FIBER SHALL BE APPLIED FOLLOWING SEEDING. A SUITABLE BINDER SUCH AS CURASOL OR RMB PLUS WILL BE USED ON STRAW MULCH FOR WIND CONTROL.
  - ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE SITE IS STABILIZED.
  - WETLANDS WILL BE PROTECTED WITH STRAW, COMPOST, AND/OR SILT FENCE BARRIERS INSTALLED AT THE EDGE OF THE WETLAND OR THE BOUNDARY OF WETLAND DISTURBANCE.
  - ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL HAVE AN EXPOSURE WINDOW OF NOT MORE THAN 7 DAYS.
  - ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL FOLLOW APPROPRIATE EROSION CONTROL MEASURES PRIOR TO EACH STORM IF NOT BEING ACTIVELY WORKED.

## MULCH

LOCATION	PROTECT AREA	MULCH	RATE (1000 SF)
WINDY AREA	SHREDDED OR CHOPPED CORNSTALKS STRAW (ANCHORED)*	185-275 POUNDS	100 POUNDS
MODERATE TO HIGH VELOCITY AREAS OR STEEP SLOPES GREATER THAN 3:1	JUTE MESH OR EXCLOSURE MAT	AS REQUIRED	
GREATER THAN 3:1	(REFER TO GEOTECHNICAL REPORT FOR FINAL DESIGN REQUIREMENT)		
* A HYDRO-APPLICATION OF WOOD, OR PAPER FIBER MAY BE APPLIED FOLLOWING SEEDING. A SUITABLE BINDER SUCH AS CURASOL OR RMB PLUS SHALL BE USED ON STRAW MULCH FOR WIND CONTROL.			
MULCH ANCHORING	ANCHOR MULCH WITH PEG AND TWINE (1 SO. YD/BLOCK); MULCH NETTING (AS PER MANUFACTURER); WOOD CELLOPHANE FIBER (750 LB/SACRE); CHEMICAL TACK (AS PER MANUFACTURER'S SPECIFICATIONS); USE OF A SERRATED STRAIGHT DISK. WETTING FOR SMALL AREAS AND ROAD DITCHES MAY BE PERMITTED.		

## EROSION CONTROL NOTES DURING WINTER CONSTRUCTION

- WINTER CONSTRUCTION PERIOD: NOVEMBER 1 THROUGH APRIL 15.
- WINTER EXCAVATION AND EARTHWORK SHALL BE DONE SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY ONE TIME.
- EXPOSED AREA SHOULD BE LIMITED TO THAT WHICH CAN BE MULCHED IN ONE DAY PRIOR TO ANY SNOW EVENT.
- CONTINUATION OF EARTHWORK OPERATION ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED SUCH THAT NO LARGER AREA OF THE SITE IS WITHOUT EROSION CONTROL PROTECTION AS LISTED IN ITEM 2 ABOVE.
- AN AREA SHALL BE CONSIDERED TO HAVE BEEN STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED WITH STRAW OR STRAW AT A RATE OF 100 LB. PER 1,000 SQUARE FEET (WITH OR WITHOUT SEEDING) OR DORMANT SEEDED, MULCHED AND ADEQUATELY ANCHORED BY AN APPROVED ANCHORING TECHNIQUE.
- BETWEEN THE DATES OF OCTOBER 15 AND APRIL 1ST, LOAM OR SEED WILL NOT BE REQUIRED. DURING PERIODS OF ABOVE FREEZING TEMPERATURES THE SLOPES SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEEDED AND MULCHED UNTIL SUCH TIME AS THE FINAL TREATMENT CAN BE APPLIED. IF THE DATE IS AFTER NOVEMBER 1ST AND IF THE EXPOSURE HAS BEEN CANTED AND STABILIZED, THE CONTRACTOR DOES NOT NEED TO STABILIZE AT A RATE OF 200-400% HIGHER THAN THAT SPECIFIED FOR PERMANENT SEED AS THEN MULCHED. IF CONSTRUCTION CONTINUES DURING THE FREEZING WEATHER, ALL EXPOSED AREAS SHALL BE CONTINUOUSLY GRADED BEFORE FREEZING AND THE SURFACE TEMPORARILY PROTECTED FROM EROSION BY THE APPLICATION OF MULCH. SLOPES SHALL NOT BE LEFT UNEXPOSED OVER THE WINTER OR ANY OTHER EXTENDED TIME OF WORK SUSPENSION UNLESS TREATED IN THE ABOVE MANNER. UNTIL SUCH TIME AS WEATHER CONDITIONS ALLOW DITCHES TO BE FINISHED WITH THE PERMANENT SURFACE TREATMENT, EROSION SHALL BE CONTROLLED BY THE INSTALLATION OF BALES OF STRAW OR STONE CHECK DAMS IN ACCORDANCE WITH THE STANDARD DETAILS.
- MULCHING REQUIREMENTS:

  - BETWEEN THE DATES OF NOVEMBER 1ST AND APRIL 15TH ALL MULCH SHALL BE ANCHORED BY EITHER PEG LINE, MULCH NETTING OR WOOD CELLOPHANE FIBER.
  - MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS WITH A SLOPE GREATER THAN 3% FOR SLOPE EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES GREATER THAN 8%.
  - MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.

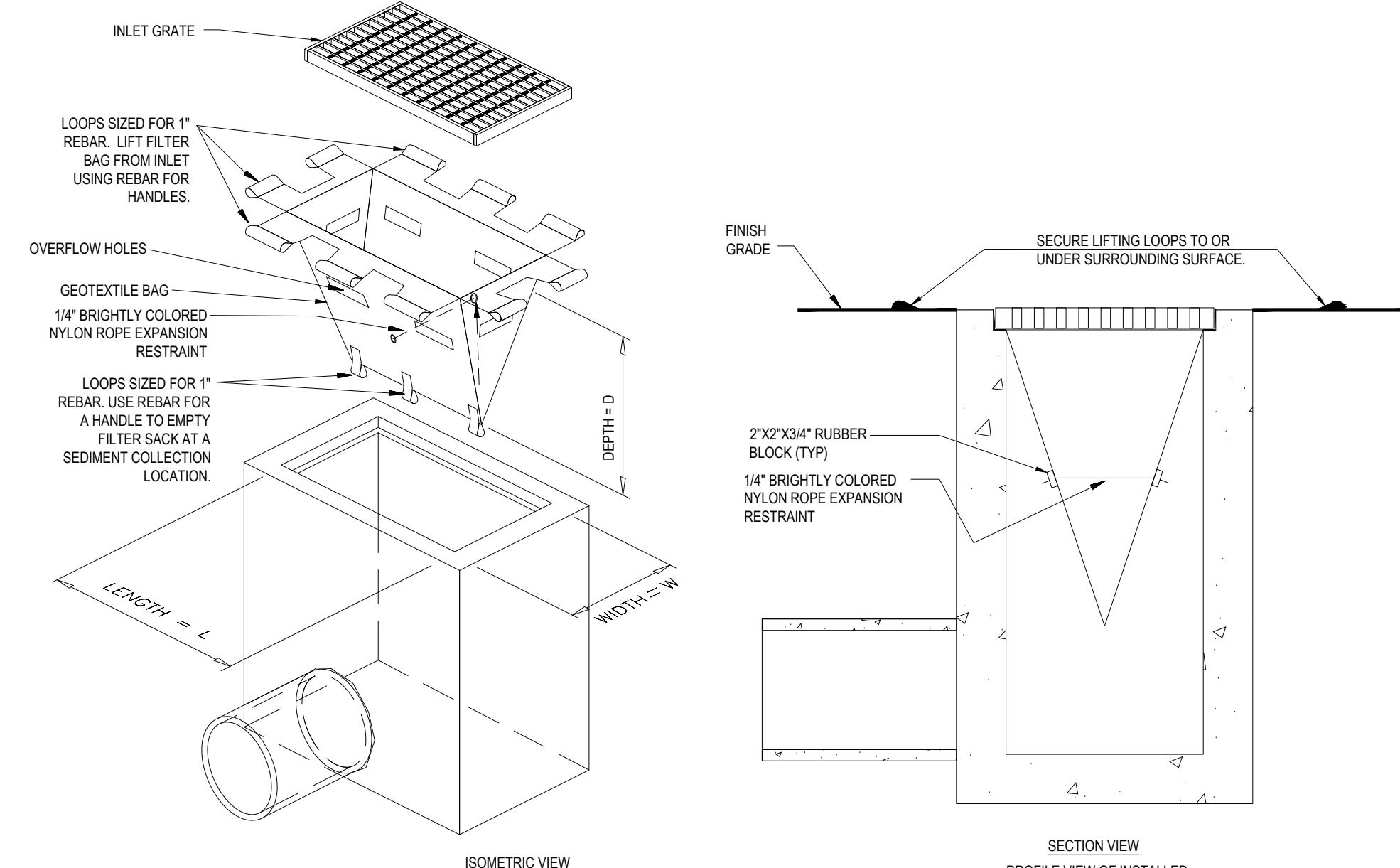
- AFTER NOVEMBER 1ST THE CONTRACTOR SHALL APPLY DORMANT SEEDING OR MULCH AND ANCHORING ON ALL BARE EARTH AT THE END OF EACH WORKING DAY.
- ALL STOCKPILING OF MATERIALS (DIRT, WOOD, CONSTRUCTION MATERIALS, ETC.) MUST REMAIN COVERED AT ALL TIMES TO MINIMIZE ANY DUST PROBLEMS THAT MAY OCCUR WITH ADJACENT PROPERTIES AND TO PROVIDE MAXIMUM PROTECTION AGAINST EROSION RUNOFF.
- EXISTING CATCH BASIN STRUCTURES SHALL BE PROTECTED UNTIL SUCH TIME AS THEY ARE REMOVED.

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## CONSTRUCTION SEQUENCE

THE FOLLOWING CONSTRUCTION SEQUENCE IS RECOMMENDED:

- INSTALLATION OF STABILIZED CONSTRUCTION ENTRANCE/EXIT (AS SHOWN)
- INSTALLATION OF EROSION CONTROL BARRIER (SILT FENCE) (AS SHOWN)
- DEMOLITION OF EXISTING SITE AMENITIES (SEE DEMOLITION PLAN)
- CLEARING AND GRUBBING
- INSTALLATION OF SEDIMENT BASIN
- EARTHWORK AND EXCAVATION/FILLING AS NECESSARY
- CONSTRUCTION OF UTILITIES
- STABILIZE PERMANENT LAWN AREAS AND SLOPES WITH TEMPORARY SEEDING
- CONSTRUCTION OF BUILDING
- CONSTRUCTION OF ALL CURBING AND LANDSCAPE ISLANDS AS INDICATED ON THE PLANS
- SPREAD TOPSOIL ON SLOPED AREAS AND SEED AND MULCH
- FINAL GRADING OF ALL SLOPED AREAS
- PLACE 6" TOPSOIL ON SLOPES AFTER FINAL GRADING COMPLETED. FERTILIZE, SEED, AND MULCH SEED MIXTURE TO BE INSTALLED AS REQUIRED.
- REMOVAL OF THE TEMPORARY SEDIMENT BASIN
- PAVE PARKING LOT
- LANDSCAPING PER LANDSCAPING PLAN
- REMOVE EROSION CONTROLS AS DISTURBED AREAS BECOME STABILIZED TO 80% STABILIZATION OR GREATER.



LOW TO MODERATE FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE		
PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	300 LBS
SOFTENING POINT	ASTM D-4632	20° F
PUNCTURE	ASTM D-4933	120 LBS
MULLEN BURST	ASTM D-378	800 PSI
TRAPEZOID TEAR	ASTM D-4633	45 LBS
UV RESISTANCE	ASTM D-4355	80%
APPARENT OPENING SIZE	ASTM D-4751	40 US SIEVE
FLOW RATE	ASTM D-4491	40 GALLONS/SQ FT
PERMITTIVITY	ASTM D-4491	0.55 SEC-1

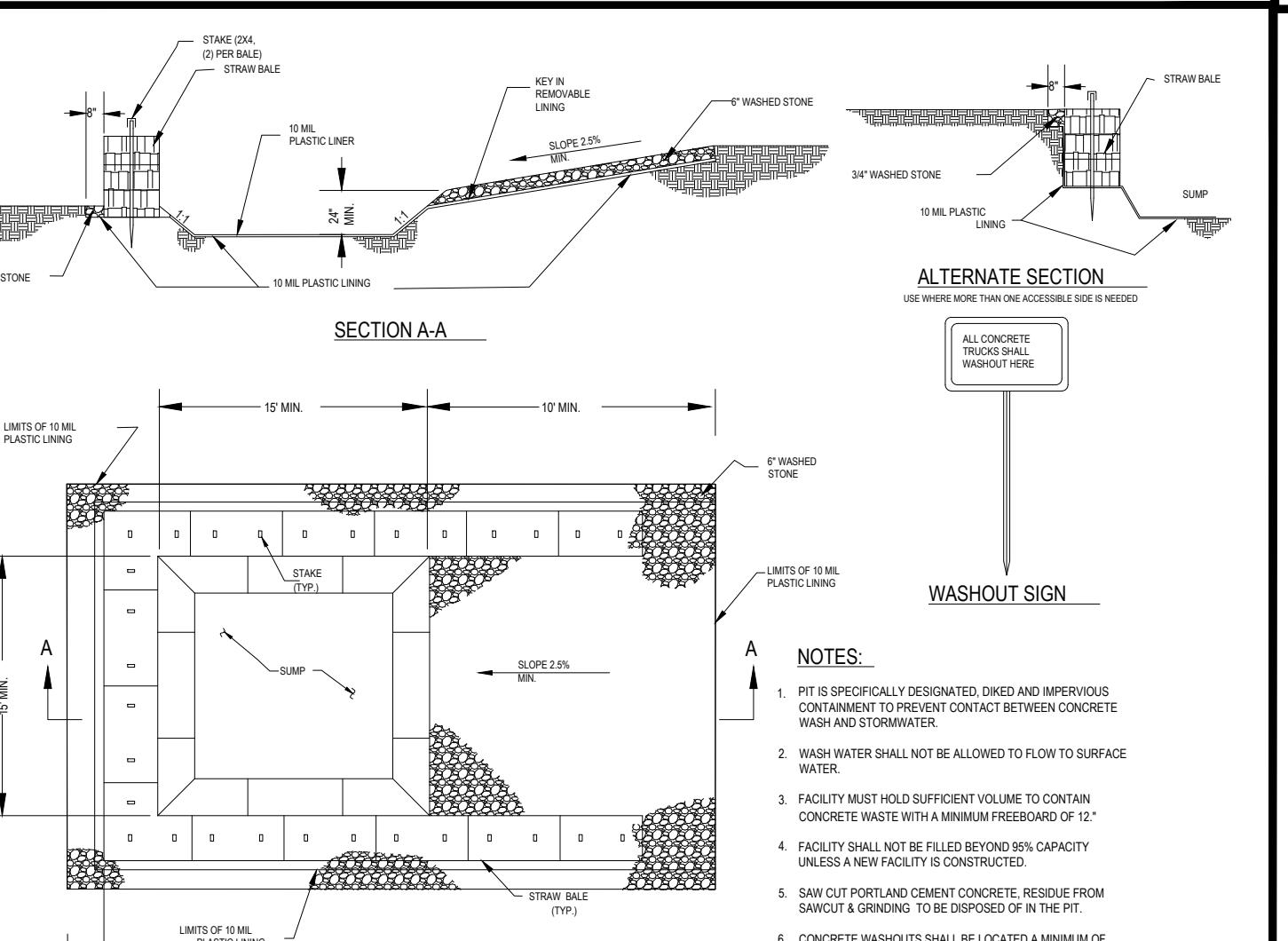
MODERATE TO HIGH FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE		
PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	250 LBS
SOFTENING POINT	ASTM D-4632	20° F
PUNCTURE	ASTM D-4933	135 LBS
MULLEN BURST	ASTM D-378	420 PSI
TRAPEZOID TEAR	ASTM D-4633	45 LBS
UV RESISTANCE	ASTM D-4355	95%
APPARENT OPENING SIZE	ASTM D-4751	20 US SIEVE
FLOW RATE	ASTM D-4491	200 GALLONS/SQ FT
PERMITTIVITY	ASTM D-4491	1.5 SEC-1

- REMOVE TRAPPED SEDIMENT WHEN BRIGHTLY COLORED EXPANSION RESTRAINT CAN NO LONGER BE SEEN.
- GEOTEXTILE SHALL BE A WOVEN POLYPROPYLENE FABRIC THAT MEETS OR EXCEEDS THE REQUIREMENTS IN THE SPECIFICATIONS TABLE.
- PLACE AN OIL ABSORBENT PAD OR PILLOW OVER INLET GRATE WHEN OIL SPILLS ARE A CONCERN.
- INSPECT PER REGULATORY REQUIREMENTS.
- THE WIDTH, "W", OF THE FILTER SACK SHALL MATCH THE INSIDE WIDTH OF THE GRATED INLET BOX.
- THE DEPTH, "D", OF THE FILTER SACK SHALL BE BETWEEN 18 INCHES AND 20 INCHES.
- THE LENGTH, "L", OF THE FILTER SACK SHALL MATCH THE INSIDE LENGTH OF THE GRATED INLET BOX.

DO NOT USE IN PAVED AREAS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.

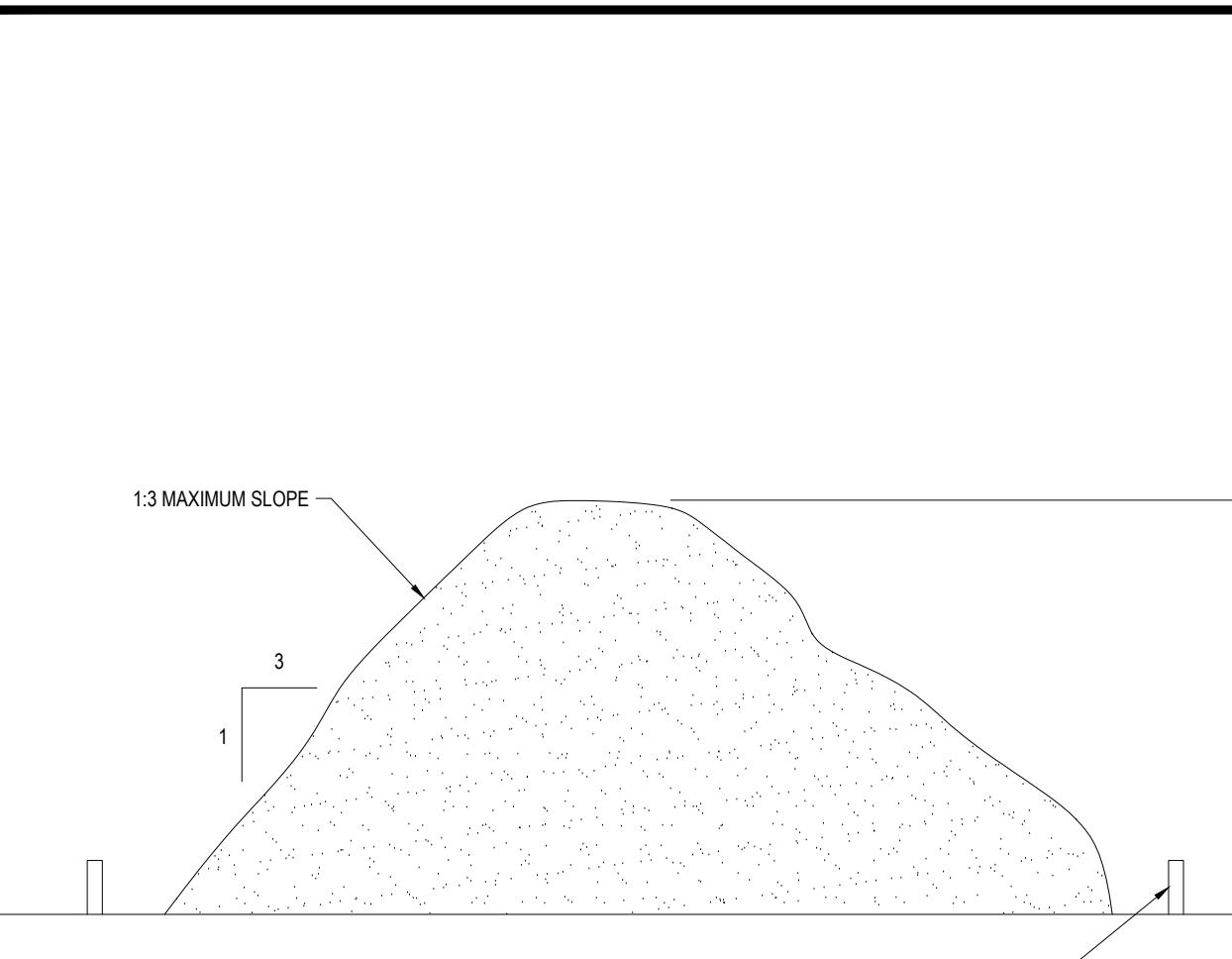
## FILTER SACKS (GRADED INLETS)

N.T.S.



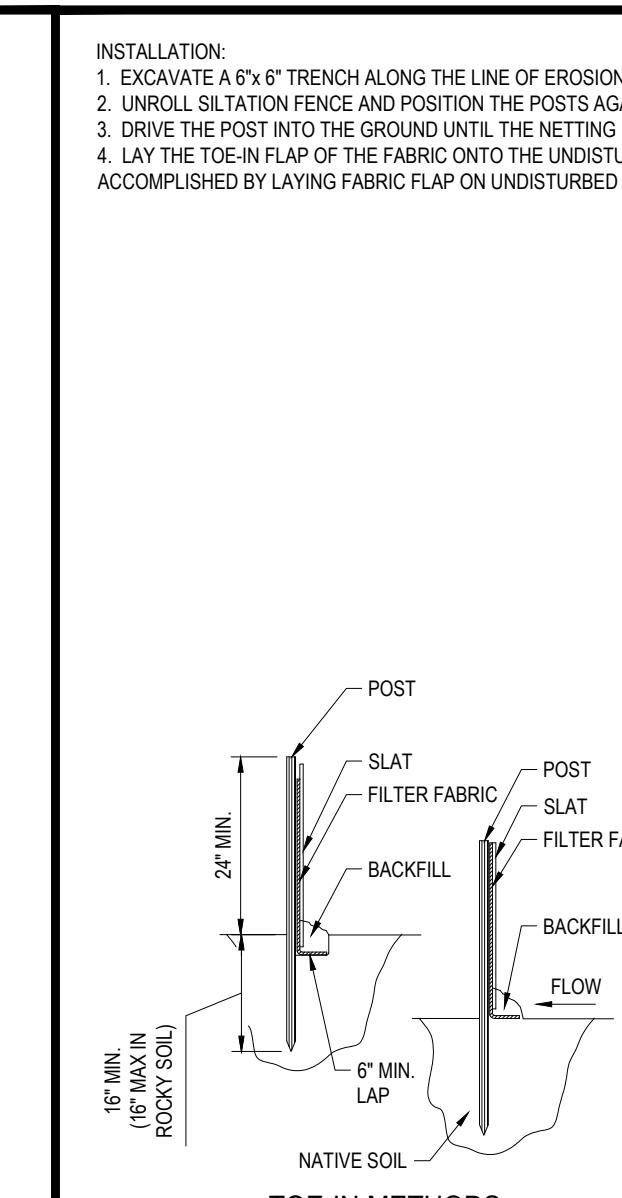
## CONCRETE WASHOUT DETAIL

N.T.S.



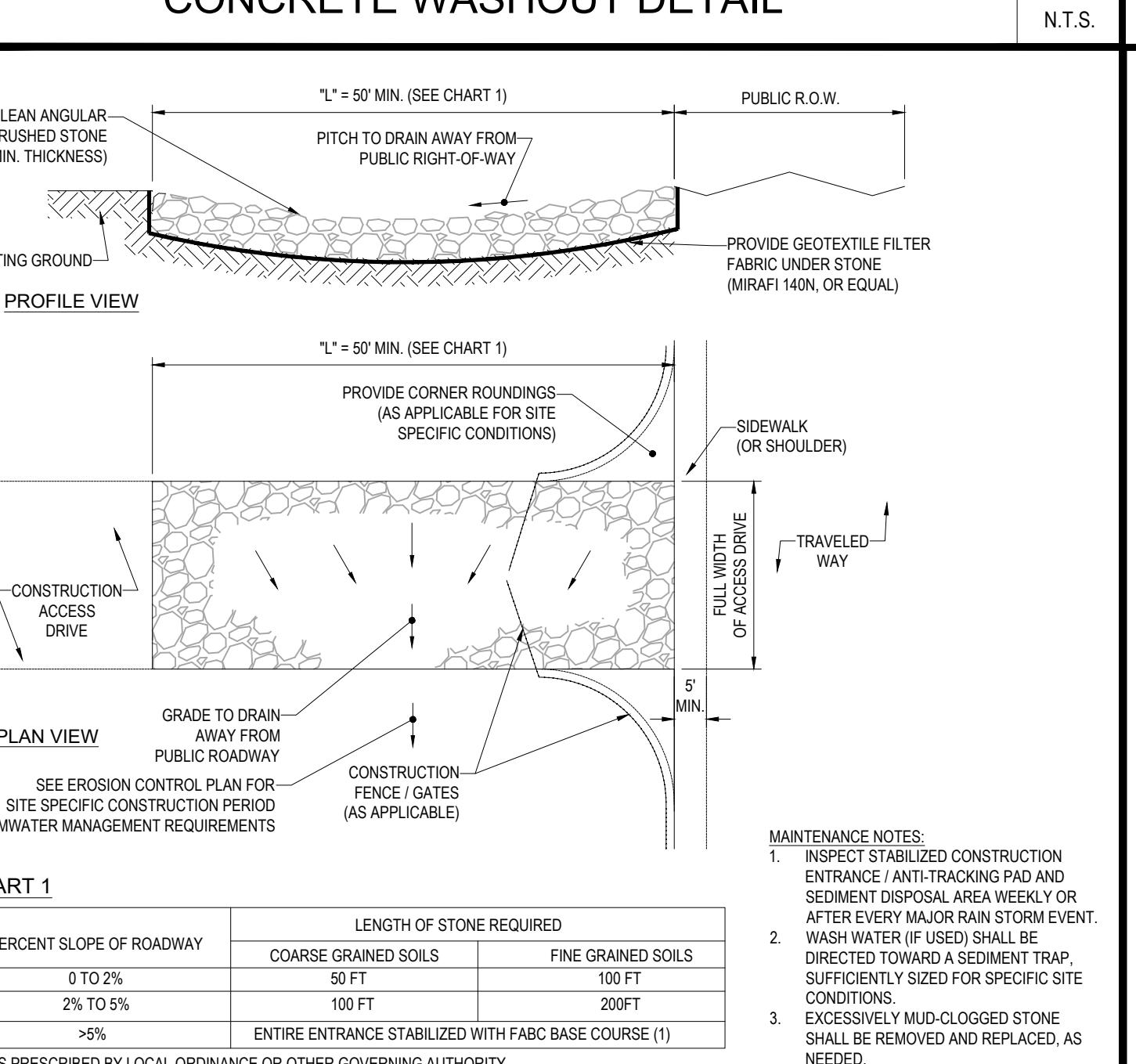
## TEMPORARY STOCKPILE DETAIL

N.T.S.



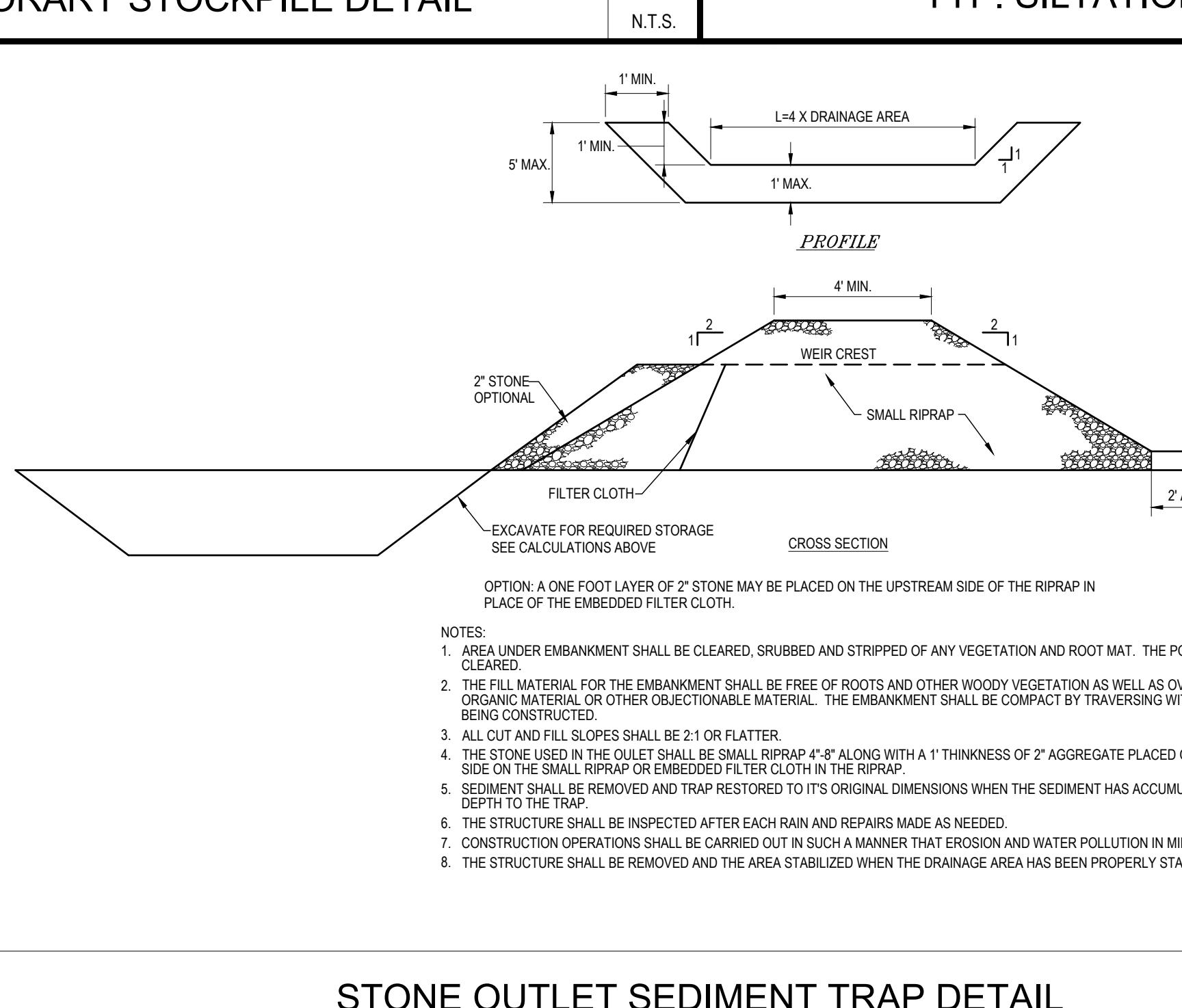
## TYP. SILTATION FENCE DETAIL

N.T.S.



## STABILIZED CONSTRUCTION EXIT

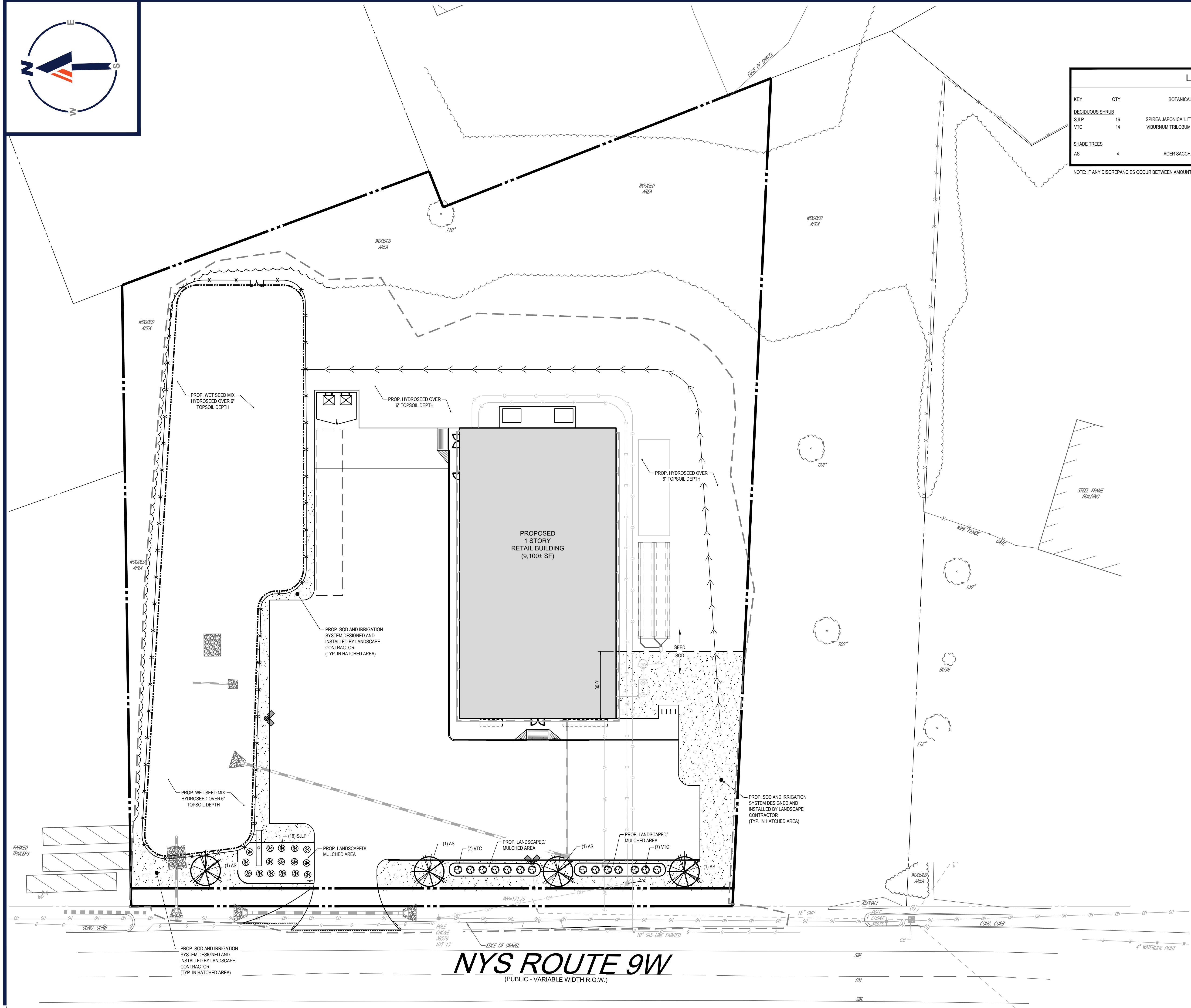
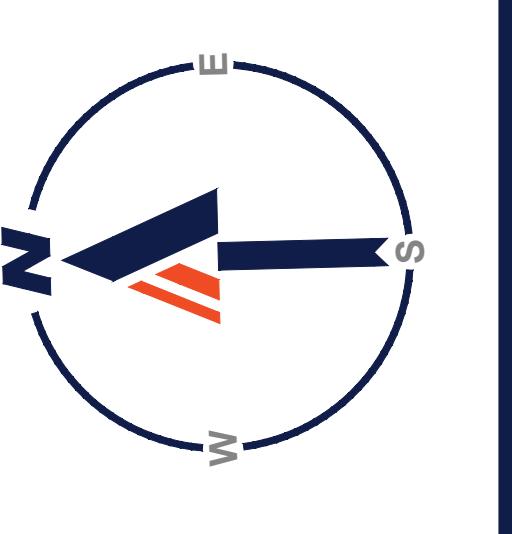
N.T.S.



## STONE OUTLET SEDIMENT TRAP DETAIL

N.T.S.

**BOHLER**  
Site Civil and Consulting Engineering  
Land Surveying  
Sustainable Design  
Permitting Services



LANDSCAPE SCHEDULE					
<u>KEY</u>	<u>QTY</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>SIZE</u>	<u>REMARKS</u>
<u>DECIDUOUS SHRUB</u>					
SJLP	16	SPIREA JAPONICA 'LITTLE PRINCESS'	LITTLE PRINCESS SPIREA	15-18"	#3 CAN
VTC	14	VIBURNUM TRILOBUM 'COMPACTUM'	COMPACT AMERICAN CRANBERRYBUSH	24"-30"	B+B
<u>SHADE TREES</u>					
AS	4	ACER SACCHARUM	SUGAR MAPLE	2 1/2-3" CAL.	B+B

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICTATE.

# BOHLER

SITE CIVIL AND CONSULTING ENGINEERING  
LAND SURVEYING  
PROGRAM MANAGEMENT

**LANDSCAPE ARCHITECTURE**  
**SUSTAINABLE DESIGN**  
**PERMITTING SERVICES**  
**TRANSPORTATION SERVICES**



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**THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY  
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DOCUMENT UNLESS INDICATED OTHERWISE.**

PROJECT No.: B200130  
DRAWN BY: ~ NCN ~  
CHECKED BY: ~ CVM / CEB ~  
DATE: 08/14/2020  
AD I.D.: B200130SS00

# **PROPOSED SITE PLAN DOCUMENTS**

FOR  
**HSC  
MILTON  
LLC.**  
  
**PROPOSED  
DEVELOPMENT**  
  
**MAP #103.1, BLOCK #2, LOT #74  
NYS ROUTE 9W  
TOWN OF MARLBOROUGH  
ULSTER COUNTY  
STATE OF NEW YORK**

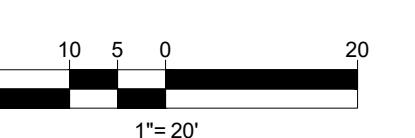
# BOHLER //

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**17 COMPUTER DRIVE WEST**  
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Fax: (518) 438-0900  
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**THIS PLAN TO BE UTILIZED FOR  
LANDSCAPE PURPOSES ONLY.  
REFER TO LANDSCAPE NOTES  
AND DETAILS SHEET  
OR ADDITIONAL LANDSCAPING  
NOTES**



HEET NUMBER:

REVISION 1 - 12/10/2020



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PROJECT No.: B200130  
DRAWN BY: ~ NCN ~  
CHECKED BY: ~ CVM / CEB ~  
DATE: 08/14/2020  
CAD ID.: B200130SS00

PROJECT:

## PROPOSED SITE PLAN DOCUMENTS

FOR  
HSC  
MILTON  
LLC.  
PROPOSED  
DEVELOPMENT  
MAP #103.1, BLOCK #2, LOT #74  
NYS ROUTE 9W  
TOWN OF MARLBOROUGH  
ULSTER COUNTY  
STATE OF NEW YORK

## BOHLER //

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SHEET TITLE:

## LANDSCAPE NOTES AND DETAILS

SHEET NUMBER:

**C-702**

REVISION 1 - 12/10/2020

## LANDSCAPE SPECIFICATIONS

1. SCOPE OF WORK:  
THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL CLEARING, FINISHED GRADING, SOIL PREPARATION, PERMANENT SEEDING OR SODDING, PLANTING AND MULCHING INCLUDING ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THIS PROJECT, UNLESS OTHERWISE CONTRACTED BY THE GENERAL CONTRACTOR.

2. MATERIALS

A. GENERAL - ALL HARDSCAPE MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATION'S SPECIFICATIONS

B. TOPSOIL - NATURAL, FRAGILE LOAMY SILT SOIL HAVING AN ORGANIC CONTENT NOT LESS THAN 5%, A PH RANGE BETWEEN 4.5-7.0. IT SHALL BE FREE OF DEBRIS, ROCKS LARGER THAN ONE INCH (1"), WOOD, ROOTS, VEGETABLE MATTER AND CLAY CLOWS.

C. LAWN - ALL DISTURBED AREAS ARE TO BE TREATED WITH A MINIMUM 6" THICK LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, AND SEADED OR SODDED IN ACCORDANCE WITH THE PERMANENT STABILIZATION METHODS INDICATED ON THE LANDSCAPE PLAN

D. MULCH - ALL PLANTING BEDS SHALL BE MULCHED WITH A 2" THICK LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH, UNLESS OTHERWISE STATED ON THE LANDSCAPE PLAN AND/OR LANDSCAPE PLAN NOTES DETAILS.

E. FERTILIZER

I. FERTILIZER SHALL BE DELIVERED TO THE SITE MIXED AS SPECIFIED IN THE ORIGINAL UNOPENED STANDARD BAGS SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER.

II. FERTILIZER SHALL BE STORED IN A WEATHERPROOF PLACE SO THAT IT CAN BE KEPT DRY PRIOR TO USE.

III. FOR THE PURPOSE OF BIDDING, ASSUME THAT FERTILIZER SHALL BE 10% NITROGEN, 6% PHOSPHORUS AND 4% POTASSIUM BY WEIGHT. A FERTILIZER SHOULD NOT BE SELECTED WITHOUT A SOIL TEST PERFORMED BY A CERTIFIED SOIL LABORATORY.

F. PLANT MATERIALS:  
I. ALL PLANTS SHALL IN ALL CASES CONFORM TO THE REQUIREMENTS OF THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1), LATEST EDITION, AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION (FORMERLY THE AMERICAN ASSOCIATION OF NURSERYMEN).

II. IN ALL CASES, BOTANICAL NAMES SHALL TAKE PRIORITY OVER COMMON NAMES FOR ANY AND ALL PLANT MATERIAL.

III. PLANTS SHALL BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE. TAGS ARE TO REMAIN ON AT LEAST ONE PLANT OF EACH SPECIES FOR VERIFICATION PURPOSES DURING THE INSPECTION.

IV. TREES WITH ABRASION OF THE BARK, SUN SCALDS, DISFIGURATION OR FRESH CUTS OF LIMBS OVER 1/4", WHICH HAVE NOT BEEN COMPLETELY CALLUSED, SHALL BE REJECTED.

V. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH: WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS, RIGID, AND FREE OF DISEASE, INSECTS, PESTS, EGGS OR LARVAE.

VI. CALIPER MEASUREMENTS OF NURSERY GROWN TREES SHALL BE TAKEN AT A POINT ON THE TRUNK SIX INCHES (6") ABOVE THE NATURAL GRADE FOR TREES UP TO AND INCLUDING A

FOUR INCH (4") CALIPER SIZE. IF THE CALIPER AT SIX INCHES (6") ABOVE THE GROUND EXCEEDS FOUR INCHES (4") IN CALIPER, THE CALIPER SHOULD BE MEASURED AT 12" ABOVE THE NATURAL GRADE.

VII. SHRUBS SHALL BE MEASURED TO THE AVERAGE HEIGHT OR SPREAD OF THE SHRUB, AND NOT TO THE LONGEST BRANCH.

VIII. TREES AND SHRUBS SHALL BE HANDLED WITH CARE BY THE ROOT BALL.

3. GENERAL WORK PROCEDURES

A. CONTRACTOR TO UTILIZE WORKMANLIKE INDUSTRY STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH WORKDAY. ALL DEBRIS, MATERIALS AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF.

B. WASTE MATERIALS AND DEBRIS SHALL BE COMPLETELY DISPOSED OF AT THE CONTRACTOR'S EXPENSE. DEBRIS SHALL NOT BE BURIED, INCLUDING ORGANIC MATERIALS, BUT SHALL BE REMOVED COMPLETELY FROM THE SITE.

4. SITE PREPARATIONS

A. BEFORE AND DURING PRELIMINARY GRADING AND FINISHED GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES OUTLINED HEREIN.

B. ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES. THE ENTIRE LENGTH OF ANY DAMAGED BRANCH SHALL BE CUT OFF AT THE BRANCH CROWN. CONTRACTOR SHALL ENSURE THAT CUTS ARE SMOOTH AND STRAIGHT. ANY EXPOSED ROOTS SHALL BE CUT BACK WITH CLEAN, SHARP TOOLS AND TOPSOIL SHALL BE PLACED AROUND THE REMAINDER OF THE ROOTS. EXISTING TREES SHALL BE MONITORED ON A REGULAR BASIS FOR ADDITIONAL ROOT OR BRANCH DAMAGE AS A RESULT OF CONSTRUCTION. ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY. CONTRACTOR SHALL WATER EXISTING TREES AS NEEDED TO PREVENT SHOCK OR DECLINE.

C. CONTRACTOR SHALL ARRANGE TO HAVE A UTILITY STAKE-OUT TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY LANDSCAPE MATERIAL. UTILITY COMPANIES SHALL BE CONTACTED THREE (3) DAYS PRIOR TO THE BEGINNING OF WORK.

5. TREE PROTECTION

A. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES TO REMAIN. A TREE PROTECTION ZONE SHALL BE ESTABLISHED AT THE DRIP LINE OR AT THE LIMIT OF CONSTRUCTION DISTURBANCE, WHICHEVER IS GREATER. LOCAL STANDARDS THAT MAY REQUIRE A MORE STRICT TREE PROTECTION ZONE SHALL BE HONORED.

B. A FORTY-EIGHT INCH (48") HIGH WOODEN SNOW FENCE OR ORANGE COLORED HIGH-DENSITY VINYL-FENCE, OR APPROVED EQUAL, MOUNTED ON STEEL POSTS SHALL BE PLACED ALONG THE BOUNDARY OF THE TREE PROTECTION ZONE. POSTS SHALL BE LOCATED AT A MAXIMUM OF EIGHT FEET (8') ON CENTER OR AS INDICATED WITHIN HEAT, SUN AND WIND.

THE TREE PROTECTION DETAIL

D. ALL LAWN AREAS ARE TO BE CULTIVATED TO A DEPTH OF SIX INCHES (6"). ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES SECTION ABOVE. THE FOLLOWING SHALL BE TILLED INTO THE TOP FOUR INCHES (4") IN TWO DIRECTIONS QUANTITIES BASED ON A 1,000 SQUARE FOOT AREA. FOR BID PURPOSES ONLY (SEE SPECIFICATION 6.A):

1. 20 POUNDS GRO-POWER OR APPROVED SOIL CONDITIONER/FERTILIZER

2. 10 POUNDS NITRO-FORM COURSE 38-0-0 BLUE CHIP OR APPROVED NITROGEN FERTILIZER

3. THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN CONDITIONS.

4. PLANTING  
A. IF SOIL IS FEASIBLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THAT THIS IS NOT POSSIBLE, LANDSCAPE CONTRACTOR SHALL PROTECT UNINSTALLED PLANT MATERIAL. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. PLANTS THAT WILL NOT BE PLANTED FOR A PERIOD OF TIME GREATER THAN THREE DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH TO HELP PRESERVE ROOT MOISTURE.

B. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN MUDDY OR FROZEN CONDITION.

C. ANY INJURED ROOTS OR BRANCHES SHALL BE PRUNED TO MAKE CLEAN-CUT ENDS PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS. ONLY INJURED OR DISEASED BRANCHING SHALL BE REMOVED.

D. ALL PLANTING CONTAINERS, BASKETS AND NON-BIO降DEGRADABLE MATERIALS SHALL BE REMOVED FROM ROOT BALLS DURING PLANTING. NATURAL FIBER BURLAP MUST BE CUT FROM AROUND THE TRUNK OF THE TREE AND FOLDED DOWN AGAINST THE ROOT BALL PRIOR TO BACKFILLING.

E. POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO EXCAVATING PITS, MAKING NECESSARY ADJUSTMENTS AS DIRECTED.

F. PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE PROPOSED LANDSCAPE, AS SHOWN ON THE APPROVED LANDSCAPE PLAN, MUST BE INSTALLED, INSPECTED AND APPROVED BY THE APPROVING AGENCY. THE APPROVING AGENCY SHALL TAKE INTO ACCOUNT SEASONAL CONSIDERATIONS IN THIS REGARD AS FOLLOWS: THE PLANTING OF TREES, SHRUBS, VINES OR GROUND COVER SHALL OCCUR ONLY DURING THE FOLLOWING PLANTING SEASONS:

I. PLANTS: MARCH 15 TO DECEMBER 15

II. LAWNS: MARCH 15 TO JUNE 15 OR SEPT. 1 TO DECEMBER 1

PLANTINGS REQUIRED FOR A CERTIFICATE OF OCCUPANCY SHALL BE PROVIDED DURING THE NEXT APPROPRIATE SEASON AT THE MUNICIPALITY'S DISCRETION. CONTRACTOR SHOULD CONTACT APPROVING AGENCY FOR POTENTIAL SUBSTITUTIONS.

G. FURTHERMORE, THE FOLLOWING TREE VARIETIES ARE UNUSUALLY SUSCEPTIBLE TO WINTER DAMAGE. WITH TRANSPLANT SHOCK AND THE SEASONAL LACK OF NITROGEN AVAILABILITY, THE RISK OF PLANT DEATH IS GREATLY INCREASED. IT IS NOT RECOMMENDED THAT THESE SPECIES BE PLANTED DURING THE FALL PLANTING SEAS:

ACER RUBRUM PLATANUS X ACERIFOLIA

BETULA VARIETIES PRUNUS VARIETIES

CARPINUS VARIETIES PYRUS VARIETIES

CRATAEGUS VARIETIES QUERCUS VARIETIES

KOENIGI REUTERI TILIACORUS VARIETIES

LUDOVICANA STRYRACIFLUA TILA TAMENTOSA

LUDODENDRON TULIPIFERA ZELKOVA VARIETIES

H. PLANTING PITS SHALL BE DUG WITH LEVEL BOTTOMS, WITH THE WIDTH TWICE THE DIAMETER OF ROOT BALL. THE ROOT BALL SHALL REST ON UNDISTURBED GRADE. EACH PLANTING PITS SHALL BE BACKFILLED IN LAYERS WITH THE FOLLOWING PREPARED SOIL MIXED THOROUGHLY:

I. 1/4 PART PEAT MOSS

II. 1/4 PART COMPOSTED COW MANURE BY VOLUME

III. 3 PARTS TOPSOIL BY VOLUME

IV. 21 GRAMS AGRIFORM PLANTING TABLETS (OR APPROVED EQUAL) AS FOLLOWS:

A) 2 TABLETS PER GALLON PLANT

B) 3 TABLETS PER 5 GALLON PLANT

C) 4 TABLETS PER 1 GALLON PLANT

D) LARGER PLANTS: 2 TABLETS PER 1/2" CALIPER OF TRUNK

I. FILL PREPARED SOIL AROUND BASE OF PLANT HALF-WAY AND INSERT PLANT TABLETS. COMPLETE BACKFILL AND WATER THOROUGHLY.

J. ALL PLANTS SHALL BE PLANTED SO THAT THE TOP OF THE ROOT BALL, THE POINT AT WHICH THE ROOT FLARE BEGINS, IS SET AT GROUND LEVEL AND IN THE CENTER OF THE PIT. NO SOIL IS TO BE PLACED DIRECTLY ON TOP OF THE ROOT BALL.

K. ALL PROPOSED TREES DIRECTLY ADJACENT TO WALKWAYS OR DRIVEWAYS SHALL BE PRUNED AND MAINTAINED TO A MINIMUM BRANCHING HEIGHT OF 7' FROM GRADE.

L. GROUND COVER AREAS SHALL RECEIVE A 1/4" LAYER OF HUMUS RAKED INTO THE TOP 1" OF PREPARED SOIL PRIOR TO PLANTING. ALL GROUND COVER AREAS SHALL BE WATERED AND TREATED WITH A PRE-Emergent CHEMICAL AS PER MANUFACTURER'S RECOMMENDATION.

M. NO PLANT, EXCEPT GROUND COVERS, GRASSES OR VINES, SHALL BE PLANTED LESS THAN TWO FEET (2') FROM EXISTING STRUCTURES AND SIDEWALKS.

N. ALL PLANTING AREAS AND PLANTING PITS SHALL BE MULCHED AS SPECIFIED HEREIN TO FILL THE ENTIRE BED AREA OR SAUCER. NO MULCH IS TO TOUCH THE TRUNK OF THE TREE OR SHRUB.

O. ALL PLANTING AREAS SHALL BE WATERED IMMEDIATELY UPON INSTALLATION IN ACCORDANCE WITH THE WATERING SPECIFICATIONS AS LISTED HEREIN.

10. PLANTING (WHEN REQUIRED)

A. ALL TRANSPLANTS SHALL BE PLACED WITHIN 12" OF THE BOUNDARY OF THE PLANT BALL CAPABLE OF SUSTAINING THE PLANT.

B. IF PLANTS ARE TO BE STOCKPILED BEFORE REPLANTING, THEY SHALL BE HEALED IN WITH MULCH OR SOIL, ADEQUATELY WATERED AND PROTECTED FROM EXTREME WEATHER.

C. PLANTS SHALL NOT BE DUG FOR TRANSPLANTING BETWEEN APRIL 10 AND JUNE 30.

D. UPON REPLANTING, BACKFILLED SOIL SHALL BE AMENDED WITH FERTILIZER AND ROOT GROWTH HORMONE.

E. TRANSPLANTS SHALL BE GUARANTEED FOR THE LENGTH OF THE GUARANTEE PERIOD SPECIFIED HEREIN.

F. IF TRANSPLANTS DIE, SHRUBS AND TREES LESS THAN SIX INCHES (6") DBH SHALL BE REPLACED IN KIND. TREES GREATER THAN SIX INCHES (6") DBH MAY BE REQUIRED TO BE REPLACED IN ACCORDANCE WITH THE MUNICIPALITY'S TREE REPLACEMENT GUIDELINES.

11. WATERING

A. NEW PLANTINGS OR LAWN AREAS SHALL BE ADEQUATELY IRRIGATED BEGINNING IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACKFILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED. WATERING SHALL CONTINUE AT LEAST UNTIL PLANTS ARE ESTABLISHED.

B. SITE OWNER SHALL PROVIDE WATER IF AVAILABLE ON SITE AT TIME OF PLANTING. IF WATER IS NOT AVAILABLE ON SITE, CONTRACTOR SHALL SUPPLY ALL NECESSARY WATER. THE USE OF WATERING BAGS IS RECOMMENDED FOR ALL NEWLY PLANTED TREES.

C. IF AN IRRIGATION SYSTEM HAS BEEN INSTALLED ON THE SITE, IT SHALL BE USED TO WATER PROPOSED PLANT MATERIAL, BUT ANY FAILURE OF THE SYSTEM DOES NOT ELIMINATE THE CONTRACTOR'S RESPONSIBILITY OF MAINTAINING THE DESIRED MOISTURE LEVEL FOR VIGOROUS, HEALTHY GROWTH.

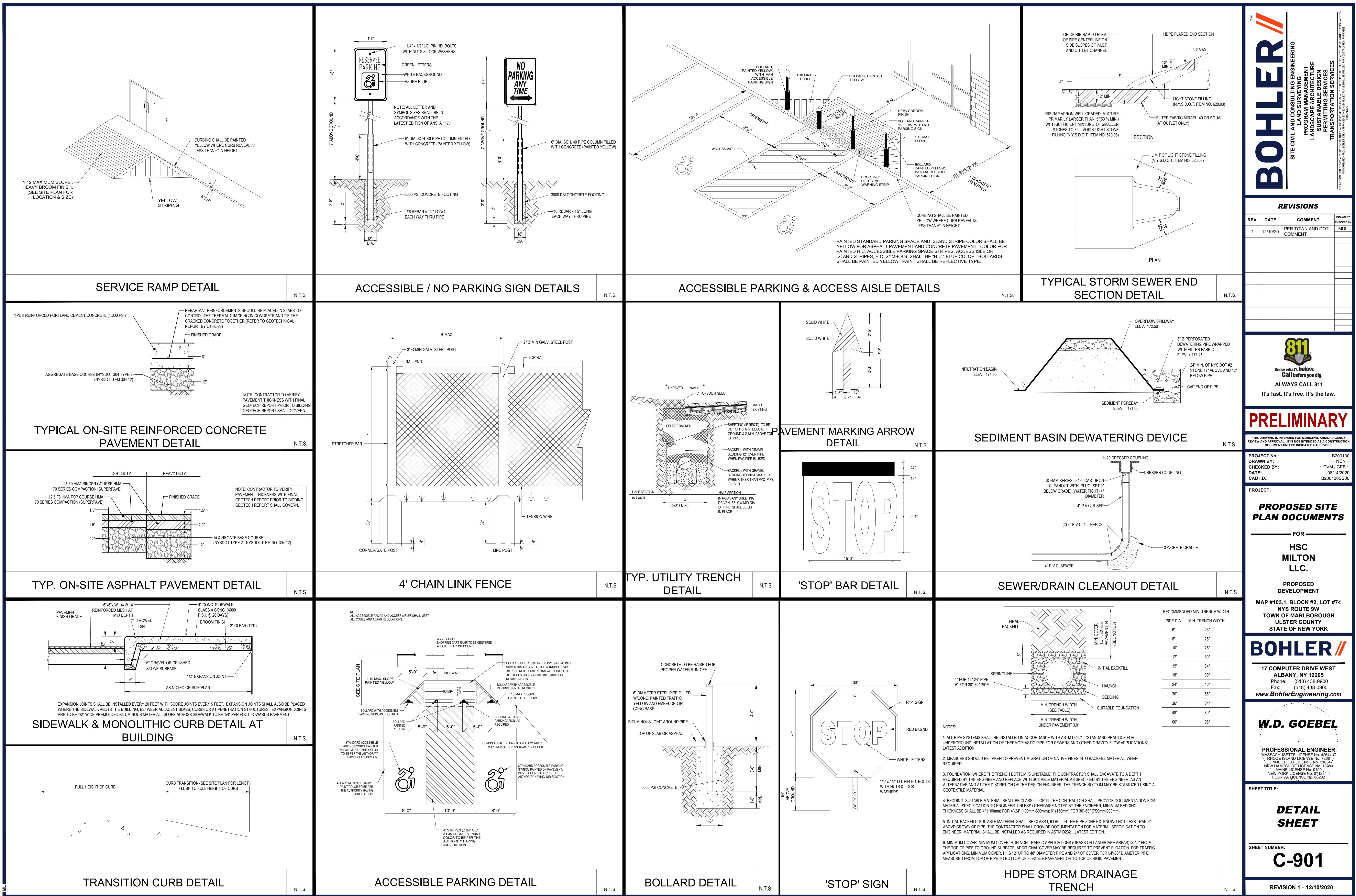
12. GUARANTEE

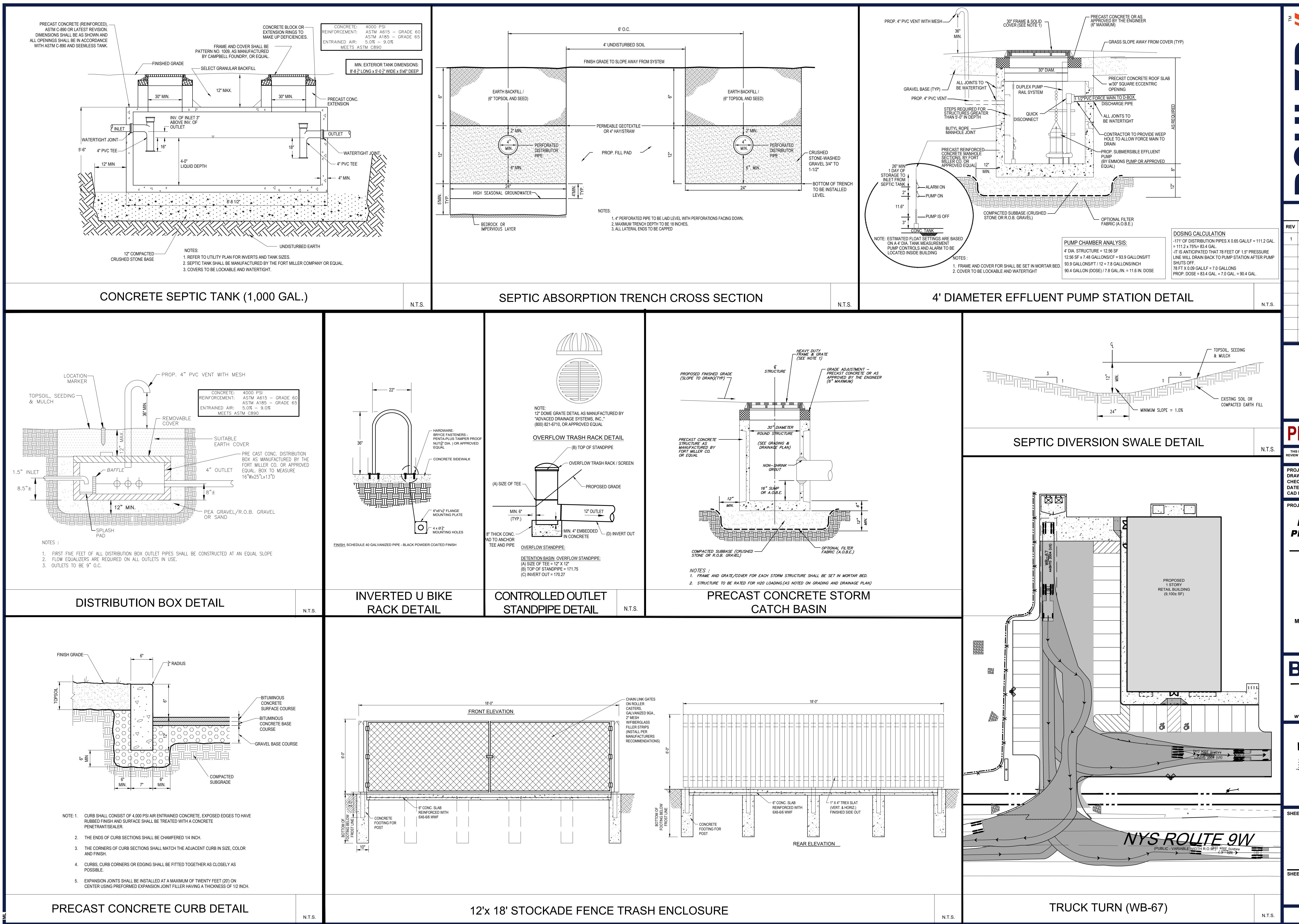
A. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF 1 YEAR FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE APPROVING AGENCY. CONTRACTOR SHALL SUPPLY THE OWNER WITH A MAINTENANCE BOND FOR TEN PERCENT (10%) OF THE VALUE OF THE LANDSCAPE INSTALLATION WHICH WILL BE RELEASED AT THE CONCLUSION OF THE GUARANTEE PERIOD AND WHEN A FINAL INSPECTION HAS BEEN COMPLETED AND APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.

B. ANY DEAD OR DYING PLANT MATERIAL SHALL BE REPLACED FOR THE LENGTH OF THE GUARANTEE PERIOD. REPLACEMENT OF PLANT MATERIAL SHALL BE AT THE FIRST SUCCESSFUL PLANTING SEASON. ANY DEBRIS SHALL BE DISPOSED OF OFF-SITE, WITHOUT EXCEPTION.

C. TREES AND SHRUBS SHALL BE MAINTAINED BY THE CONTRACTOR DURING CONSTRUCTION AND THROUGHOUT THE 90 DAY MAINTENANCE PERIOD AS SPECIFIED HEREIN. CULTIVATION, WEEDING, WATERING AND THE PREVENTATIVE TREATMENTS SHALL BE PERFORMED AS NECESSARY TO KEEP PLANT MATERIAL IN GOOD CONDITION AND FREE OF INSECTS AND DISEASE.

D. LAWNS SHALL BE MAINTAINED THROUGH





**NYS DOT WORK ZONE TRAFFIC CONTROL  
GENERAL NOTES**

**GENERAL NOTES**

1. THE TYPICAL DETAILS DEPICTED ON THE STANDARD SHEETS AND IN THE MUTCD, REFLECT THE MINIMUM REQUIREMENTS.
2. THE CONTRACTOR MUST SUBMIT TO THE ENGINEER, IN WRITING, PROPOSED REVISIONS TO THE TRAFFIC CONTROL PLAN FOR REVIEW AND APPROVAL BY THE REGIONAL DIRECTOR OR HIGHWAY DIRECTOR. THE CONTRACTOR OR PLANNER'S IMPLEMENTATION OF SUCH PROPOSED REVISIONS IS THE RESPONSIBILITY OF THE CONTRACTOR. SUCH CHANGES IN THE CONTROL PLAN, SUCH CHANGES IN SCOPES, MUST BE SUBMITTED TO THE ENGINEER FOR APPROVAL BY THE REGIONAL DIRECTOR OR HIS/HER DESIGNEE THIRTY (30) WORKING DAYS PRIOR TO IMPLEMENTATION OF SUCH REVISIONS.
3. THE CONTRACTOR SHALL PROVIDE THE ENGINEER, IN WRITING, WITH THE NAMES, ADDRESSES, TELEPHONE NUMBERS, FAX NUMBER, AND EMAIL ADDRESS OF THE AUTHORIZED TO SECURE LABOR, MATERIALS, AND EQUIPMENT FOR EMERGENCY REPAIRS OUTSIDE NORMAL WORKING HOURS. THE ENGINEER WILL PROVIDE THE SUBMITTED INFORMATION TO REGIONAL MANAGEMENT, THE NEW YORK STATE POLICE, THE REGIONAL ENGINEER, AND THE LOCAL POLICE.

**ACTIVITY ZONE**

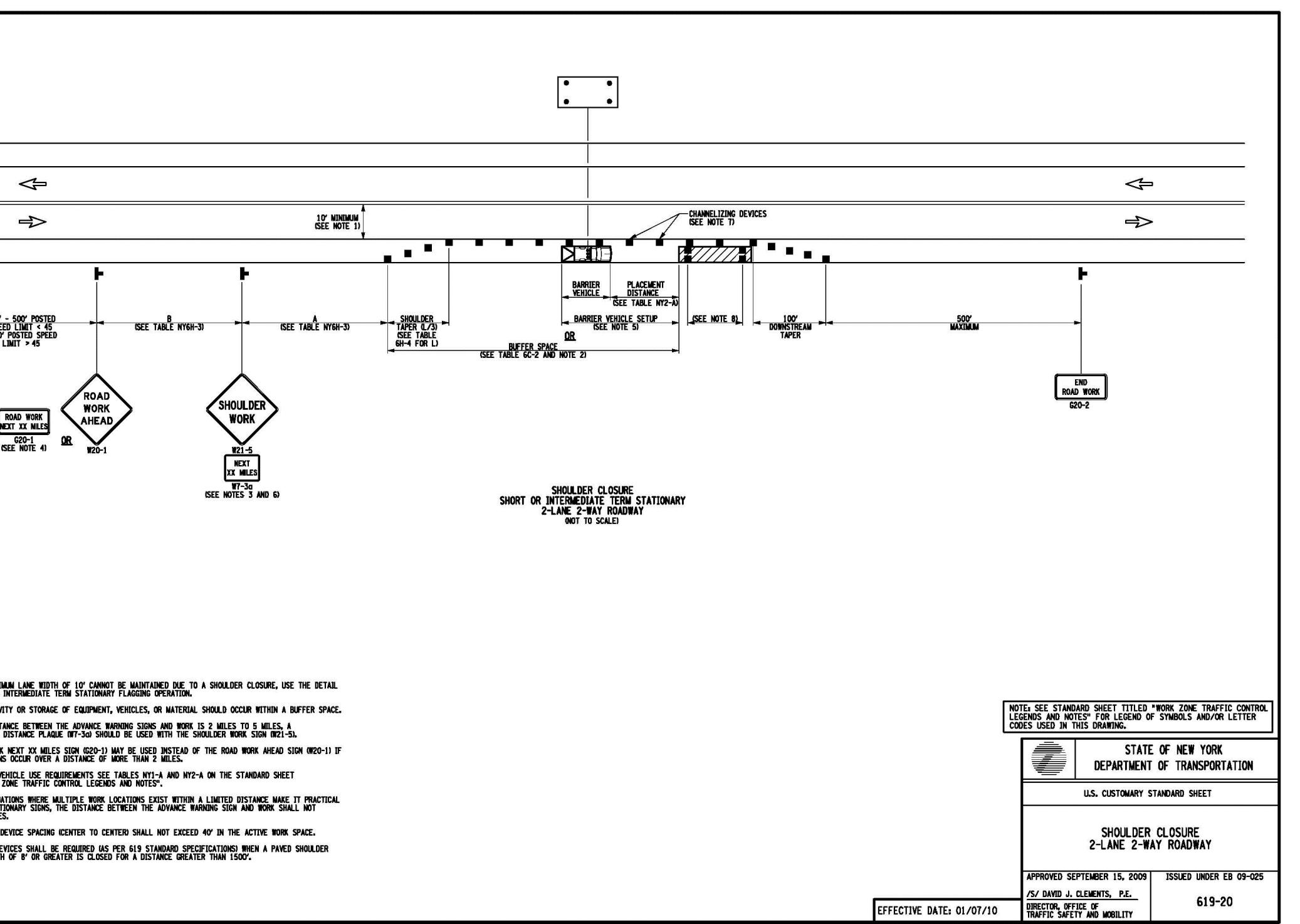
1. THE CONTRACTOR SHALL MAINTAIN A MINIMUM 500' LONGITUDINAL DISTANCE BETWEEN CONSTRUCTION OPERATIONS ON ALTERNATE SIDES OF THE ROADWAY, UNLESS OTHERWISE APPROVED BY THE ENGINEER.
2. WHEN TWO OR MORE ACTIVITIES ARE ALIGNED, OVERLAP, OR ARE IN CLOSE PROXIMITY, THE CONTRACTOR SHALL REMOVE CONFLICTING SIGNS AND THAT LANE CONTINUITY IS MAINTAINED THROUGHOUT ALL WORK AREAS.

**SIGNS**

1. THE LOCATIONS OF THE SIGNS SHOWN ON THE WORK ZONE TRAFFIC CONTROL PLANS AND DETAILS SHALL BE MAINTAINED BASED ON SIGN RESTRICTIONS AND OTHER CONSIDERATIONS. THE FINAL LOCATIONS OF SIGNS ARE SUBJECT TO APPROVAL OF THE ENGINEER.
2. ANY EXISTING SIGNS, INCLUDING OVERHEAD SIGNS, WHICH CONFLICT WITH THE TEMPORARY TRAFFIC CONTROL SIGN LAYOUT SHALL BE REMOVED, STORED, OR RESET, AS APPROVED BY THE ENGINEER. ALL APPROPRIATE EXISTING SIGNS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AND/OR LOCATION UNLESS OTHERWISE REPAIRED IN THIS CONTRACT.
3. SIGNS AT OR NEAR INTERSECTIONS SHALL BE PLACED SO THAT THEY DO NOT OBSTRUCT A MOTORIST'S LINE OF SIGHT.
4. ALL WARNING AND REGULATORY SIGNS SHALL BE POSTED ON BOTH SIDES OF MULTI-LANE DIVIDED HIGHWAYS, MULTI-LANE RAMPS, AND ONE-WAY STREETS. IN CASES WHERE LANE RESTRICTIONS REDUCE THE TRAVEL LANE TO ONE LANE, SIGNS SHALL BE POSTED ON THE RIGHT SIDE OF THE ACTIVE TRAVEL LANE, UNLESS OTHERWISE AUTHORIZED BY THE ENGINEER.
5. FOR BARBER VEHICLE E-5 REQUIREMENTS SEE TABLES NYR-14 AND NYR-15 ON THE STANDARD SHEET.
6. IN THOSE SITUATIONS WHERE MULTIPLE WORK LOCATIONS EXIST WITHIN A LIMITED DISTANCE, MAKE IT PRACTICAL TO USE A ROAD WORK AHEAD SIGN INSTEAD OF A WORK AHEAD SIGN. THE SIGN SHALL NOT EXCEED 5' MILES.
7. SIGNS MOUNTED ON THE MEDIUM OF DIVIDED HIGHWAYS WHERE MEDIAN BARBERS IS IN PLACE, ANY AREA NOT EXISTING MORE THAN ONE OF THE ABOVE.
8. EXPRESSED DIVIDED HIGHWAYS FOR TRAFFIC WITH FULL OR PARTIAL TRAFFIC SEPARATION BY GRADE SEPARATORS.
9. FREQUENT/INTERMITTENT, LOCAL OR DENSE REGIONAL HIGH-SPEED, DIVIDED HIGHWAYS FACILITATED BY FAIR OR PARTIAL CONTROL OF ACCESS.

NOTICE: SEE STANDARD SHEET TITLED "WORK ZONE TRAFFIC CONTROL LEGENDS AND NOTES" FOR LEGEND OF SYMBOLS AND LETTER CODES USED IN THIS DRAWING.

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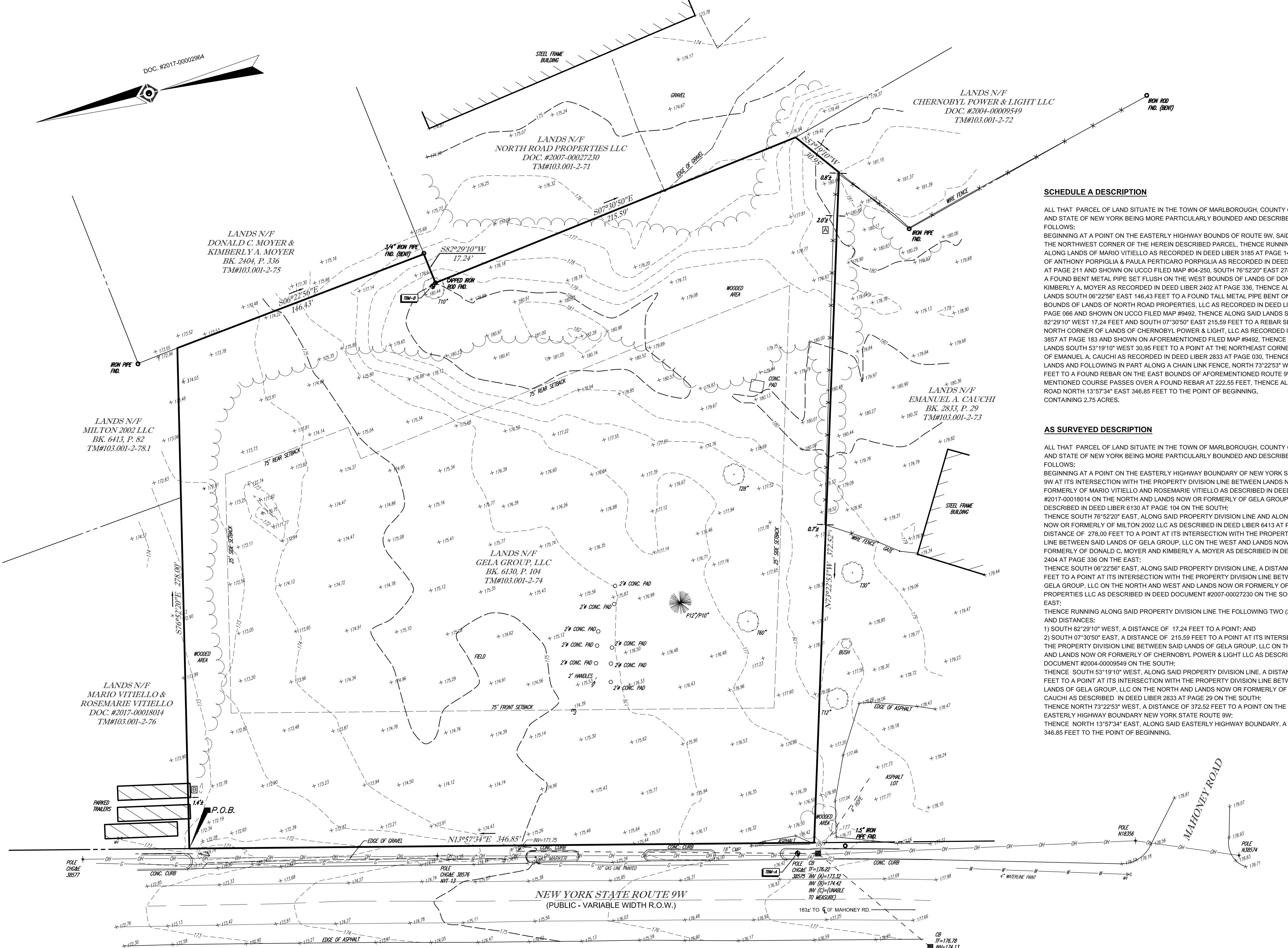
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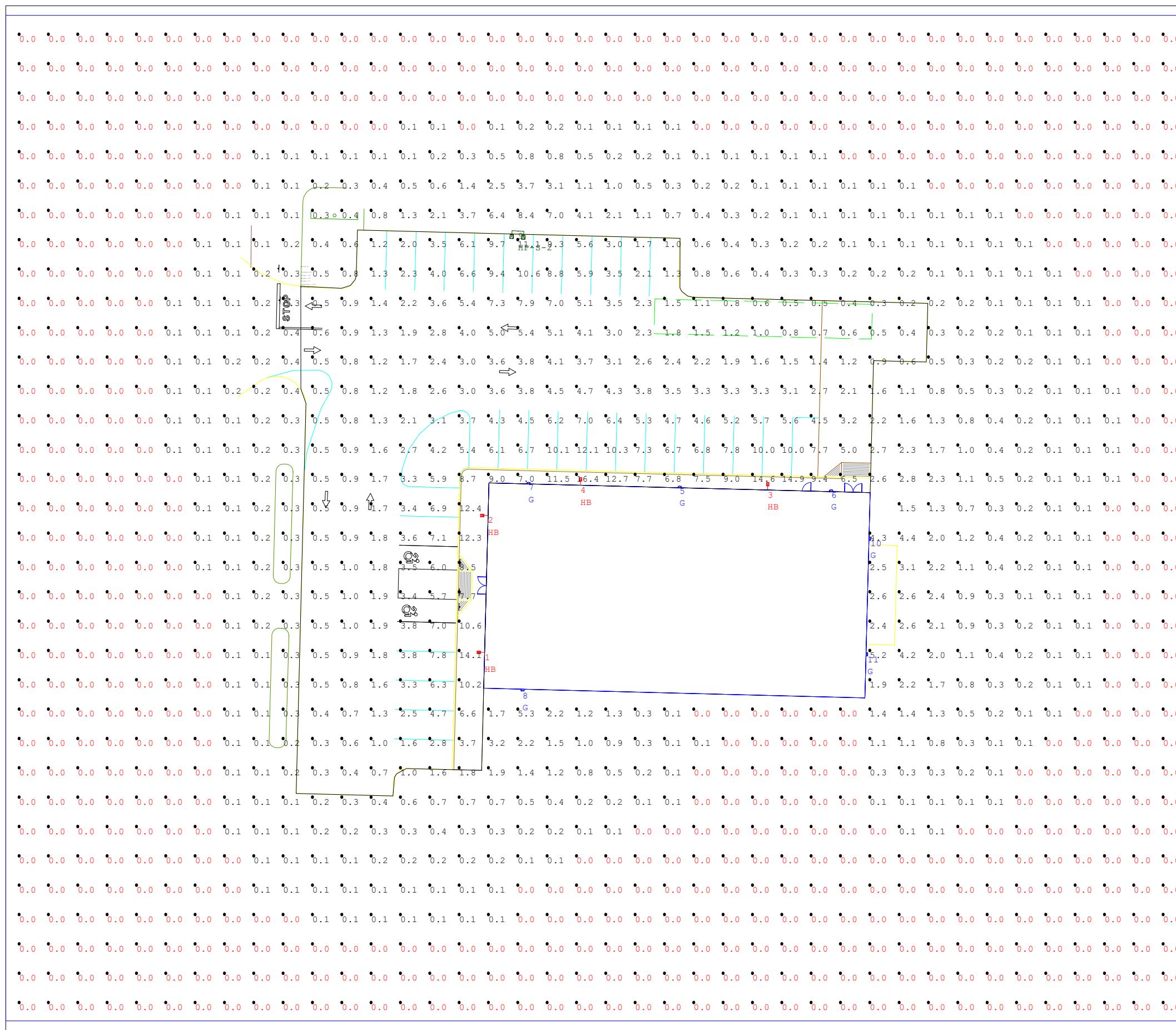
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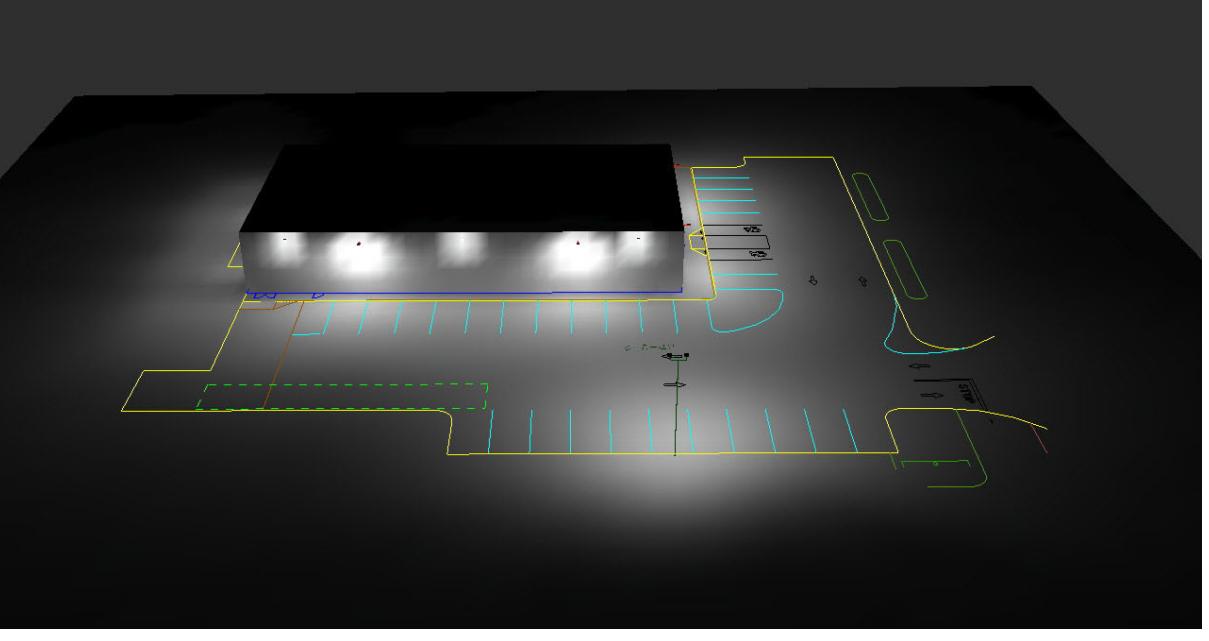
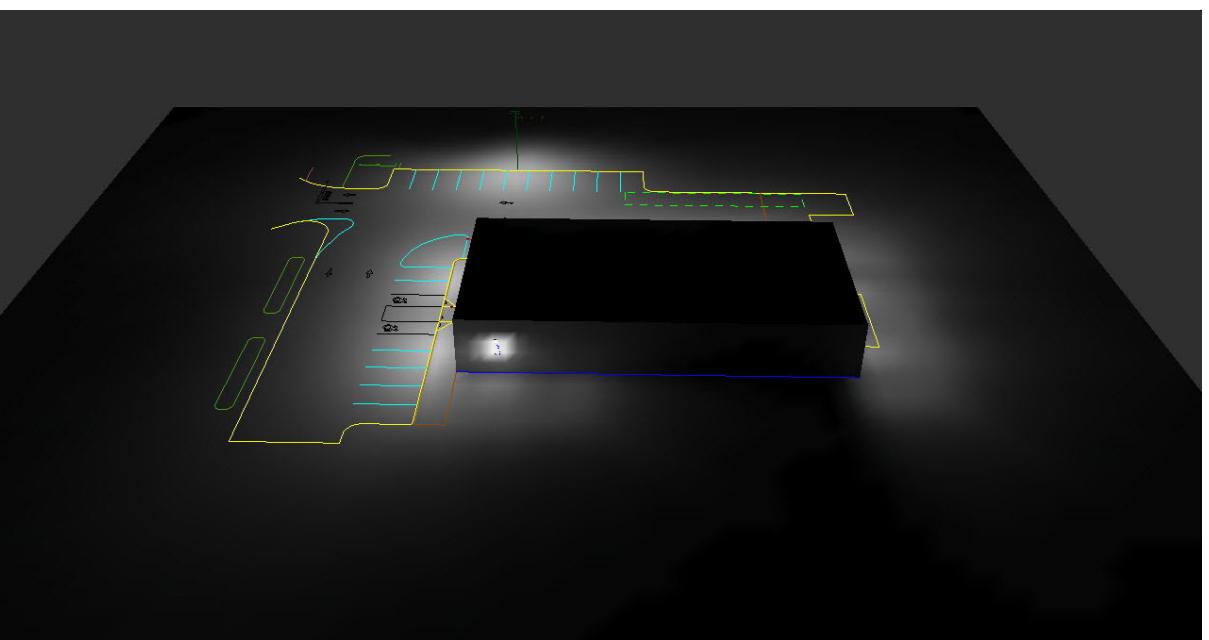
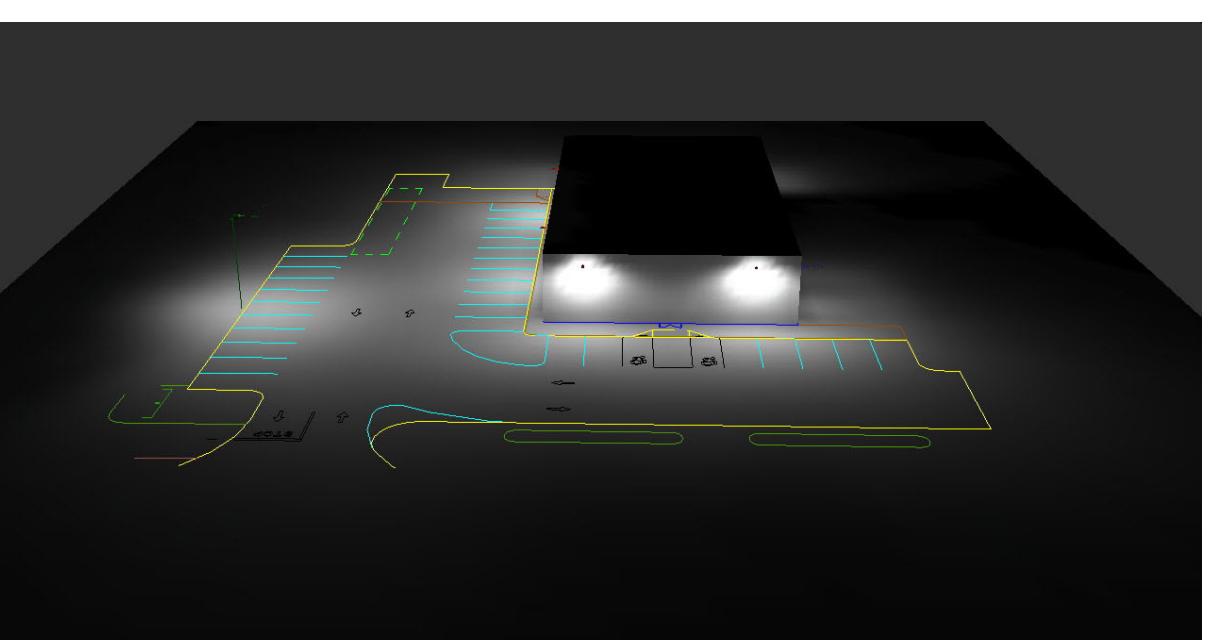
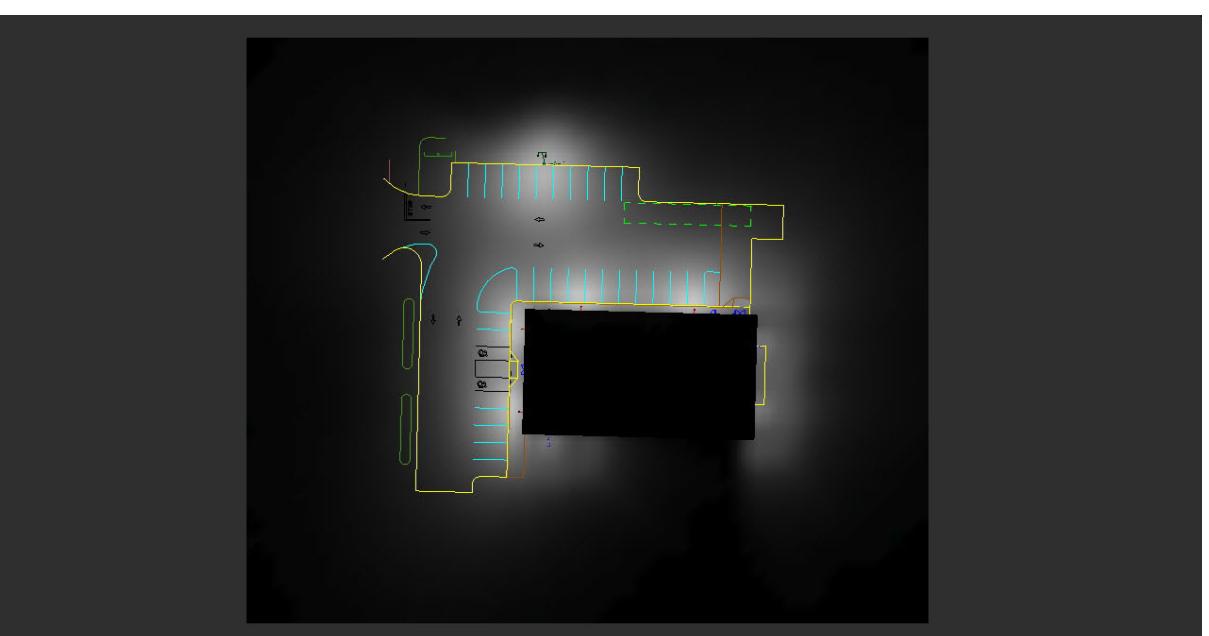




Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
□	6	G	SINGLE	4740	0.950	LEDBG42W001B-5000K - Wall Pack, 42W, Full Cutoff, 5K
■	4	HB	SINGLE	19726	0.950	LEDS-AL-150W-T4-5K - Wall Mt. 42in Upsweep Arm, Type 4, 5K
□	1	HP-S-2	TWIN	16462	0.950	LEDS-AL-150W-T4-5K-S - Double Pole Mount, 150w, Type 4, 5K, Shielded

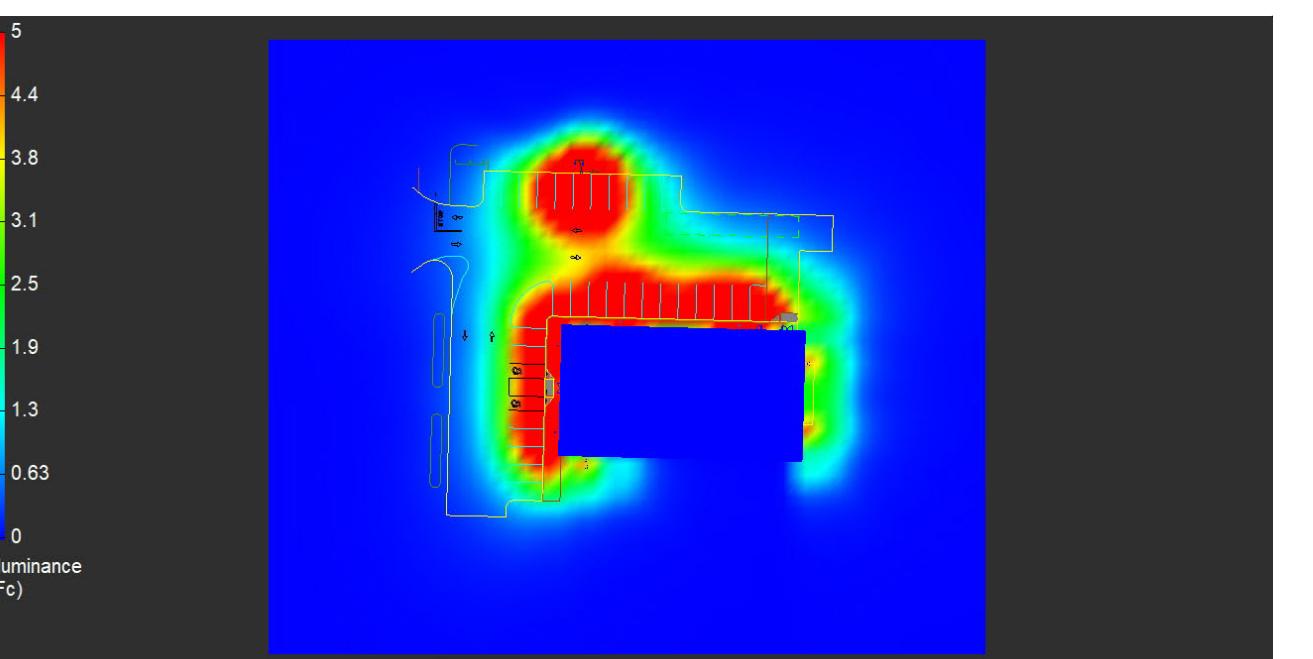
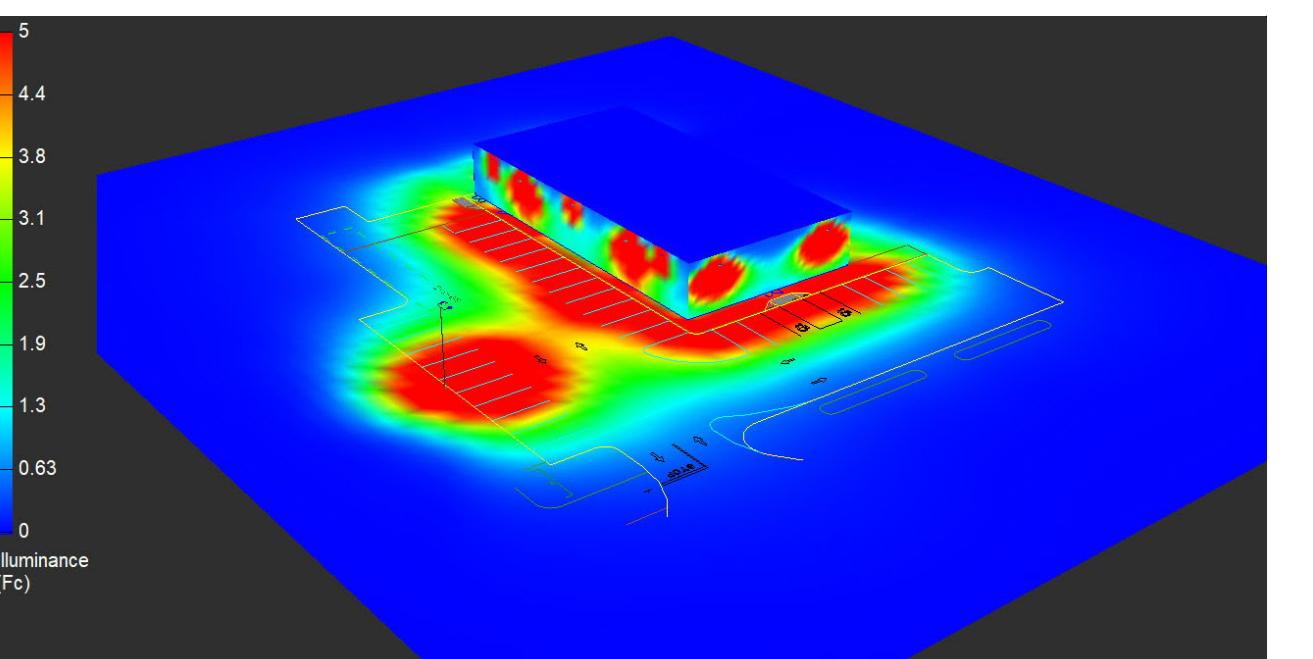
Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
Site	Illuminance	Fc	0.86	16.4	0.0	N.A.
Parking Lot	Illuminance	Fc	3.99	16.4	0.3	13.30
						54.67

Luminaire Location Summary		
LumNo	Label	Z
1	HB	17
2	HB	17
3	HB	17
4	HB	17
5	G	17
6	G	17
7	G	17
8	G	12
9	HP-S-2	27
10	G	12
11	G	12



#	Date	Comments
Revisions		
Drawn By: BMF, LC	Checked By:	Date: 10/15/2020
Scale:		

Dollar General -  
Milton 22620



#### Notes:

##### Plan Notes:

Calculations at Ground Level (10' x 10' Grid Spacing). Refer to luminaire location summary for mounting heights of each fixture. Pole mounted fixtures include a 2ft concrete base.

Mounting heights indicated on luminaire location summary is a total A.F.G. height.

##### General Notes:

Due to changing lighting ordinances it is the contractors responsibility to submit the site photometrics & luminaire specs to the local inspector before ordering to ensure this plan complies with local lighting ordinances. This lighting design is based on information supplied by others. Changes in electrical supply, area geometry & objects within the lighted area may produce illumination values different from the predicted results shown on this layout. This layout is based on .IES files that were lab tested or computer generated, actual results may vary.