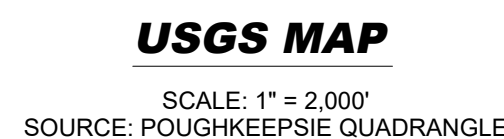
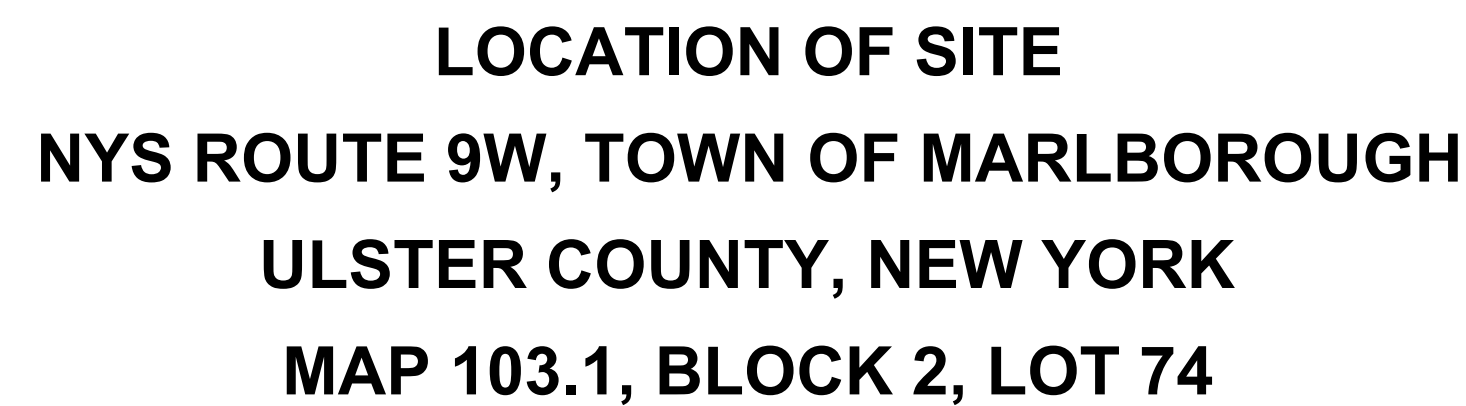


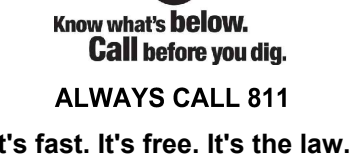
FOR
HSC MILTON, LLC



SCALE: 1" = 60'

BOHLER//

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-101
GENERAL NOTES SHEET	C-102
DEMOLITION PLAN	C-201
SITE LAYOUT PLAN	C-301
GRADING AND DRAINAGE PLAN	C-401
UTILITY PLAN	C-501
EROSION AND SEDIMENT CONTROL PLAN	C-601
EROSION AND SEDIMENT CONTROL NOTES AND DETAILS	C-602
LANDSCAPE PLAN	C-701
LANDSCAPE NOTES AND DETAILS	C-702
DETAIL SHEET	C-901
DETAIL SHEET	C-902
DETAIL SHEET	C-903
ALTA/ NSPS SURVEY (BY OTHERS)	1 OF 1
LIGHTING PLAN (BY OTHERS)	1 OF 1

[illegible]

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY
REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION
DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: B200130
DRAWN BY: ~ NCN ~
CHECKED BY: ~ CVM / CEB ~
DATE: 08/14/2020
CAD I.D.: B200130SS00

PROJECT:

OR —

**HSC
MILTON
LLC.**

PROPOSED DEVELOPMENT

MAP #103.1, BLOCK #2, LOT #74
NYS ROUTE 9W
TOWN OF MARLBOROUGH
ULSTER COUNTY
STATE OF NEW YORK

BOHLER//

**17 COMPUTER DRIVE WEST
ALBANY, NY 12205**
Phone: (518) 438-9900
Fax: (518) 438-0900
www.BohlerEngineering.com

W.D. GOEBEL

PROFESSIONAL ENGINEER:
MASSACHUSETTS LICENSE No. 42644-C
RHODE ISLAND LICENSE No. 7268
CONNECTICUT LICENSE No. 21854
NEW HAMPSHIRE LICENSE No. 10280
MAINE LICENSE No. 9490
NEW YORK LICENSE No. 071284-1
FLORIDA LICENSE No. 66202

SHEET TITLE:

COVER SHEET

SHEET NUMBER:

C-101

REVISION 1 - 12/10/2020

GENERAL NOTES

CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THE NOTES AND SPECIFICATIONS CONTAINED HEREIN. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL SUBCONTRACTORS FULLY AND COMPLETELY CONFORM TO AND COMPLY WITH THESE REQUIREMENTS.

1. THE FOLLOWING DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THIS SITE PLAN:

- SURVEY - 'ALTA' NPS LAND TITLE SURVEY ROUTE 9W MILTON' PREPARED BY CONTROL POINT ASSOCIATES INC. PC, DATED: JULY 29, 2020.

- GEOTECHNICAL REPORT - " REPORT OF GEOTECHNICAL INVESTIGATION PROPOSED RETAIL DEVELOPMENT NEW YORK STATE ROUTE 9W ", PREPARED BY WHITESTONE ASSOCIATES, INC. DATED OCTOBER 21, 2020.

PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR MUST VERIFY THAT HE/HS HAS THE LATEST EDITION OF THE DOCUMENTS REFERENCED ABOVE. THIS IS CONTRACTOR'S RESPONSIBILITY.

2. ALL ACCESSIBLE (AKA ADA) PARKING SPACES MUST BE CONSTRUCTED TO MEET AT A MINIMUM, THE MORE STRINGENT OF THE REQUIREMENTS OF THE "AMERICAN WITH DISABILITIES ACT" (ADA CODE 42 U.S.C. § 12101 et seq. AND 42 U.S.C. § 4154) AND THE REQUIREMENTS OF THE JURISDICTION WHERE THE PROJECT IS TO BE CONSTRUCTED, AND ANY AND ALL AMENDMENTS TO BOTH WHICH ARE IN EFFECT WHEN THESE PLANS ARE COMPLETED.

3. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED, NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED THE COMMENTS TO ALL PLANS AND OTHER DOCUMENTS REVIEWED AND APPROVED BY THE PERMITTING AUTHORITIES AND CONFIRMED THAT ALL NECESSARY OR REQUIRED PERMITS HAVE BEEN OBTAINED. CONTRACTOR MUST HAVE COPIES OF ALL PERMITS AND APPROVALS ON SITE AT ALL TIMES.

4. THE OWNER/CONTRACTOR MUST BE FAMILIAR WITH AND RESPONSIBLE FOR THE PROCUREMENT OF ANY AND ALL CERTIFICATIONS REQUIRED FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

5. ALL WORK MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND CONDITIONS OF APPROVAL, AND ALL APPLICABLE REQUIREMENTS, RULES, REGULATIONS, STATUTORY REQUIREMENTS, CODES, LAWS AND STANDARDS OF ALL GOVERNMENTAL ENTITIES WITH JURISDICTION OVER THIS PROJECT.

6. THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SET FORTH HEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND, IN CASE OF CONFLICT, DISCREPANCY OR AMBIGUITY, THE MORE STRINGENT REQUIREMENTS AND/OR RECOMMENDATIONS CONTAINED IN THE PLANS AND THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SHALL PREVAIL. CONTRACTOR SHALL ENSURE THAT THE INDIVIDUAL COMPANIES WHOSE SERVICES ARE REQUIRED TO COMPLY WITH THE REQUIREMENTS OF THE ENGINEER, IN WRITING, OF ANY SUCH CONFLICT, DISCREPANCY OR AMBIGUITY BETWEEN THE GEOTECHNICAL REPORTS AND PLANS AND SPECIFICATIONS PRIOR TO PROCEEDING WITH ANY FURTHER WORK.

7. THESE PLANS ARE BASED ON INFORMATION PROVIDED TO BOHLER ENGINEERING BY THE OWNER AND OTHERS PRIOR TO THE TIME OF PLAN PREPARATION. CONTRACTOR MUST FIELD VERIFY EXISTING CONDITIONS AND NOTIFY BOHLER ENGINEERING, IN WRITING, IMMEDIATELY IF ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN, OR IF THE PROPOSED WORK CONFLICTS WITH ANY OTHER SITE FEATURES.

8. ALL DIMENSIONS SHOWN ON THE PLANS MUST BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR MUST NOTIFY ENGINEER, IN WRITING, IF ANY CONFLICTS, DISCREPANCIES, OR AMBIGUITIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION, NO EXTRA COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR WORK WHICH HAS TO BE REDONE OR REPAIRED DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS PRIOR TO CONTRACTOR WRITING OR WRITTEN NOTIFICATION OF SAME AND ENGINEER, THEREAFTER, PROVIDING CONTRACTOR WITH WRITTEN AUTHORIZATION TO PROCEED WITH SUCH ADDITIONAL WORK.

9. CONTRACTOR MUST REFER TO THE ARCHITECTURAL BUILDING PLANS "OF RECORD" FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY/EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY LOCATIONS.

10. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR MUST COORDINATE THE BUILDING LAYOUT BY CAREFUL REVIEW OF THE ENTIRE SITE PLAN AND THE LATEST ARCHITECTURAL PLANS INCLUDING, BUT NOT LIMITED TO, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE SUPPRESSION PLAN, WHERE APPLICABLE. CONTRACTOR MUST IMMEDIATELY NOTIFY OWNER, ARCHITECT AND SITE ENGINEER, IN WRITING, OF ANY CONFLICTS, DISCREPANCIES OR AMBIGUITIES WHICH EXIST.

11. DEBRIS MUST NOT BE BURIED ON THE SUBJECT SITE AND ALL UNSUITABLE EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) MUST BE DISPOSED OF IN ACCORDANCE WITH THE REQUIREMENTS OF ANY AND ALL GOVERNMENTAL AUTHORITIES WHICH HAVE JURISDICTION OVER THIS PROJECT OR OVER CONTRACTOR.

12. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING WHEN SHORING IS REQUIRED AND FOR INSTALLING ALL SHORING REQUIRED DURING EXCAVATION (TO BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS) AND ANY ADDITIONAL PRECAUTIONS TO BE TAKEN TO ASSURE THE STABILITY OF ADJACENT, NEARBY AND CONTIGUOUS STRUCTURES AND PROPERTIES.

13. THE CONTRACTOR IS TO EXERCISE EXTREME CARE WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT, STRUCTURES, ETC. WHICH ARE TO REMAIN EITHER FOR THE PROJECT OR FOR THE PROJECT AS PART OF THE PROJECT. CONTRACTOR IS RESPONSIBLE FOR TAKING ALL APPROPRIATE MEASURES REQUIRED TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS AND PAVEMENT, UTILITIES, BUILDINGS, AND INFRASTRUCTURE WHICH ARE TO REMAIN, AND TO PROVIDE A SAFE WORK AREA FOR THIRD PARTIES, PEDESTRIANS AND ANYONE INVOLVED WITH THE PROJECT.

14. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY DURING THE COURSE OF CONSTRUCTION, INCLUDING DAMAGE TO CURBS, ETC. AND SHOWN ON THE PLANS. CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO CURBS, ETC. TO INCLUDE, BUT NOT BE LIMITED TO, REDESIGN, RE-SURVEY, RE-PERMITTING AND CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR AND MUST REPLACE ALL SIGNAL INTERCONNECTION CABLE, WIRING CONDUITS, AND ANY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION AND MUST BEAR ALL COSTS ASSOCIATED WITH SAME. THE REPAIR OF ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY MUST BE RESTORED TO THE SAME CONDITION AND PROPERTY TO A CONDITION EQUIVALENT TO OR BETTER THAN THE CONDITIONS PRIOR TO COMMENCEMENT OF THE CONSTRUCTION, AND IN CONFORMANCE WITH APPLICABLE CODES, LAWS RULES, REGULATIONS, STATUTORY REQUIREMENTS AND STATUTES. CONTRACTOR MUST BEAR ALL COSTS ASSOCIATED WITH SAME. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND TO NOTIFY THE OWNER AND THE CONSTRUCTION MANAGER PRIOR TO THE START OF CONSTRUCTION.

15. ALL CONCRETE MUST BE AIR ENTRAINED AND HAVE THE MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS AND/OR GEOTECHNICAL REPORT.

16. THE ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS, MEANS, TECHNIQUES OR PROCEDURES, GENERALLY OR FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES OR PROCEDURES FOR COMPLETION OF THE WORK DEPICTED BOTH ON THESE PLANS, AND FOR ANY CONFLICTS/SCOPE REVISIONS WHICH RESULT FROM SAME. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE METHODS/MEANS FOR COMPLETION OF THE WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

17. THE ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY. THE ENGINEER OF RECORD HAS NOT BEEN RETAINED TO PERFORM OR BE RESPONSIBLE FOR JOB SITE SAFETY, SAME BEING WHOLLY OUTSIDE OF ENGINEER'S SERVICES AS RELATED TO THE PROJECT. THE ENGINEER OF RECORD IS NOT RESPONSIBLE TO IDENTIFY OR REPORT ANY JOB SITE ISSUES.

18. ALL CONTRACTORS MUST CARRY THE SPECIFIED STATUTORY WORKER'S COMPENSATION INSURANCE, EMPLOYER'S LIABILITY INSURANCE AND LIMITS OF COVERAGES. GENERAL LIABILITY INSURANCE (COB) FOR ALL SUBCONTRACTORS MUST HAVE THEIR COB POLICIES ENDORSED TO NAME BOTH ENGINEERING, AND ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES, INJURIES, CLAIMS, ACTIONS, PENALTIES, EXPENSES, PUNITIVE DAMAGES, TORT DAMAGES, STATUTORY CLAIMS, STATUTORY CAUSES OF ACTION, LOSSES, CAUSES OF ACTION, LIABILITIES, BUT NOT LIMITED TO, REASONABLE ATTORNEY'S FEES, REASONABLE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH OR TO THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTORS, ALL CLAIMS BY THIRD PARTIES AND ALL CLAIMS RELATED TO THE PROJECT. CONTRACTOR MUST NOTIFY ENGINEER, IN WRITING, AT LEAST THIRTY (30) DAYS PRIOR TO ANY TERMINATION, SUSPENSION OR CHANGE OF ITS INSURANCE HEREUNDER.

19. BOHLER ENGINEERING WILL REVIEW OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER INFORMATION, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONSTRUCTION MEANS AND/OR METHODS AND/OR TECHNIQUES OR PROCEDURES, COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND BOHLER HAS NO RESPONSIBILITY OR LIABILITY FOR SAME. HEREINAFTER, BOHLER ENGINEERING'S SHOP DRAWING REVIEW WILL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM MUST NOT INDICATE THAT BOHLER ENGINEERING HAS REVIEWED THE ENTIRE ASSEMBLY OR THAT THE ENTIRE ASSEMBLY IS IN COMPLIANCE WITH THE DESIGN INTENT. CONTRACTOR IS RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT PROMPTLY AND IMMEDIATELY BROUGHT TO ITS ATTENTION, IN WRITING, BY THE CONTRACTOR. BOHLER ENGINEERING WILL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.

20. NEITHER THE PROFESSIONAL ACTIVITIES OF BOHLER ENGINEERING, NOR THE PRESENCE OF BOHLER ENGINEERING AND/OR ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AT A CONSTRUCTION PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, OVERSEEING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND COMPLIANCE WITH ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES WITH JURISDICTION OVER THE PROJECT AND/OR PROPERTY. BOHLER ENGINEERING AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SITE SAFETY. BOHLER ENGINEERING SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND MUST BE NAMED AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE AS DESCRIBED ABOVE IN NOTE 19 FOR JOB SITE SAFETY.

21. IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE ENGINEER FOR SUCH DEVIATIONS, THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK DONE WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM AND FURTHER, SHALL DEFEND, INDEMNIFY AND HOLD HARMLESS THE ENGINEER, TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, IN ACCORDANCE WITH PARAGRAPH 19 HEREIN, FOR AND FROM ALL FEES, ATTORNEYS' FEES, DAMAGES, COSTS, JUDGMENTS, PENALTIES AND THE LIKE RELATED TO SAME.

22. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND PROTECTION OF TRAFFIC PLAN FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL EITHER IN THE R.O.W. OR ON SITE. THE COST FOR THIS ITEM MUST BE INCLUDED IN THE CONTRACTOR'S PRICE.

23. ALL SIGNING AND PAVEMENT STRIPING MUST CONFORM TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES OR LOCALLY APPROVED SUPPLEMENT.

24. ENGINEER IS NOT RESPONSIBLE FOR ANY INJURY OR DAMAGES RESULTING FROM CONTRACTORS FAILURE TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH THE APPROVED PLANS. IF CONTRACTOR AND/OR OWNER FAIL TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH APPROVED PLANS, THEY AGREE TO JOINTLY AND SEVERALLY INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS.

25. OWNER MUST MAINTAIN AND PRESERVE ALL PHYSICAL SITE FEATURES AND DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS, IN STRICT ACCORDANCE WITH THE APPROVED PLANS) AND DESIGN AND, FURTHER ENGINEER IS NOT RESPONSIBLE FOR ANY FAILURE TO DO SO MAINTAIN OR PRESERVE SITE AND/OR DESIGN FEATURES. IF OWNER FAILS TO MAINTAIN AND/OR PRESERVE ALL PHYSICAL SITE FEATURES AND/OR DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS, OWNER AGREES TO INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS AS A RESULT OF SAID FAILURE.

26. ALL DIMENSIONS MUST BE TO FACE OF CURB, EDGE OF PAVEMENT, OR EDGE OF BUILDING, UNLESS NOTED OTHERWISE.

27. ALL CONSTRUCTION AND MATERIALS MUST COMPLY WITH AND CONFORM TO APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, LAWS, ORDINANCES, RULES AND CODES, AND ALL APPLICABLE OSHA REQUIREMENTS.

28. CONTRACTOR AND OWNER MUST INSTALL ALL ELEMENTS AND COMPONENTS IN STRICT COMPLIANCE WITH AND ACCORDANCE WITH MANUFACTURER'S STANDARDS AND RECOMMENDED INSTALLATION CRITERIA AND SPECIFICATIONS. IF CONTRACTOR AND/OR OWNER FAIL TO DO SO, THEY AGREE TO JOINTLY AND SEVERALLY INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS AS A RESULT OF SAID FAILURE.

29. CONTRACTOR IS RESPONSIBLE TO MAINTAIN ON-SITE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IN COMPLIANCE WITH EPA REQUIREMENTS FOR SITES WHERE ONE (1) ACRE OR MORE (UNLESS THE LOCAL JURISDICTION REQUIRES FEWER) IS DISTURBED BY CONSTRUCTION ACTIVITIES. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL ACTIVITIES, INCLUDING THOSE OF SUBCONTRACTORS, ARE IN COMPLIANCE WITH THE SWPPP, INCLUDING BUT NOT LIMITED TO LOGGING ACTIVITIES (MINIMUM ONCE PER WEEK AND AFTER RAINFALL EVENTS) AND CORRECTIVE MEASURES, AS APPROPRIATE.

30. AS CONTAINED IN THESE DRAWINGS AND ASSOCIATED APPLICABLE DOCUMENTS PREPARED BY THE SIGNATORY PROFESSIONAL ENGINEER, THE USE OF THE WORDS CERTIFY OR CERTIFICATION CONSTITUTES AN EXPRESSION OF "PROFESSIONAL OPINION" REGARDING THE INFORMATION WHICH IS THE SUBJECT OF THE UNDERSIGNED PROFESSIONAL'S KNOWLEDGE OR BELIEF AND IN ACCORDANCE WITH COMMON ACCEPTED PROCEDURE CONSISTENT WITH THE APPLICABLE STANDARDS OF PRACTICE, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED.

GENERAL GRADING & UTILITY PLAN NOTES

1. LOCATIONS OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE INDEPENDENTLY CONFIRMED WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICE CONNECTIONS MUST BE INDEPENDENTLY CONFIRMED BY THE CONTRACTOR IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES MUST IMMEDIATELY BE REPORTED, IN WRITING, TO THE ENGINEER. CONSTRUCTION MUST COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROCEED UP GRADIENT. PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.

2. CONTRACTOR MUST VERTICALLY AND HORIZONTALLY LOCATE ALL UTILITIES AND SERVICES INCLUDING, BUT NOT LIMITED TO, GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE OR WORK SPACE, WHICHEVER IS GREATER. THE CONTRACTOR MUST USE, REFER TO, AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION, AT NO COST TO THE OWNER. CONTRACTOR SHALL BEAR ALL COSTS ASSOCIATED WITH DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION.

3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL CONSTRUCTION CONTRACT DOCUMENTS INCLUDING, BUT NOT LIMITED TO, ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SPACE PRIOR TO THE INITIATION AND COMMENCEMENT OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT AND/OR DISCREPANCY BETWEEN THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR THE REQUIREMENTS OF APPLICABLE CODES, REGULATIONS, LAWS, RULES, STATUTES AND/OR ORDINANCES, IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD, IN WRITING, OF SAID CONFLICT AND/OR DISCREPANCY PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR'S FAILURE TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE CONTRACTOR'S FULL AND COMPLETE ACCEPTANCE OF ALL RESPONSIBILITIES TO REQUIREMENTS, STATUTES, ORDINANCES AND CODES. FURTHER, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH SAME.

4. THE CONTRACTOR MUST LOCATE AND CLEARLY AND UNAMBIGUOUSLY DEFINE VERTICALLY AND HORIZONTALLY ALL ACTIVE AND INACTIVE UTILITY AND/OR SERVICE SYSTEMS THAT ARE TO BE REMOVED. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN ALL ACTIVE AND INACTIVE SYSTEMS THAT ARE NOT BEING REMOVED/RELOCATED DURING SITE ACTIVITY.

5. THE CONTRACTOR MUST FAMILIARIZE ITSELF WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION AS IDENTIFIED OR REQUIRED FOR THE PROJECT. THE CONTRACTOR MUST PROVIDE THE OWNER WITH WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH THE JURISDICTION AND UTILITY COMPANY REQUIREMENTS AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.

6. THE CONTRACTOR MUST INSTALL ALL STORM SEWER AND SANITARY SEWER COMPONENTS WHICH FUNCTION BY GRAVITY PRIOR TO THE INSTALLATION OF ALL OTHER UTILITIES.

7. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF SITE PLAN DOCUMENTS AND ARCHITECTURAL DESIGN FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS, GREASE TRAP REQUIREMENTS/DETAILS, DOOR ACCESS, AND EXTERIOR GRADING. THE ARCHITECT WILL DETERMINE THE UTILITY SERVICE SIZES. THE CONTRACTOR MUST COORDINATE INSTALLATION OF UTILITIES/SERVICES WITH THE INDIVIDUAL COMPANIES WHOSE SERVICES ARE REQUIRED TO COMPLY WITH THE REQUIREMENTS OF THE ENGINEER, IN WRITING, OF ANY SUCH CONFLICT, DISCREPANCY OR AMBIGUITY BETWEEN THE GEOTECHNICAL REPORTS AND PLANS AND SPECIFICATIONS PRIOR TO PROCEEDING WITH ANY FURTHER WORK.

8. WATER SERVICE MATERIALS, BURIAL DEPTH, AND COVER REQUIREMENTS MUST BE SPECIFIED BY THE LOCAL UTILITY COMPANY. CONTRACTOR'S PRICE FOR WATER SERVICE MUST INCLUDE ALL FEES, COSTS AND APPURTENANCES REQUIRED BY THE UTILITY TO PROVIDE FULL AND COMPLETE WORKING SERVICE. CONTRACTOR MUST CONTACT THE APPLICABLE MUNICIPALITY TO CONFIRM THE PROPER WATER METER AND VALVE, PRIOR TO COMMENCING CONSTRUCTION.

9. ALL NEW UTILITIES/SERVICES, INCLUDING ELECTRIC, TELEPHONE, CABLE, TV, ETC. ARE TO BE INSTALLED UNDERGROUND. ALL NEW UTILITIES/SERVICES MUST BE INSTALLED IN ACCORDANCE WITH THE UTILITY SERVICE PROVIDER'S INSTALLATION SPECIFICATIONS AND STANDARDS.

10. SITE GRADING MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT REFERENCED IN THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND REPLACING UNSUITABLE MATERIALS WITH SUITABLE MATERIALS AS SPECIFIED IN THE GEOTECHNICAL REPORT. ALL EXCAVATED OR FILLED AREAS MUST BE COMPACTED AS OUTLINED IN THE GEOTECHNICAL REPORT. MOISTURE CONTENT AT TIME OF PLACEMENT MUST BE SUBMITTED IN APPLICABLE FORM TO THE ENGINEER, IN WRITING, FOR REVIEW AND APPROVAL. WHERE A CONFLICTS EXISTS BETWEEN THESE SITE PLANS AND THE ARCHITECTURAL PLANS, OR WHERE ARCHITECTURAL PLANS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES, SUBBASE MATERIAL FOR SIDEWALKS, CURBS, OR ASPHALT SHALL BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE BY OWNER/DEVELOPER, OR OWNER/DEVELOPER'S REPRESENTATIVE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED AS DIRECTED BY THE GEOTECHNICAL REPORT. EARTHWORK ACTIVITIES INCLUDING, BUT NOT LIMITED TO, EXCAVATION, BACKFILL, AND COMPACTING MUST COMPLY WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. EARTHWORK ACTIVITIES MUST COMPLY WITH THE STANDARD STATE DOT SPECIFICATIONS FOR ROADWAY CONSTRUCTION (LATEST EDITION) AND ANY AMENDMENTS OR REVISIONS THERETO.

11. ALL FILL, COMPACTATION, AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION MUST BE AS PER THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT AND MUST BE COORDINATED WITH THE APPLICABLE UTILITY COMPANY SPECIFICATIONS, WHEN THE PROJECT DOES NOT HAVE GEOTECHNICAL RECOMMENDATIONS, FILL AND COMPACTION MUST, AT A MINIMUM, COMPLY WITH THE STATE DOT REQUIREMENTS AND SPECIFICATIONS AND CONSULTANT SHALL HAVE NO LIABILITY OR RESPONSIBILITY FOR OR AS RELATED TO FILL, COMPACTATION AND BACKFILL. FURTHER, CONTRACTOR IS FULLY RESPONSIBLE FOR EARTHWORK BALANCE.

12. THE CONTRACTOR MUST COMPLY, TO THE FULLEST EXTENT, WITH THE LATEST OSHA STANDARDS AND REGULATIONS, AND/OR ANY OTHER AGENCY WITH JURISDICTION FOR EXCAVATION, AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE "MEANS AND METHODS" REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF OSHA AS WELL AS ANY OTHER AGENCY WITH JURISDICTION OVER THIS PROJECT. THE CONTRACTOR SHALL HAVE NO LIABILITY OR RESPONSIBILITY FOR OR AS RELATED FOR OR AS RELATED TO EXCAVATION AND TRENCHING PROCEDURES.

13. PAVEMENT MUST BE SAW CUT IN STRAIGHT LINES, AND EXCEPT FOR EDGE OF BUITS JOINTS, MUST EXTEND TO THE FULL DEPTH OF THE EXISTING PAVEMENT. ALL DEBRIS FROM REMOVAL OPERATIONS MUST BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION. STOCKPILING OF DEBRIS WILL NOT BE PERMITTED.

14. THE TOPS OF EXISTING MANHOLES, INLET STRUCTURES, AND SANITARY CLEANOUT TOPS MUST BE ADJUSTED, AS NECESSARY, TO MATCH PROPOSED GRADES IN ACCORDANCE WITH ALL APPLICABLE STANDARDS, REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.

15. DURING THE INSTALLATION OF SANITARY SEWER, STORM SEWER, AND ALL UTILITIES, THE CONTRACTOR MUST MAINTAIN A CONTEMPORANEOUS AND THOROUGH RECORD OF CONSTRUCTION TO IDENTIFY THE AS-INSTALLED LOCATIONS OF ALL UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR MUST CAREFULLY NOTE ANY INSTALLATIONS THAT DEVIATE FROM THE INFORMATION CONTAINED IN THE UTILITY PLAN. THIS RECORD MUST BE KEPT ON A CLEAN COPY OF THE DRAINAGE OR UTILITY PLAN, WHICH CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER AT THE COMPLETION OF WORK.

16. WHEN THE SITE IMPROVEMENT PLANS INVOLVE MULTIPLE BUILDINGS, SOME OF WHICH MAY BE BUILT AT A LATER DATE, THE CONTRACTOR MUST EXTEND ALL LINES, INCLUDING BUT NOT LIMITED TO STORM SEWER, SANITARY SEWER, UTILITIES, AND IRRIGATION LINE, TO A POINT AT LEAST FIVE (5) FEET BEYOND THE PAVED AREAS FOR WHICH THE CONTRACTOR IS RESPONSIBLE. CONTRACTOR MUST OBTAIN APPROVAL FROM THE DESIGN ENGINEER PRIOR TO THE EXTENSION OF ANY LINE BEYOND THE PAVED AREAS FOR WHICH THE CONTRACTOR IS RESPONSIBLE.

17. THE CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCING ANY CONSTRUCTION. CONTRACTOR MUST CONFIRM AND ENSURE 0.75% MINIMUM SLOPE AGAINST ALL ISLANDS, CURBS, AND CURBS, 1.0% ON ALL CONCRETE SURFACES, AND 1.5% MINIMUM ON ASPHALT (EXCEPT WHERE ADA REQUIREMENTS OR EXISTING TOPOGRAPHY LIMIT GRADES), TO PREVENT PONDING. CONTRACTOR MUST IMMEDIATELY IDENTIFY, IN WRITING, TO THE ENGINEER, ANY DISCREPANCIES THAT MAY OR COULD AFFECT THE PUBLIC SAFETY, HEALTH OR GENERAL WELFARE, OR PROJECT COST. IF CONTRACTOR PROCEEDS WITH CONSTRUCTION WITHOUT PROVIDING PROPER NOTIFICATION, MUST BE AT THE CONTRACTOR'S OWN RISK AND, FURTHER, CONTRACTOR SHALL INDEMNIFY, DEFEND AND HOLD HARMLESS THE DESIGN ENGINEER FOR ANY DAMAGES, COSTS, INJURIES, ATTORNEYS' FEES AND THE LIKE WHICH RESULT FROM SAME.

18. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 1' ABOVE EXISTING LOCAL ASPHALT GRADES UNLESS OTHERWISE NOTED. FIELD ADJUST TO CREATE A MINIMUM OF 0.75% GUTTER GRADE ALONG CURB FACE. IT IS CONTRACTOR'S OBLIGATION TO ENSURE THAT DESIGN ENGINEER APPROVES FINAL CURBING CUT SHEETS PRIOR TO INSTALLATION OF SAME.

19. IN THE EVENT OF DISCREPANCIES AND/OR CONFLICTS BETWEEN PLANS OR RELATIVE TO OTHER PLANS, THE SITE PLAN WILL TAKE PRECEDENCE AND CONTROL. CONTRACTOR MUST IMMEDIATELY NOTIFY THE DESIGN ENGINEER, IN WRITING, OF ANY DISCREPANCIES AND/OR CONFLICTS.

20. CONTRACTOR IS REQUIRED TO SECURE ALL NECESSARY AND/OR REQUIRED PERMITS AND APPROVALS FOR ALL OFF-SITE MATERIAL SOURCES AND DISPOSAL FACILITIES. CONTRACTOR MUST SUPPLY A COPY OF APPROVALS TO ENGINEER AND OWNER PRIOR TO INITIATING ANY WORK.

21. WHERE RETAINING WALLS (WHETHER OR NOT THEY MEET THE JURISDICTIONAL DEFINITION) ARE IDENTIFIED ON PLANS, ELEVATIONS IDENTIFIED ARE FOR THE EXPOSED PORTION OF THE WALL. WALL FOOTINGS/FOUNDATION ELEVATIONS ARE NOT IDENTIFIED HEREIN AND ARE TO BE SET DETERMINED BY THE CONTRACTOR BASED ON FINAL STRUCTURAL DESIGN SHOP DRAWINGS PREPARED BY THE APPROPRIATE PROFESSIONAL LICENSED IN THE STATE WHERE THE CONSTRUCTION OCCURS.

22. STORM DRAINAGE PIPE UNLESS INDICATED OTHERWISE, ALL STORM SEWER PIPE MUST BE REINFORCED CONCRETE PIPE (RCP) CLASS III WITH SILT TIGHT JOINTS. WHEN HIGH-DENSITY POLYETHYLENE PIPE (HDPE) IS CALLED FOR ON THE PLANS, IT MUST CONFORM TO AASHITO M88 AND TYPE S (SMOOTH INTERIOR WITH ANGULAR CORUGATIONS) WITH GASKET FOR SILT TIGHT JOINT. PVC PIPE FOR FLOOR DRAIN CONNECTION MUST BE SDR 26 OR SCHEDULE 40 UNLESS INDICATED OTHERWISE.

23. UNLESS INDICATED OTHERWISE ON THE DRAWINGS, SANITARY SEWER PIPE SHALL BE AS FOLLOWS:

- FOR PIPES LESS THAN 12 FT. DEEP: POLYVINYL CHLORIDE (PVC) SDR 35 PER ASTM D3034
- FOR PIPES MORE THAN 12 FT. DEEP: POLYVINYL CHLORIDE (PVC) SDR 26 PER ASTM D3034
- FOR PIPE WITH 10 FT. OF BUILDING PREPARED MATERIAL SHALL COMPLY WITH APPLICABLE BUILDING AND PLUMBING CODES. CONTRACTOR TO VERIFY WITH LOCAL OFFICIALS.

24. STORM AND SANITARY SEWER PIPE LENGTHS INDICATED ARE NOMINAL AND MEASURED CENTER OF INLET AND/OR MANHOLES STRUCTURE TO CENTER OF STRUCTURE.

25. STORMWATER ROOF DRAIN LOCATIONS ARE BASED ON PRELIMINARY ARCHITECTURAL PLANS. CONTRACTOR IS RESPONSIBLE TO AND FOR VERIFYING LOCATIONS OF SAME BASED ON FINAL ARCHITECTURAL PLANS.

26. SEWERS CROSSING STREAMS AND/OR LOCATION WITHIN 10 FEET OF THE STREAM EMBANKMENT, OR WHERE SITE CONDITIONS SO INDICATE, MUST BE CONSTRUCTED OF STEEL. REINFORCED CONCRETE, DUCTILE IRON OR OTHER SUITABLE MATERIAL. SEWERS CONVEYING SANITARY FLOW COMBINED SANITARY AND STORMWATER FLOW OR INDUSTRIAL FLOW MUST BE SEPARATED FROM WATER MAINS BY A DISTANCE OF AT LEAST 10 FEET HORIZONTALLY. IF SUCH LATERAL SEPARATION IS NOT POSSIBLE, THE PIPES MUST BE IN SEPARATE TRENCHES WITH THE SEWER AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN, OR SUCH OTHER SEPARATION AS APPROVED BY THE GOVERNMENT AGENCY WITH JURISDICTION OVER SAME.

27. • WHERE APPROPRIATE SEPARATION FROM A WATER MAIN IS NOT POSSIBLE, THE SEWER MUST BE ENCASED IN CONCRETE, OR CONSTRUCTED OF DUCTILE IRON PIPE USING MECHANICAL OR SLIP-ON JOINTS FOR A DISTANCE OF AT LEAST 10 FEET ON EITHER SIDE OF THE CROSSING. IN ADDITION, ONE FULL LENGTH OF SEWER PIPE SHOULD BE LOCATED SO BOTH JOINTS WILL BE AS FAR FROM THE WATER LINE AS POSSIBLE. WHERE A WATER MAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT FOR THE SEWER MUST BE PROVIDED.

28. WATER MAIN PIPING MUST BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE LOCAL WATER PURVEYOR. IN THE ABSENCE OF SUCH REQUIREMENTS, WATER MAIN PIPING MUST BE CEMENT-UNED DUCTILE IRON (DIP) MINIMUM CLASS 52 THICKNESS, ALL PIPE AND APPURTENANCES MUST COMPLY WITH THE APPLICABLE AWWA STANDARDS IN EFFECT AT THE TIME OF APPLICATION.

29. CONTRACTOR MUST ENSURE THAT ALL UTILITY TRENCHES LOCATED IN EXISTING PAVED ROADWAYS INCLUDING SEWER, WATER AND STORM SYSTEMS, MUST BE REPAIRED IN ACCORDANCE WITH REFERENCED MUNICIPAL, COUNTY AND/OR DOT DETAILS AS APPLICABLE. CONTRACTOR MUST COORDINATE INSPECTION AND APPROVAL OF COMPLETED WORK WITH THE AGENCY WITH JURISDICTION OVER SAME.

30. LOCATION OF PROPOSED UTILITY POLE RELLOCATION IS AT THE SOLE DISCRETION OF UTILITY COMPANY.

31. CONSULTANT IS NEITHER LIABLE NOR RESPONSIBLE FOR ANY SUBSURFACE CONDITIONS AND THEREFORE, SHALL HAVE NO LIABILITY FOR ANY HAZARDOUS MATERIALS, HAZARDOUS SUBSTANCES, OR POLLUTANTS ON, ABOUT OR UNDER THE PROPERTY.

GENERAL DEMOLITION NOTES

1. THIS PLAN REFERENCES DOCUMENTS AND INFORMATION BY:

- SURVEY - 'ALTA' NPS LAND TITLE SURVEY ROUTE 9W MILTON' PREPARED BY CONTROL POINT ASSOCIATES INC. PC, DATED: JULY 29, 2020.

2. CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, (29 U.S.C. 651 et seq.), AS AMENDED AND ANY MODIFICATIONS, AMENDMENTS OR REVISIONS TO SAME.

3. BOHLER ENGINEERING HAS NO CONTRACTUAL, LEGAL, OR OTHER RESPONSIBILITY FOR JOB SITE SAFETY OR JOB SITE SUPERVISION, OR ANYTHING RELATED TO SAME.

4. THE DEMOLITION PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION, ONLY, REGARDING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR MUST ALSO REVIEW THE OTHER SITE PLAN DRAWINGS AND INCLUDE IN DEMOLITION ACTIVITIES ALL INCIDENTAL WORK NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE IMPROVEMENTS.

5. CONTRACTOR MUST RAISE ANY QUESTIONS CONCERNING THE ACCURACY OR INTENT OF THESE PLANS OR SPECIFICATIONS, CONCERNS REGARDING THE APPLICABLE SAFETY STANDARDS, OR THE SAFETY OF THE CONTRACTOR OR THIRD PARTIES IN PERFORMING THE WORK ON THIS PROJECT, WITH BOHLER ENGINEERING, IN WRITING, AND RESPONDED TO BY BOHLER, IN WRITING, PRIOR TO THE INITIATION OF ANY SITE ACTIVITY AND ANY DEMOLITION ACTIVITY. ALL DEMOLITION ACTIVITIES MUST BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, RULES, REGULATIONS, STATUTES, ORDINANCES AND CODES.

6. PRIOR TO STARTING ANY DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR:

- A OBTAINING ALL REQUIRED PERMITS AND MAINTAINING THE SAME ON SITE FOR REVIEW BY THE ENGINEER AND OTHER PUBLIC AGENCIES WITH JURISDICTION THROUGHOUT THE DURATION OF THE PROJECT, SITE WORK, AND DEMOLITION WORK.

- B NOTIFYING, AT A MINIMUM, THE MUNICIPAL ENGINEER, DESIGN ENGINEER, AND LOCAL SOIL CONSERVATION DISTRICT, 72 HOURS PRIOR TO THE START OF WORK.

- C INSTALLING THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE.

- D IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR MUST CALL THE STATE ONE-CALL DAMAGE PROTECTION SYSTEM FOR UTILITY MARKOUT, IN ADVANCE OF ANY EXCAVATION.

- E LOCATING AND PROTECTING ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN AND ADJACENT TO THE LIMITS OF PROJECT ACTIVITIES. THE CONTRACTOR MUST USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES.

- F PROTECTING AND MAINTAINING IN OPERATION, ALL ACTIVE UTILITIES AND SYSTEMS THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES.

- G ARRANGING FOR AND COORDINATING WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) FOR THE TEMPORARY OR PERMANENT TERMINATION OF SERVICE REQUIRED BY THE PROJECT PLANS AND SPECIFICATIONS. THE CONTRACTOR MUST PROVIDE THE UTILITY ENGINEER AND OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTIONAL AND UTILITY COMPANY REQUIREMENTS.

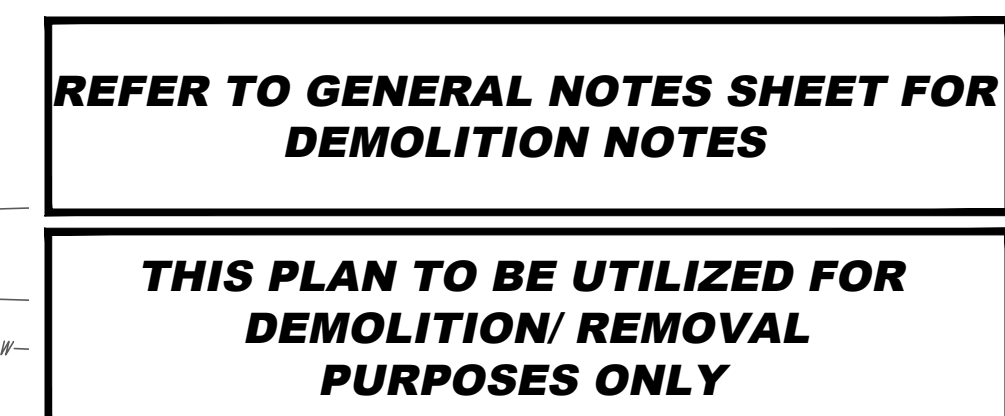
- H COORDINATION WITH UTILITY COMPANIES REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES. WORK REQUIRED TO BE DONE "OFF-PEAK" IS TO BE DONE AT NO ADDITIONAL COST TO THE OWNER.

- I IN THE EVENT THE CONTRACTOR DISCOVERS ANY HAZARDOUS MATERIAL, THE REMOVAL OF WHICH IS NOT ADDRESSED IN THE PROJECT PLANS AND SPECIFICATIONS, THE CONTRACTOR MUST IMMEDIATELY CEASE ALL WORK AND IMMEDIATELY NOTIFY THE OWNER AND ENGINEER OF THE DISCOVERY OF SUCH MATERIALS.

7. THE FIRM OR ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. CONTRACTOR MUST PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL THE OSHA REQUIREMENTS, TO ENSURE PUBLIC AND CONTRACTOR SAFETY.

8. THE CONTRACTOR MUST PROVIDE ALL "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS THAT ARE TO REMAIN. CONTRACTOR MUST USE NEW MATERIAL FOR ALL REPAIRS. CONTRACTOR'S REPAIR MUST INCLUDE THE RESTORATION OF ANY ITEMS REPAIRED TO THE PRE-DEMOLITION CONDITION, OR BETTER. CONTRACTOR SHALL PERFORM ALL REPAIRS AT THE CONTRACTOR'S SOLE EXPENSE.

9. THE CONTRACTOR MUST NOT PERFORM ANY EARTH MOVEMENT ACTIVITIES, DEMOLITION OR REMOVAL OF FOUNDATION WALLS, FOOTINGS, OR OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE UNLESS SAME IS IN STRICT ACCORDANCE AND CONFORMANCE WITH THE PROJECT PLANS AND SPECIFICATIONS, AND/OR UNDER THE WRITTEN DIRECTION OF THE OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER.



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DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT:

BOHLER //

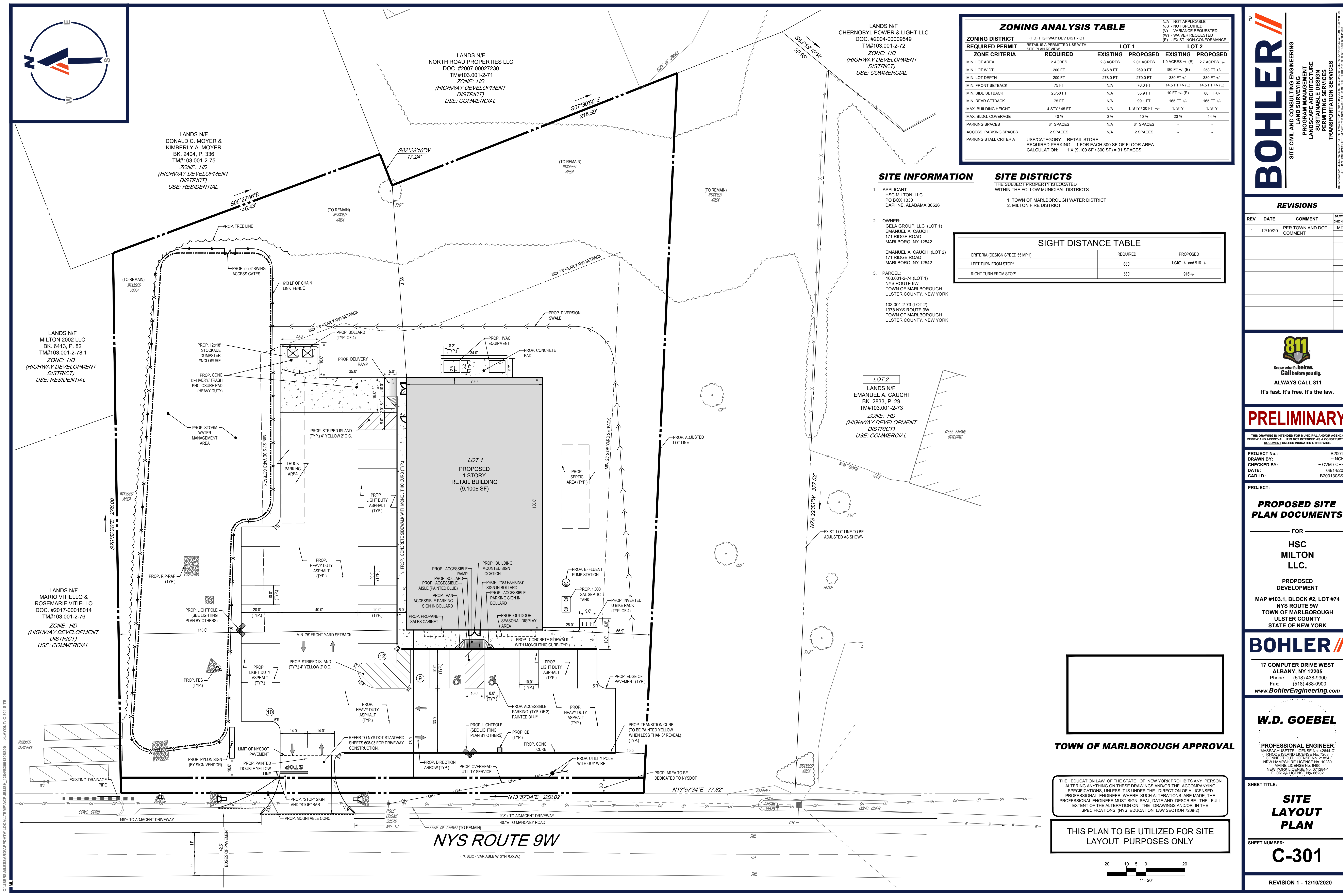
W.D. GOEBEL

PROFESSIONAL ENGINEER

MASSACHUSETTS LICENSE No. 42644-C
 RHODE ISLAND LICENSE No. 7268
 CONNECTICUT LICENSE No. 21654
 NEW HAMPSHIRE LICENSE No. 10280
 MAINE LICENSE No. 9490
 NEW YORK LICENSE No. 071284-1
 FLORIDA LICENSE No. 66202

W.D. GOEBEL

SHEET TITLE:	
<i>DEMOLITION PLAN</i>	
SHEET NUMBER:	
C-201	
REVISION 1 - 12/10/2020	



ZONING ANALYSIS TABLE					
ZONING DISTRICT	(HD) HIGHWAY DEV DISTRICT	LOT 1		LOT 2	
REQUIRED PERMIT	RETAIL IS A PERMITTED USE WITH SITE PLAN REVIEW	REQUIRED	PROPOSED	EXISTING	PROPOSED
ZONE CRITERIA					
MIN. LOT AREA	2 ACRES	2.8 ACRES	2.01 ACRES	1.9 ACRES +/- (E)	2.7 ACRES +/-
MIN. LOT WIDTH	200 FT	346.6 FT	269.0 FT	180 FT +/- (E)	258 FT +/-
MIN. LOT DEPTH	200 FT	278.0 FT	270.0 FT	380 FT +/- (E)	380 FT +/-
MIN. FRONT SETBACK	75 FT	N/A	76.0 FT	14.5 FT +/- (E)	14.5 FT +/- (E)
MIN. SIDE SETBACK	25/50 FT	N/A	55.9 FT	10 FT +/- (E)	88 FT +/-
MIN. REAR SETBACK	75 FT	N/A	99.1 FT	165 FT +/-	165 FT +/-
MAX. BUILDING HEIGHT	4 STY / 45 FT	N/A	1 STY / 20 FT +/-	1 STY	1 STY
MAX. BLDG. COVERAGE	40 %	0 %	10 %	20 %	14 %
PARKING SPACES	31 SPACES	N/A	31 SPACES	-	-
ACCESS. PARKING SPACES	2 SPACES	N/A	2 SPACES	-	-
PARKING STALL CRITERIA	USE/CATEGORY: RETAIL STORE REQUIRED PARKING: 1 FOR EACH 300 SF OF FLOOR AREA CALCULATION: 1 X (9,100 SF / 300 SF) = 31 SPACES				

SITE INFORMATION

- APPLICANT:
HSC MILTON, LLC
PO BOX 1330
DAPHNE, ALABAMA 36526
- OWNER:
GELA GROUP, LLC (LOT 1)
EMANUEL A. CAUCHI
171 RIDGE ROAD
MARLBORO, NY 12542

EMANUEL A. CAUCHI (LOT 2)
171 RIDGE ROAD
MARLBORO, NY 12542
- PARCEL:
103.001-2-74 (LOT 1)
NYS ROUTE 9W
TOWN OF MARLBOROUGH
ULSTER COUNTY, NEW YORK

103.001-2-73 (LOT 2)
1978 NYS ROUTE 9W
TOWN OF MARLBOROUGH
ULSTER COUNTY, NEW YORK

SITE DISTRICTS

THE SUBJECT PROPERTY IS LOCATED WITHIN THE FOLLOWING MUNICIPAL DISTRICTS:
1. TOWN OF MARLBOROUGH WATER DISTRICT
2. MILTON FIRE DISTRICT

SIGHT DISTANCE TABLE		
CRITERIA (DESIGN SPEED 55 MPH)	REQUIRED	PROPOSED
LEFT TURN FROM STOP*	650'	1,040' +/- and 916' +/-
RIGHT TURN FROM STOP*	530'	916' +/-

BOHLER

SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS				
REV	DATE	COMMENT	PER TOWN AND DOT COMMENT	MDL
1	12/10/20			

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PRELIMINARY

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PROJECT No.: B200130
DRAWN BY: ~ NCN ~
CHECKED BY: ~ CVM / CEB ~
DATE: 08/14/2020
CAD I.D.: B200130S00

PROJECT:

PROPOSED SITE PLAN DOCUMENTS

FOR

HSC MILTON LLC.

PROPOSED DEVELOPMENT

MAP #103.1, BLOCK #2, LOT #74
NYS ROUTE 9W
TOWN OF MARLBOROUGH
ULSTER COUNTY
STATE OF NEW YORK

BOHLER

17 COMPUTER DRIVE WEST
ALBANY, NY 12205
Phone: (518) 438-9900
Fax: (518) 438-0900
www.BohlerEngineering.com

W.D. GOEBEL

PROFESSIONAL ENGINEER
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CONNECTICUT LICENSE NO. 21834
NEW HAMPSHIRE LICENSE NO. 10260
NEW YORK LICENSE NO. 9490
FLORIDA LICENSE NO. 66202

SHEET TITLE:

SITE LAYOUT PLAN

SHEET NUMBER:

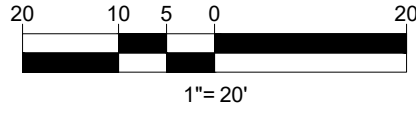
C-301

REVISION 1 - 12/10/2020

TOWN OF MARLBOROUGH APPROVAL

THE EDUCATION LAW OF THE STATE OF NEW YORK PROHIBITS ANY PERSON ALTERING ANYTHING ON THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATIONS, UNLESS IT IS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, WHERE SUCH ALTERATIONS ARE MADE, THE PROFESSIONAL ENGINEER MUST SIGN, SEAL, DATE AND DESCRIBE THE FULL EXTENT OF THE ALTERATION ON THE DRAWINGS AND/OR IN THE SPECIFICATIONS. (NYS EDUCATION LAW SECTION 7209-2)

THIS PLAN TO BE UTILIZED FOR SITE LAYOUT PURPOSES ONLY





THE INFORMATION, DESIGN AND CONTENT OF THIS PLAN ARE PROPRIETARY AND SHALL NOT BE COPIED OR USED FOR ANY PURPOSE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM BOWLER. ONLY APPROVED, SIGNED AND SEALED PLANS SHALL BE UTILIZED FOR CONSTRUCTION. PLUMBING

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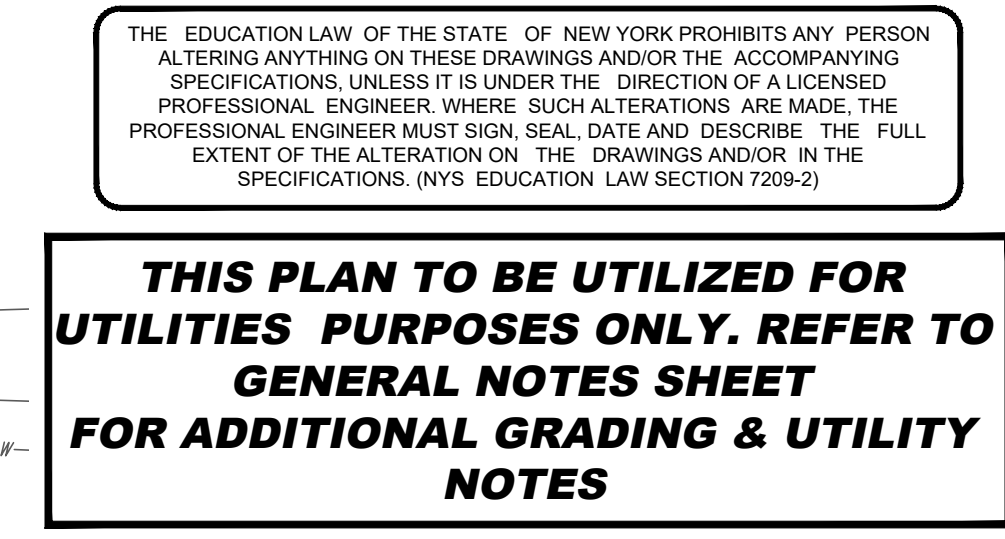
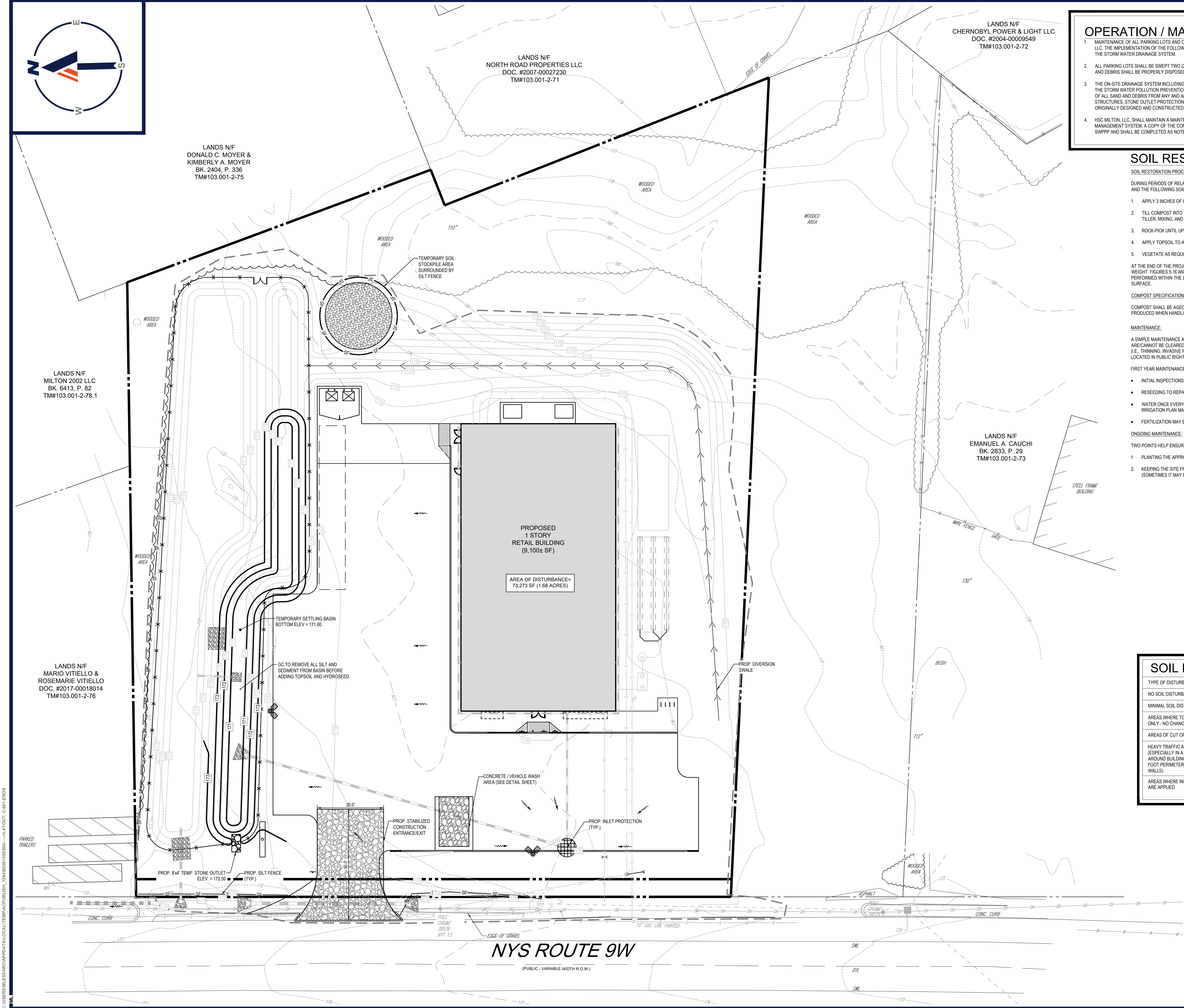


Figure 1 shows a horizontal bar with a scale. The scale is marked with 20, 10, 5, 0, 5, 10, 20. The bar is divided into alternating black and white segments. Below the bar, the text "1" = 20'" is written.

REVISION 1 - 12/10/2020

REVISION 1 - 12/10/2020



OPERATION / MAINTENANCE NOTES

1. MAINTENANCE OF ALL PARKING LOTS AND ON-SITE DRAINAGE SYSTEMS ON THE PROPERTIES SHALL BE THE RESPONSIBILITY OF HSC MILTON, LLC. THE IMPLEMENTATION OF THE FOLLOWING MAINTENANCE PROGRAM IS INTENDED TO ADEQUATELY MANAGE SEDIMENT INFILTRATION TO THE STORM WATER DRAINAGE SYSTEM.
2. ALL PARKING LOTS SHALL BE SWEEPED TWO (2) TIMES PER YEAR, BETWEEN THE DATES OF OCTOBER 1 AND JUNE 1 OF EACH YEAR AND ALL SAND AND DEBRIS SHALL BE PROPERLY DISPOSED.
3. THE ON-SITE DRAINAGE SYSTEM INCLUDING INFILTRATION AND PRETREATMENT BASINS SHALL BE INSPECTED PER GUIDELINES SET FORTH IN THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP). CLEANING OF STRUCTURES SHALL INCLUDE THE REMOVAL AND PROPER DISPOSAL OF ALL SAND AND DEBRIS FROM ANY AND ALL COMPONENTS OF THE SYSTEM AND REPAIR AND OR REPLACEMENT OF ANY DAMAGED STRUCTURES, STONE OUTLET PROTECTION, SLOPES OR ANY COMPONENT OF THE SYSTEM THAT IS IN NEED OF REPAIR TO RESTORE TO ITS ORIGINALLY DESIGNED AND CONSTRUCTED CONDITION.
4. HSC MILTON, LLC. SHALL MAINTAIN A MAINTENANCE LOG DOCUMENTING THE INSPECTION AND MAINTENANCE OF THE STORMWATER MANAGEMENT SYSTEM. A COPY OF THE CONSTRUCTION INSPECTION, OPERATIONS AND MAINTENANCE CHECK LISTS ARE INCLUDED IN THE SWPPP AND SHALL BE COMPLETED AS NOTED AND KEPT IN THE LOG FOR REVIEW AND REFERENCE.

SOIL RESTORATION NOTES:

SOIL RESTORATION PROCEDURE:

DURING PERIODS OF RELATIVELY LOW TO MODERATE SUBSOIL MOISTURE, THE DISTURBED SUBSOILS ARE RETURNED TO ROUGH GRADE AND THE FOLLOWING SOIL RESTORATION STEPS APPLIED:

1. APPLY 3 INCHES OF COMPOST OVER SUBSOIL.
2. TILL COMPOST INTO SUBSOIL TO A DEPTH OF AT LEAST 12 INCHES USING A CAT-MOUNTED RIPPER, TRACTOR-MOUNTED DISC, OR TILLER. MIXING, AND CIRCULATING AIR AND COMPOST INTO SUBSOILS
3. ROCK-PICK UNTIL UPLIFTED STONEROCK MATERIALS OF FOUR INCHES AND LARGER SIZE ARE CLEANED OFF THE SITE
4. APPLY TOPSOIL TO A DEPTH OF 6 INCHES
5. VEGETATE AS REQUIRED BY APPROVED PLAN.

AT THE END OF THE PROJECT AN INSPECTOR SHOULD BE ABLE TO PUSH A 3/8" METAL BAR 12 INCHES INTO THE SOIL JUST WITH BODY WEIGHT. FIGURES 5.16 AND 5.17 SHOW TWO ATTACHMENTS USED FOR SOIL DECOMPACTION. TILLING (STEP 2 ABOVE) SHOULD NOT BE PERFORMED WITHIN THE DRIP LINE OF ANY EXISTING TREES OR OVER UTILITY INSTALLATIONS THAT ARE WITHIN 24 INCHES OF THE SURFACE.

COMPOST SPECIFICATIONS:

COMPOST SHALL BE AGED, FROM PLANT DERIVED MATERIALS, FREE OF VIABLE WEED SEEDS, HAVE NO VISIBLE FREE WATER OR DUST PRODUCED WHEN HANDLING, PASS THROUGH A HALF INCH SCREEN AND HAVE A PH SUITABLE TO GROW DESIRED PLANTS.

MAINTENANCE:

A SIMPLE MAINTENANCE AGREEMENT SHOULD IDENTIFY WHERE SOIL RESTORATION IS APPLIED, WHERE NEWLY RESTORED AREAS ARE/CANNOT BE CLEARED, WHO THE RESPONSIBLE PARTIES ARE TO ENSURE THAT ROUTINE VEGETATION IMPROVEMENTS ARE MADE (I.E., THINNING, INVASIVE PLANT REMOVAL, ETC.). SOIL COMPOST AMENDMENTS WITHIN A FILTER STRIP OR GRASS CHANNEL SHOULD BE LOCATED IN PUBLIC RIGHT OF WAY, OR WITHIN A DEDICATED STORMWATER OR DRAINAGE EASEMENT.

FIRST YEAR MAINTENANCE OPERATIONS INCLUDES:

- INITIAL INSPECTIONS FOR THE FIRST SIX MONTHS (ONCE AFTER EACH STORM GREATER THAN HALF-INCH)
- RESEEDING TO REPAIR BARE OR ERODING AREAS TO ASSURE GRASS STABILIZATION
- WATER ONCE EVERY THREE DAYS FOR FIRST MONTH, AND THEN PROVIDE A HALF INCH OF WATER PER WEEK DURING FIRST YEAR. IRRIGATION PLAN MAY BE ADJUSTED ACCORDING TO THE RAIN EVENT.
- FERTILIZATION MAY BE NEEDED IN THE FALL AFTER THE FIRST GROWING SEASON TO INCREASE PLANT VIGOR.

ONGOING MAINTENANCE:

TWO POINTS HELP ENSURE LASTING RESULTS OF DECOMPACTION:

1. PLANTING THE APPROPRIATE GROUND COVER WITH DEEP ROOTS TO MAINTAIN SOIL STRUCTURE.
2. KEEPING THE SITE FREE OF VEHICULAR AND FOOT TRAFFIC OR OTHER WEIGHT LOADS. CONSIDER PEDESTRIAN FOOTPATHS. (SOMETIMES IT MAY BE NECESSARY TO DE-TATCH THE TURF EVERY FEW YEARS).

SEDIMENT TRAP CALCULATIONS

CONTRIBUTING AREA= 0.78± ACRES
REQUIRED LENGTH OF OUTLET= 4(DRAINAGE AREA)
= 4 x 0.78 = 3.1
MINIMUM WIDTH= 4'
PROVIDED: 8'x4' OUTLET
REQUIRED STORAGE= 3,600 CF PER ACRE OF CONTRIBUTING DRAINAGE AREA+
0.78(3,600)= 2,808 CF
REQUIRED: 2,808 CF
PROVIDED: 3,283 CF
SEDIMENT SHALL BE REMOVED AND TRAP RESTORED TO ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO 1/2 THE ORIGINAL DESIGN CAPACITY
DESIGN CAPACITY= 3,283 CF x 0.5= 1,642 CF
SEDIMENT TRAPS WILL REACH 1/2 DESIGN CAPACITY AT ELEVATION 171.90
ORIGINAL ELEVATION TO BE MARKED AND TRAP TO BE RESTORED TO ORIGINAL DIMENSIONS WHEN 0.90' OF SEDIMENT ACCUMULATED

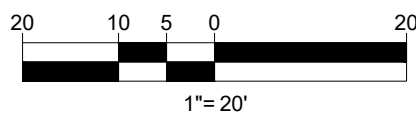
SOIL RESTORATION REQUIREMENTS

TYPE OF DISTURBANCE	SOIL RESTORATION REQUIREMENT
NO SOIL DISTURBANCE	RESTORATION NOT PERMITTED
MINIMAL SOIL DISTURBANCE	RESTORATION NOT REQUIRED
AREAS WHERE TOPSOIL IS STRIPPED ONLY - NO CHANGE IN GRADE	AERATE AND APPLY 6" OF TOPSOIL
AREAS OF CUT OR FILL	APPLY FULL SOIL RESTORATION (SEE NOTES ON SHEET 9)
HEAVY TRAFFIC AREAS ON SITE (ESPECIALLY IN A ZONE 5-25 FEET AROUND BUILDINGS BUT NOT WITHIN 5 FOOT PERIMETER AROUND FOUNDATION WALLS)	APPLY FULL SOIL RESTORATION (DE-COMPACTION AND COMPOST ENHANCEMENT)
AREAS WHERE INFILTRATION PRACTICES ARE APPLIED	RESTORATION NOT REQUIRED, BUT MAY BE APPLIED TO ENHANCE THE REDUCTION SPECIFIED FOR APPROPRIATE PRACTICES.

THE EDUCATION LAW OF THE STATE OF NEW YORK PROHIBITS ANY PERSON ALTERING ANYTHING ON THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATIONS, UNLESS IT IS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER WHERE SUCH ALTERATIONS ARE MADE, THE PROFESSIONAL ENGINEER MUST SIGN, SEAL, DATE AND DESCRIBE THE FULL EXTENT OF THE ALTERATION ON THE DRAWINGS AND/OR IN THE SPECIFICATIONS. (NYS EDUCATION LAW SECTION 7209-2)

THIS PLAN TO BE UTILIZED FOR SITE SOIL AND EROSION CONTROL PURPOSES ONLY

REFER TO SOIL EROSION CONTROL NOTES & DETAIL SHEET FOR EROSION NOTES AND DETAILS



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PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
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REVISIONS				
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PROJECT No.: B200130
DRAWN BY: ~ NCN ~
CHECKED BY: ~ CVM / CEB ~
DATE: 08/14/2020
CAD ID: B200130S000

PROPOSED SITE PLAN DOCUMENTS

FOR
HSC MILTON LLC.

PROPOSED DEVELOPMENT
MAP #103.1, BLOCK #2, LOT #74
NYS ROUTE 9W
TOWN OF MARLBOROUGH
ULSTER COUNTY
STATE OF NEW YORK

BOHLER

17 COMPUTER DRIVE WEST
ALBANY, NY 12205
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NEW HAMPSHIRE LICENSE NO. 10280
NEW YORK LICENSE NO. 071284-1
FLORIDA LICENSE NO. 66202

SHEET TITLE:
EROSION & SEDIMENT CONTROL PLAN

SHEET NUMBER:
C-601

REVISION 1 - 12/10/2020

EROSION AND SEDIMENT CONTROL NOTES

1. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE DONE AS SET FORTH IN THE MOST CURRENT STATE SEDIMENT AND EROSION CONTROL MANUAL.
2. THOSE AREAS UNDERGOING ACTUAL CONSTRUCTION WILL BE LEFT IN AN UNTREATED OR UNVEGETATED CONDITION FOR A MINIMUM TIME. AREAS SHALL BE PERMANENTLY STABILIZED WITHIN 15 DAYS OF FINAL GRADING AND TEMPORARILY STABILIZED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF THE SOIL. IF THE DISTURBANCE IS WITHIN 100 FEET OF A STREAM OR POND, THE AREA SHALL BE STABILIZED WITHIN 7 DAYS OR PRIOR TO ANY STORM EVENT (THIS WOULD INCLUDE WETLANDS).
3. SEDIMENT BARRIERS (SILT FENCE, STRAW BARRIERS, ETC.) SHOULD BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THEM. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
4. INSTALL SILTATION BARRIER AT TOE OF SLOPE TO FILTER SILT FROM RUNOFF. SEE SILTATION BARRIER DETAILS FOR PROPER INSTALLATION. SILTATION BARRIER WILL REMAIN IN PLACE PER NOTE #5.
5. ALL EROSION CONTROL STRUCTURES WILL BE INSPECTED, REPLACED AND/OR REPAIRED EVERY 7 DAYS AND IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL OR SNOW MELT OR WHEN NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION OR DECOMPOSITION. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL AREAS UPSLOPE ARE STABILIZED BY TURF.
6. NO SLOPES, EITHER PERMANENT OR TEMPORARY, SHALL BE STEEPER THAN TWO TO ONE (2:1).
7. IF FINAL SEEDING OF THE DISTURBED AREAS IS NOT COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST, USE TEMPORARY MULCH (DORMANT SEEDING MAY BE ATTEMPTED AS WELL) TO PROTECT THE SITE AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.
8. TEMPORARY SEEDING OF DISTURBED AREAS THAT HAVE NOT BEEN FINAL GRADED SHALL BE COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST TO PROTECT FROM SPRING RUNOFF PROBLEMS.
9. DURING THE CONSTRUCTION PHASE, INTERCEPTED SEDIMENT WILL BE RETURNED TO THE SITE AND REGRADED ONTO OPEN AREAS.
10. REVEGETATION MEASURES WILL COMMENCE UPON COMPLETION OF CONSTRUCTION EXCEPT AS NOTED ABOVE. ALL DISTURBED AREAS NOT OTHERWISE STABILIZED WILL BE GRADED, SMOOTHED, AND PREPARED FOR FINAL SEEDING AS FOLLOWS:
- 10.1. SIX INCHES OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND SMOOTHED TO A UNIFORM SURFACE.
- 10.2. APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 800 LB PER ACRE OR 18.4 LB PER 1,000 SF USING 10-20-20 OR EQUIVALENT. APPLY GROUND LIMESTONE (EQUIVALENT TO 50% CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF 3 TONS PER ACRE (138 LB PER 1,000 SF).
- 10.3. FOLLOWING SEED BED PREPARATION, DITCHES AND BACK SLOPES WILL BE SEEDDED TO A MIXTURE OF 47% CREEPING RED FESCUE, 5% REDTOP, AND 48% TALL FESCUE. THE LAWN AREAS WILL BE SEEDDED TO A PREMIUM TURF MIXTURE OF 44% KENTUCKY BLUE-GRASS, 44% CREEPING RED FESCUE, AND 12% PERENNIAL RYEGRASS. SEEDING RATE IS 1.03 LBS PER 1,000 SF LAWN QUALITY SOD MAY BE SUBSTITUTED FOR SEED.
- 10.4. STRAW MULCH AT THE RATE OF 70-90 LBS PER 1,000 SF. A HYDRO-APPLICATION OF WOOD OR PAPER FIBER SHALL BE APPLIED FOLLOWING SEEDING. A SUITABLE BINDER SUCH AS CURASOL OR RMB PLUS WILL BE USED ON STRAW MULCH FOR WIND CONTROL.
11. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE SITE IS STABILIZED.
12. WETLANDS WILL BE PROTECTED W/ STRAW, COMPOST, AND/OR SILT FENCE BARRIERS INSTALLED AT THE EDGE OF THE WETLAND OR THE BOUNDARY OF WETLAND DISTURBANCE.
13. ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL HAVE AN EXPOSURE WINDOW OF NOT MORE THAN 7 DAYS.
14. ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL FOLLOW APPROPRIATE EROSION CONTROL MEASURES PRIOR TO EACH STORM IF NOT BEING ACTIVELY WORKED.

MULCH

LOCATION	MULCH	RATE (1000 SF)
PROTECT AREA	STRAW	100 POUNDS
WINDY AREA	SHREDDED OR CHOPPED CORNSTALKS STRAW (ANCHORED)*	185-275 POUNDS 100 POUNDS
MODERATE TO HIGH VELOCITY AREAS OR STEEP SLOPES GREATER THAN 3:1	JUTE MESH OR EXCELSIOR MAT	AS REQUIRED
GREATER THAN 3:1	(REFER TO GEOTECHNICAL REPORT FOR FINAL DESIGN REQUIREMENT)	

* A HYDRO-APPLICATION OF WOOD, OR PAPER FIBER MAY BE APPLIED FOLLOWING SEEDING. A SUITABLE BINDER SUCH AS CURASOL OR RMB PLUS SHALL BE USED ON STRAW MULCH FOR WIND CONTROL.

MULCH ANCHORING
ANCHOR MULCH WITH PEG AND TWINE (1 SQ. YD/BLOCK); MULCH NETTING (AS PER MANUFACTURER); WOOD CELLULOSE FIBER (750 LBS/ACRE); CEMENT TACK (AS PER MANUFACTURER'S SPECIFICATIONS); USE OF A SERRATED STRAIGHT DISK. WETTING FOR SMALL AREAS AND ROAD DITCHES MAY BE PERMITTED.

EROSION CONTROL NOTES DURING WINTER CONSTRUCTION

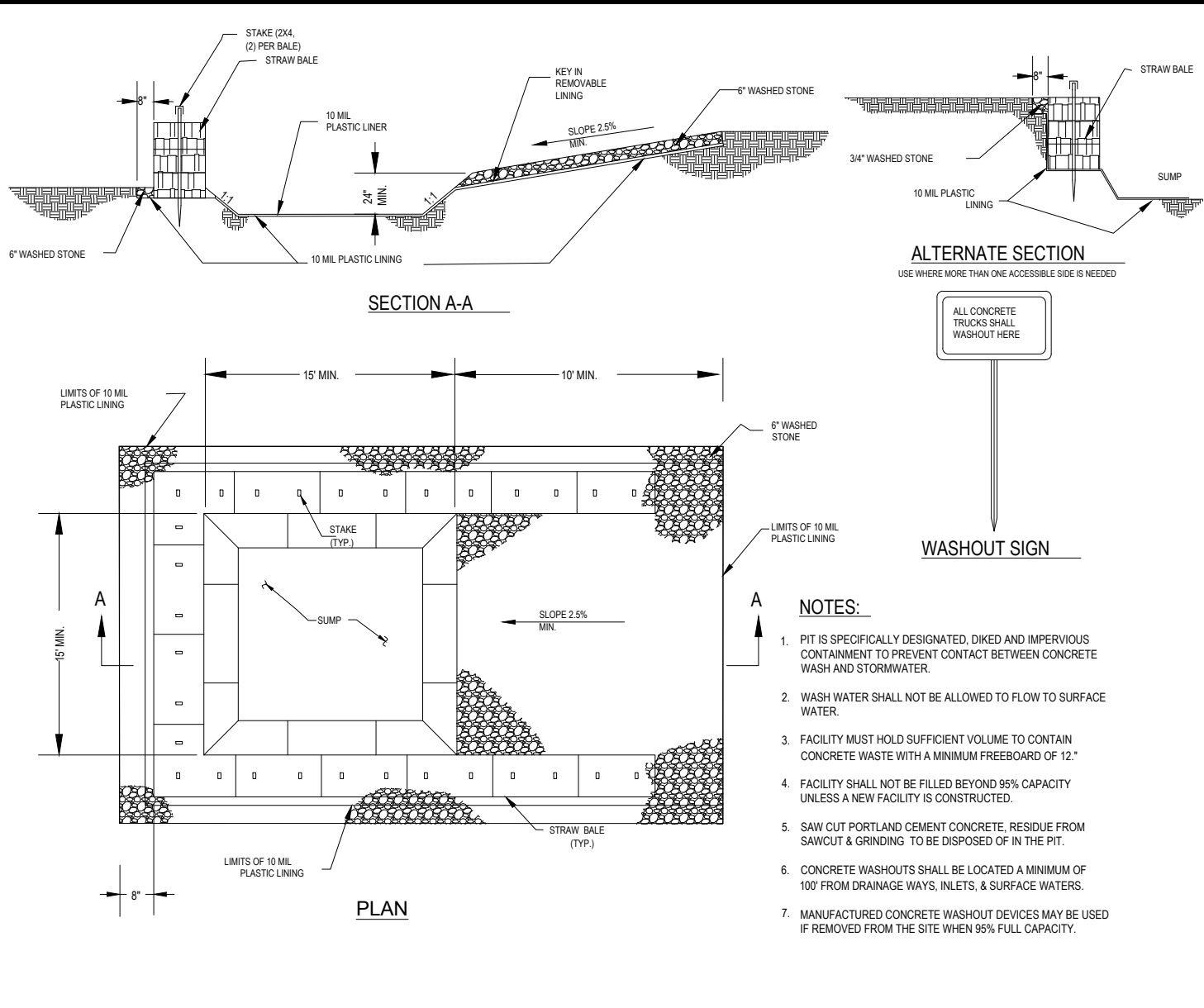
1. WINTER CONSTRUCTION PERIOD: NOVEMBER 1 THROUGH APRIL 15.
2. WINTER EXCAVATION AND EARTHWORK SHALL BE DONE SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY ONE TIME.
3. EXPOSED AREA SHOULD BE LIMITED TO THAT WHICH CAN BE MULCHED IN ONE DAY PRIOR TO ANY SNOW EVENT.
4. CONTINUATION OF EARTHWORK OPERATION ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED SUCH THAT NO LARGER AREA OF THE SITE IS WITHOUT EROSION CONTROL PROTECTION AS LISTED IN ITEM 2 ABOVE.
5. AN AREA SHALL BE CONSIDERED TO HAVE BEEN STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED WITH STRAW OR STRAW AT A RATE OF 100 LB. PER 1,000 SQUARE FEET (WITH OR WITHOUT SEEDING) OR DORMANT SEEDDED, MULCHED AND ADEQUATELY ANCHORED BY AN APPROVED ANCHORING TECHNIQUE.
6. BETWEEN THE DATES OF OCTOBER 15 AND APRIL 1ST, LOAM OR SEED WILL NOT BE REQUIRED. DURING PERIODS OF ABOVE FREEZING TEMPERATURES THE SLOPES SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEEDDED AND MULCHED UNTIL SUCH TIME AS THE FINAL TREATMENT CAN BE APPLIED. IF THE DATE IS AFTER NOVEMBER 1ST AND IF THE EXPOSED AREA HAS BEEN LOAMED, FINAL GRADED AND IS SMOOTH, THEN THE AREA MAY BE DORMANT SEEDDED AT A RATE OF 200 - 300% HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCHED. IF CONSTRUCTION CONTINUES DURING FREEZING WEATHER, ALL EXPOSED AREAS SHALL BE CONTINUOUSLY GRADED BEFORE FREEZING AND THE SURFACE TEMPORARILY PROTECTED FROM EROSION BY THE APPLICATION OF MULCH. SLOPES SHALL NOT BE LEFT UNEXPOSED OVER THE WINTER OR ANY OTHER EXTENDED TIME OF WORK SUSPENSION UNLESS TREATED IN THE ABOVE MANNER. UNTIL SUCH TIME AS WEATHER CONDITIONS ALLOW DITCHES TO BE FINISHED WITH THE PERMANENT SURFACE TREATMENT, EROSION SHALL BE CONTROLLED BY THE INSTALLATION OF BALES OF STRAW OR STONE CHECK DAMS IN ACCORDANCE WITH THE STANDARD DETAILS.
7. MULCHING REQUIREMENTS:
- 7.1. BETWEEN THE DATES OF NOVEMBER 1ST AND APRIL 15TH ALL MULCH SHALL BE ANCHORED BY EITHER PEG LINE, MULCH NETTING OR WOOD CELLULOSE FIBER.
- 7.2. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS WITH A SLOPE GREATER THAN 3% FOR SLOPE EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES GREATER THAN 8%.
- 7.3. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
8. AFTER NOVEMBER 1ST THE CONTRACTOR SHALL APPLY DORMANT SEEDING OR MULCH AND ANCHORING ON ALL BARE EARTH AT THE END OF EACH WORKING DAY.
9. DURING THE WINTER CONSTRUCTION PERIOD ALL SNOW SHALL BE REMOVED FROM AREAS OF SEEDING AND MULCHING PRIOR TO PLACEMENT.
10. STOCKPILING OF MATERIALS (DIRT, WOOD, CONSTRUCTION MATERIALS, ETC.) MUST REMAIN COVERED AT ALL TIMES TO MINIMIZE ANY DUST PROBLEMS THAT MAY OCCUR WITH ADJACENT PROPERTIES AND TO PROVIDE MAXIMUM PROTECTION AGAINST EROSION RUNOFF.
11. EXISTING CATCH BASIN STRUCTURES SHALL BE PROTECTED UNTIL SUCH TIME AS THEY ARE REMOVED.

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CONSTRUCTION SEQUENCE

THE FOLLOWING CONSTRUCTION SEQUENCE IS RECOMMENDED:

- INSTALLATION OF STABILIZED CONSTRUCTION ENTRANCE/EXIT (AS SHOWN)
- INSTALLATION OF EROSION CONTROL BARRIER (SILT FENCE) (AS SHOWN)
- DEMOLITION OF EXISTING SITE AMENITIES (SEE DEMOLITION PLAN)
- CLEARING AND GRUBBING
- INSTALLATION OF SEDIMENT BASIN
- EARTHWORK AND EXCAVATION/FILLING AS NECESSARY
- CONSTRUCTION OF UTILITIES
- STABILIZE PERMANENT LAWN AREAS AND SLOPES WITH TEMPORARY SEEDING
- CONSTRUCTION OF BUILDING
- CONSTRUCTION OF ALL CURBING AND LANDSCAPE ISLANDS AS INDICATED ON THE PLANS
- SPREAD TOPSOIL ON SLOPED AREAS AND SEED AND MULCH
- FINAL GRADING OF ALL SLOPED AREAS
- PLACE 6" TOPSOIL ON SLOPES AFTER FINAL GRADING COMPLETED. FERTILIZE, SEED, AND MULCH SEED MIXTURE TO BE INSTALLED AS REQUIRED.
- REMOVAL OF THE TEMPORARY SEDIMENT BASIN
- PAVE PARKING LOT
- LANDSCAPING PER LANDSCAPING PLAN
- REMOVE EROSION CONTROLS AS DISTURBED AREAS BECOME STABILIZED TO 80% STABILIZATION OR GREATER.



CONCRETE WASHOUT DETAIL

N.T.S.

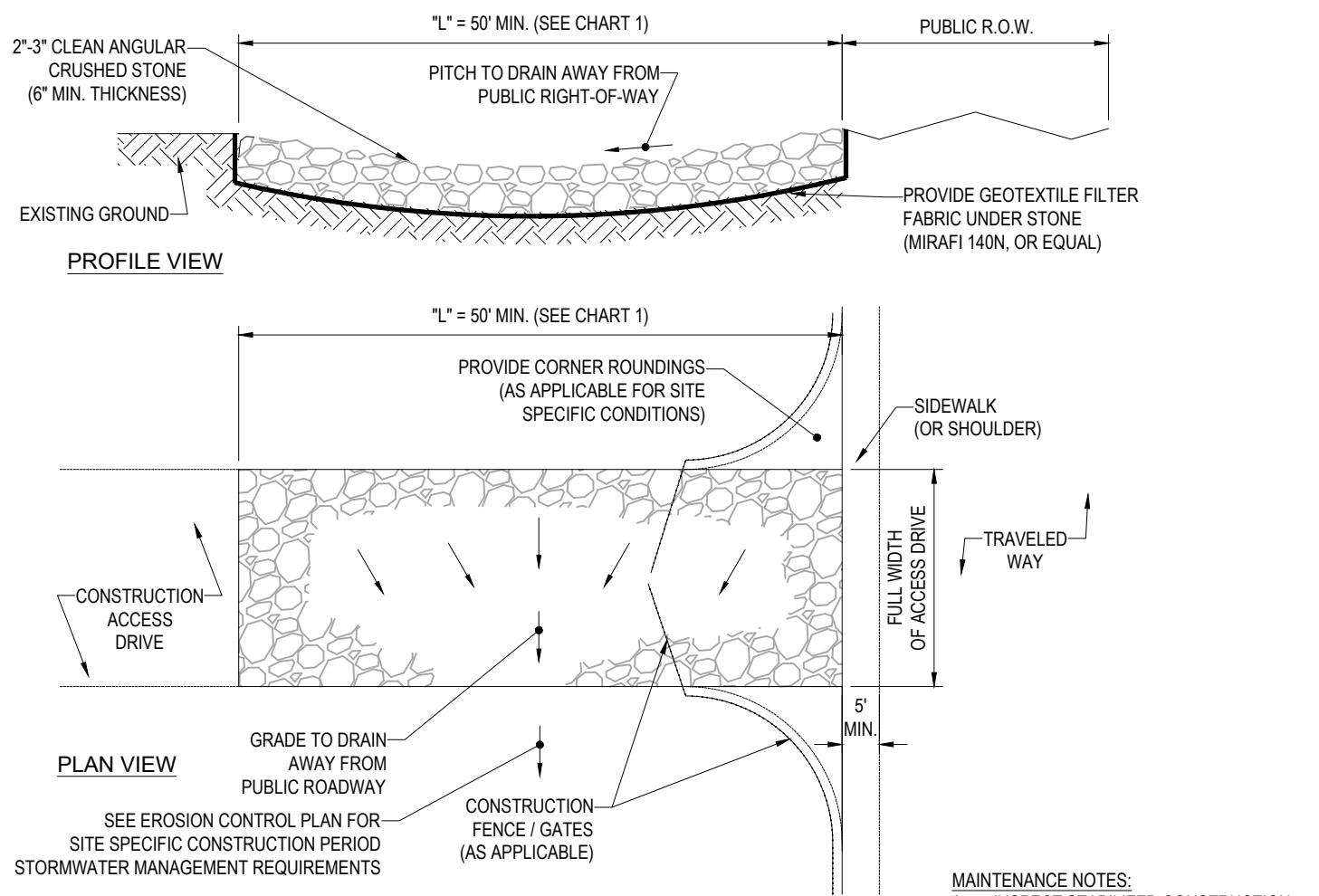


CHART 1

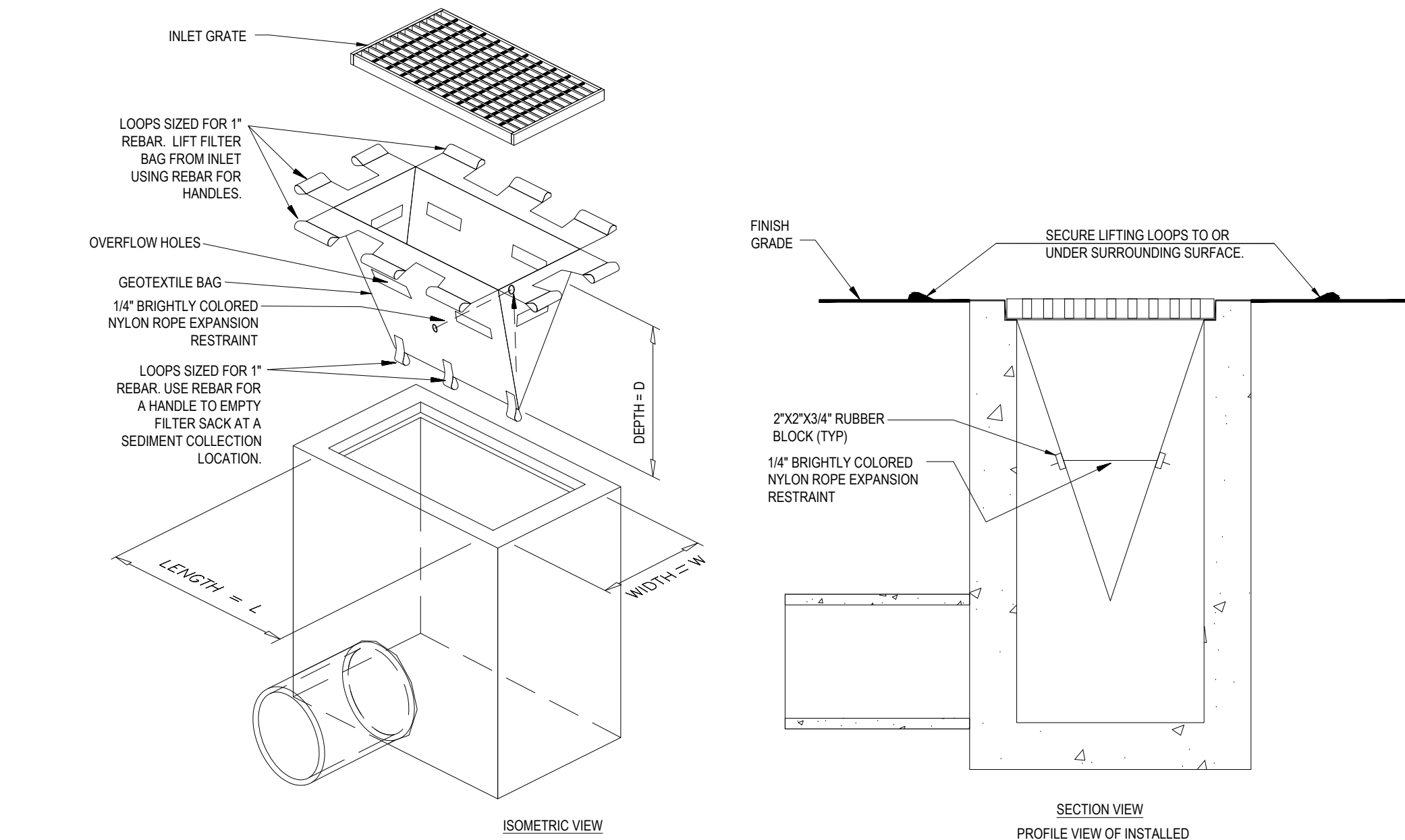
PERCENT SLOPE OF ROADWAY	LENGTH OF STONE REQUIRED	
	COARSE GRAINED SOILS	FINE GRAINED SOILS
0 TO 2%	50 FT	100 FT
2% TO 5%	100 FT	200 FT
>5%	ENTIRE ENTRANCE STABILIZED WITH FABC BASE COURSE (1)	

(1) AS PRESCRIBED BY LOCAL ORDINANCE OR OTHER GOVERNING AUTHORITY.

- MAINTENANCE NOTES:
1. INSPECT STABILIZED CONSTRUCTION ENTRANCE / ANTI-TRACKING PAD AND SEDIMENT DISPOSAL AREA WEEKLY OR AFTER EVERY MAJOR RAIN STORM EVENT. WASH WATER (IF USED) SHALL BE DIRECTED TOWARD A SEDIMENT TRAP, SUFFICIENTLY SIZED FOR SPECIFIC SITE CONDITIONS.
3. EXCESSIVELY MUD-CLOGGED STONE SHALL BE REMOVED AND REPLACED, AS NEEDED.

STABILIZED CONSTRUCTION EXIT

N.T.S.



FILTER SACKS (GRADED INLETS)

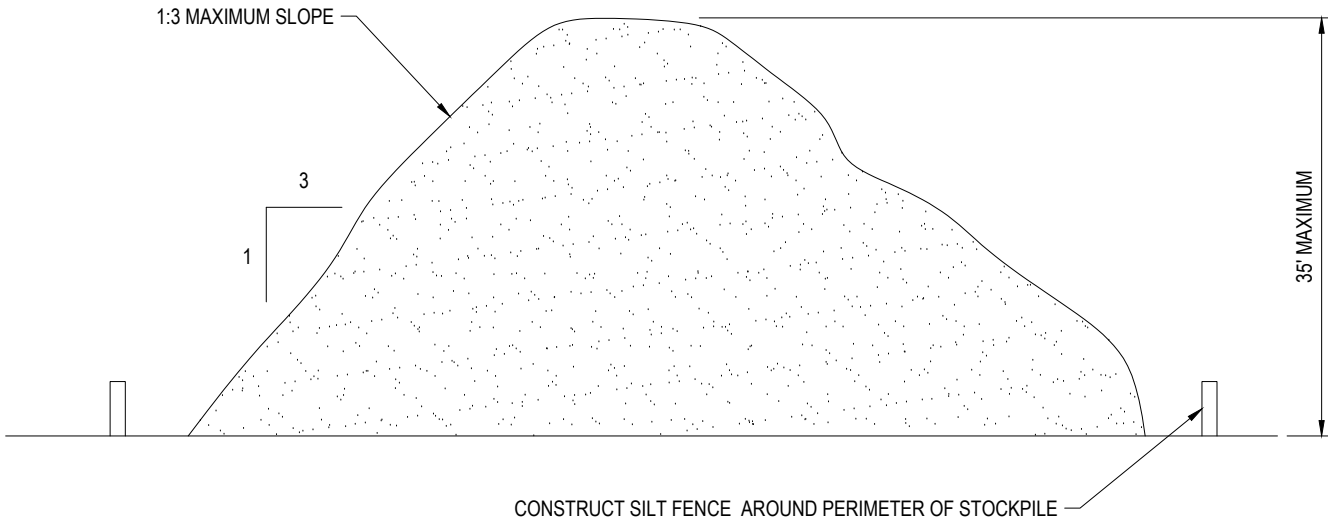
N.T.S.

LOW TO MODERATE FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE			
PROPERTIES	TEST METHOD	UNITS	
GRAB TENSILE STRENGTH	ASTM D-4632	300 LBS	
GRAB TENSILE ELONGATION	ASTM D-4632	20 %	
PUNCTURE	ASTM D-4533	120 LBS	
MULLEN BURST	ASTM D-3786	800 PSI	
TRAPEZOID TEAR	ASTM D-4533	120 LBS	
UV RESISTANCE	ASTM D-4355	80 %	
APPARENT OPENING SIZE	ASTM D-4751	40 US SIEVE	
FLOW RATE	ASTM D-4491	40 GAL/MIN/SQ FT	
PERMITTIVITY	ASTM D-4491	0.55 SEC -1	

MODERATE TO HIGH FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE			
PROPERTIES	TEST METHOD	UNITS	
GRAB TENSILE STRENGTH	ASTM D-4632	265 LBS	
GRAB TENSILE ELONGATION	ASTM D-4632	20 %	
PUNCTURE	ASTM D-4533	135 LBS	
MULLEN BURST	ASTM D-3786	420 PSI	
TRAPEZOID TEAR	ASTM D-4533	45 LBS	
UV RESISTANCE	ASTM D-4355	90 %	
APPARENT OPENING SIZE	ASTM D-4751	20 US SIEVE	
FLOW RATE	ASTM D-4491	200 GAL/MIN/SQ FT	
PERMITTIVITY	ASTM D-4491	1.5 SEC -1	

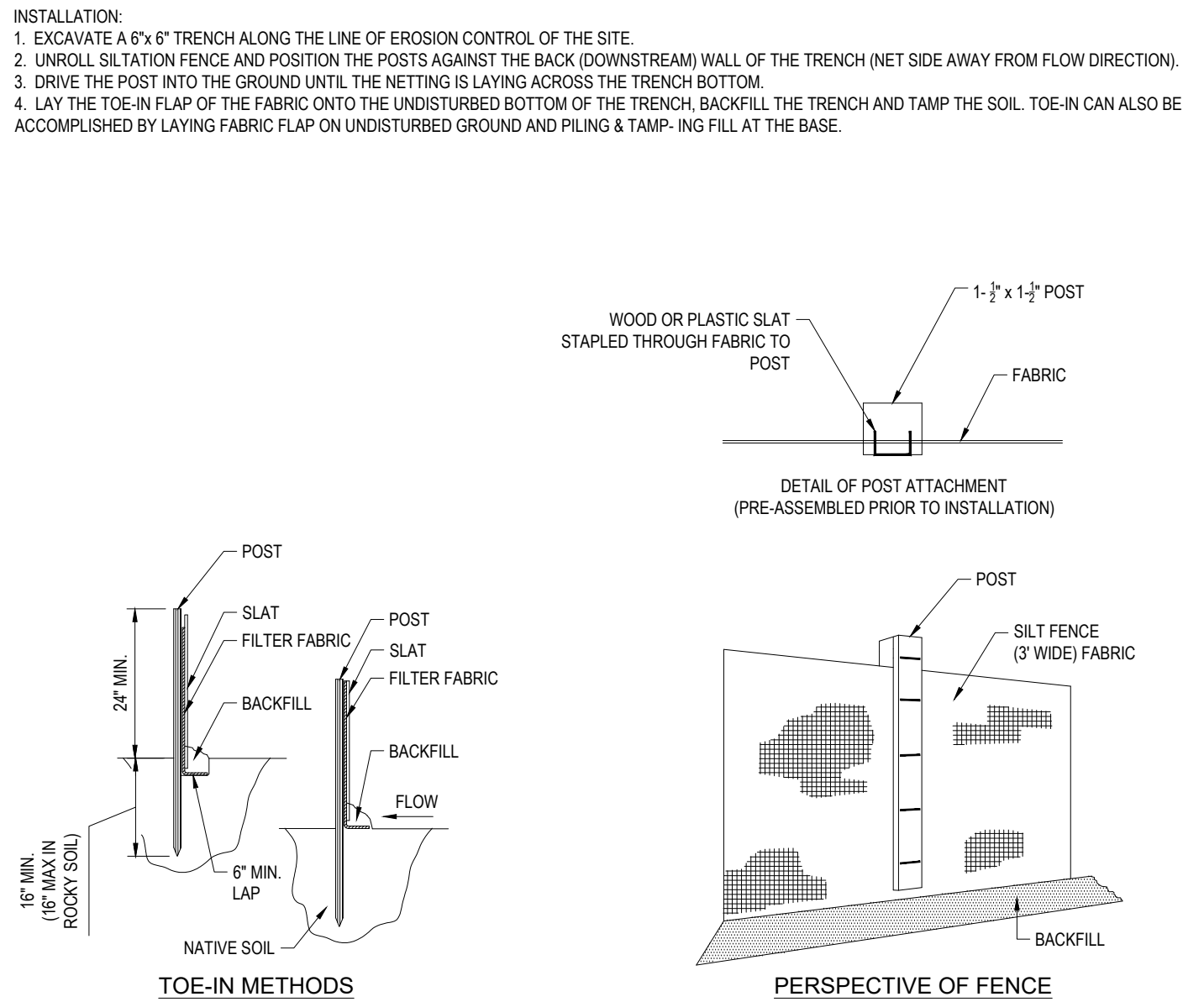
1. REMOVE TRAPPED SEDIMENT WHEN BRIGHTLY COLORED EXPANSION RESTRAINT CAN NO LONGER BE SEEN.
2. GEOTEXTILE SHALL BE A WOVEN POLYPROPYLENE FABRIC THAT MEETS OR EXCEEDS REQUIREMENTS IN THE SPECIFICATIONS TABLE.
3. PLACE AN OIL ADSORBENT PAD OR PILLOW OVER INLET GRATE WHEN OIL SPILLS ARE A CONCERN.
4. INSPECT PER REGULATORY REQUIREMENTS.
5. THE WIDTH, "W", OF THE FILTER SACK SHALL MATCH THE INSIDE WIDTH OF THE GRADED INLET BOX.
6. THE DEPTH, "D", OF THE FILTER SACK SHALL BE BETWEEN 18 INCHES AND 36 INCHES.
7. THE LENGTH, "L", OF THE FILTER SACK SHALL MATCH THE INSIDE LENGTH OF THE GRADED INLET BOX.

DO NOT USE IN PAVED AREAS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.



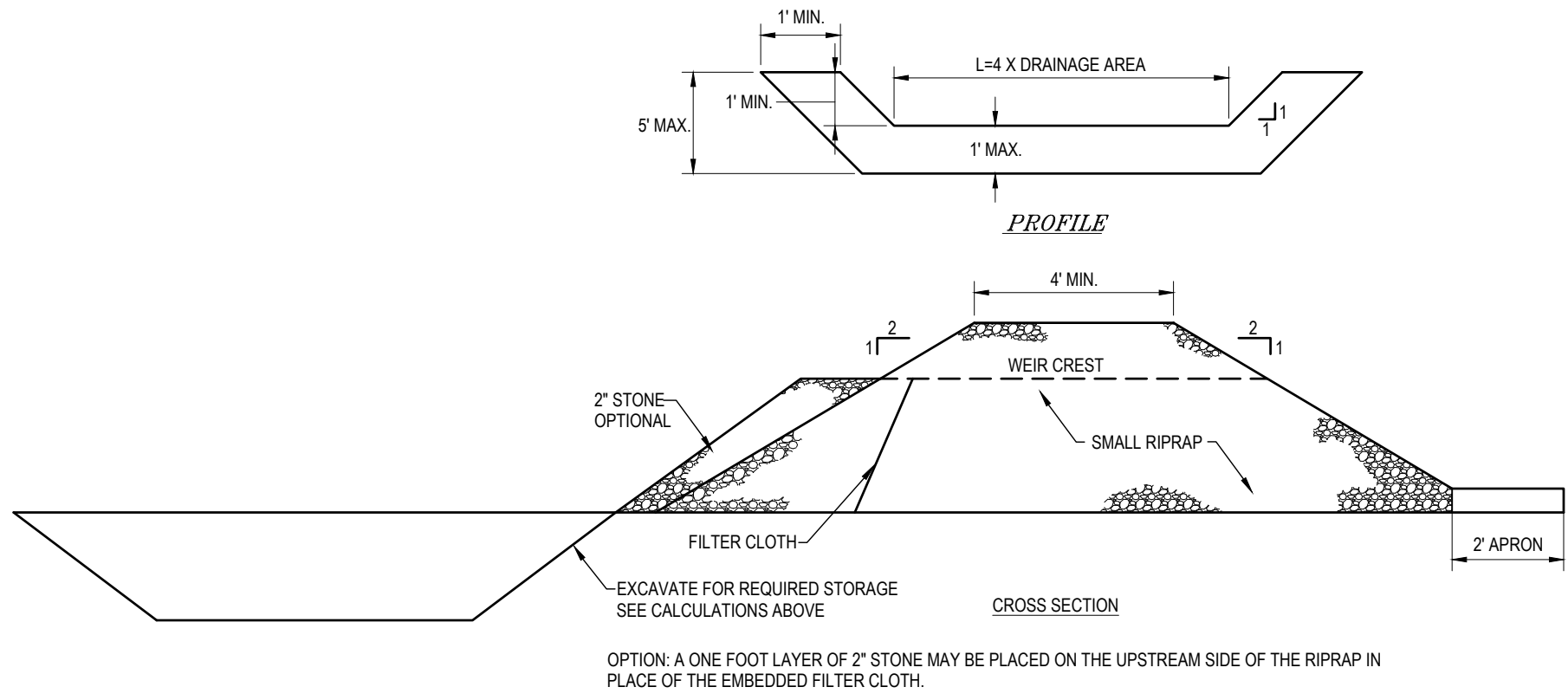
TEMPORARY STOCKPILE DETAIL

N.T.S.



TYP. SILTATION FENCE DETAIL

N.T.S.



- NOTES:
1. AREA UNDER EMBANKMENT SHALL BE CLEARED, SRUBBED AND STRIPPED OF ANY VEGETATION AND ROOT MAT. THE POOL AREA SHALL BE CLEARED.
2. THE FILL MATERIAL FOR THE EMBANKMENT SHALL BE FREE OF ROOTS AND OTHER WOODY VEGETATION AS WELL AS OVER-SIZED STONES, ROCKS, ORGANIC MATERIAL OR OTHER OBJECTIONABLE MATERIAL. THE EMBANKMENT SHALL BE COMPACT BY TRAVERSING WITH EQUIPMENT WHILE IT IS BEING CONSTRUCTED.
3. ALL CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER.
4. THE STONE USED IN THE OULET SHALL BE SMALL RIPRAP 4\"/>

STONE OUTLET SEDIMENT TRAP DETAIL

N.T.S.

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PROJECT No.: B20130
DRAWN BY: ~ NCN ~
CHECKED BY: ~ CVM / CEB ~
DATE: 08/14/2020
CAD I.D.: B20130S000

PROJECT:

PROPOSED SITE PLAN DOCUMENTS

FOR

HSC
MILTON
LLC.

PROPOSED
DEVELOPMENT

MAP #103.1, BLOCK #2, LOT #74
NYS ROUTE 9W
TOWN OF MARLBOROUGH
ULSTER COUNTY
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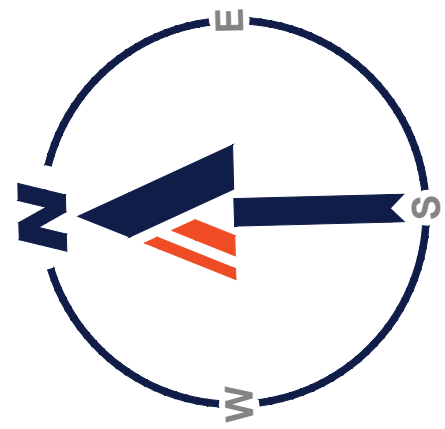
SHEET TITLE:

EROSION AND
SEDIMENT
CONTROL NOTES
AND DETAILS

SHEET NUMBER:

C-602

REVISION 1 - 12/10/2020



LANDSCAPE SCHEDULE					
KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
DECIDUOUS SHRUB					
SJLP	16	SPIREA JAPONICA 'LITTLE PRINCESS'	LITTLE PRINCESS SPIREA	15-18"	#3 CAN
VTC	14	VIBURNUM TRILOBUM 'COMPACTUM'	COMPACT AMERICAN CRANBERRYBUSH	24"-30"	B+B
SHADE TREES					
AS	4	ACER SACCHARUM	SUGAR MAPLE	2 1/2-3" CAL.	B+B

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICTATE.

REVISIONS

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PROJECT No.: B200130
DRAWN BY: ~ NCN ~
CHECKED BY: ~ CVM / CEB ~
DATE: 08/14/2020
CAD I.D.: B200130S00

PROJECT:

PROPOSED SITE PLAN DOCUMENTS

FOR

HSC
MILTON
LLC.

PROPOSED
DEVELOPMENT

MAP #103.1, BLOCK #2, LOT #74
NYS ROUTE 9W
TOWN OF MARLBOROUGH
ULSTER COUNTY
STATE OF NEW YORK

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17 COMPUTER DRIVE WEST
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SHEET TITLE:

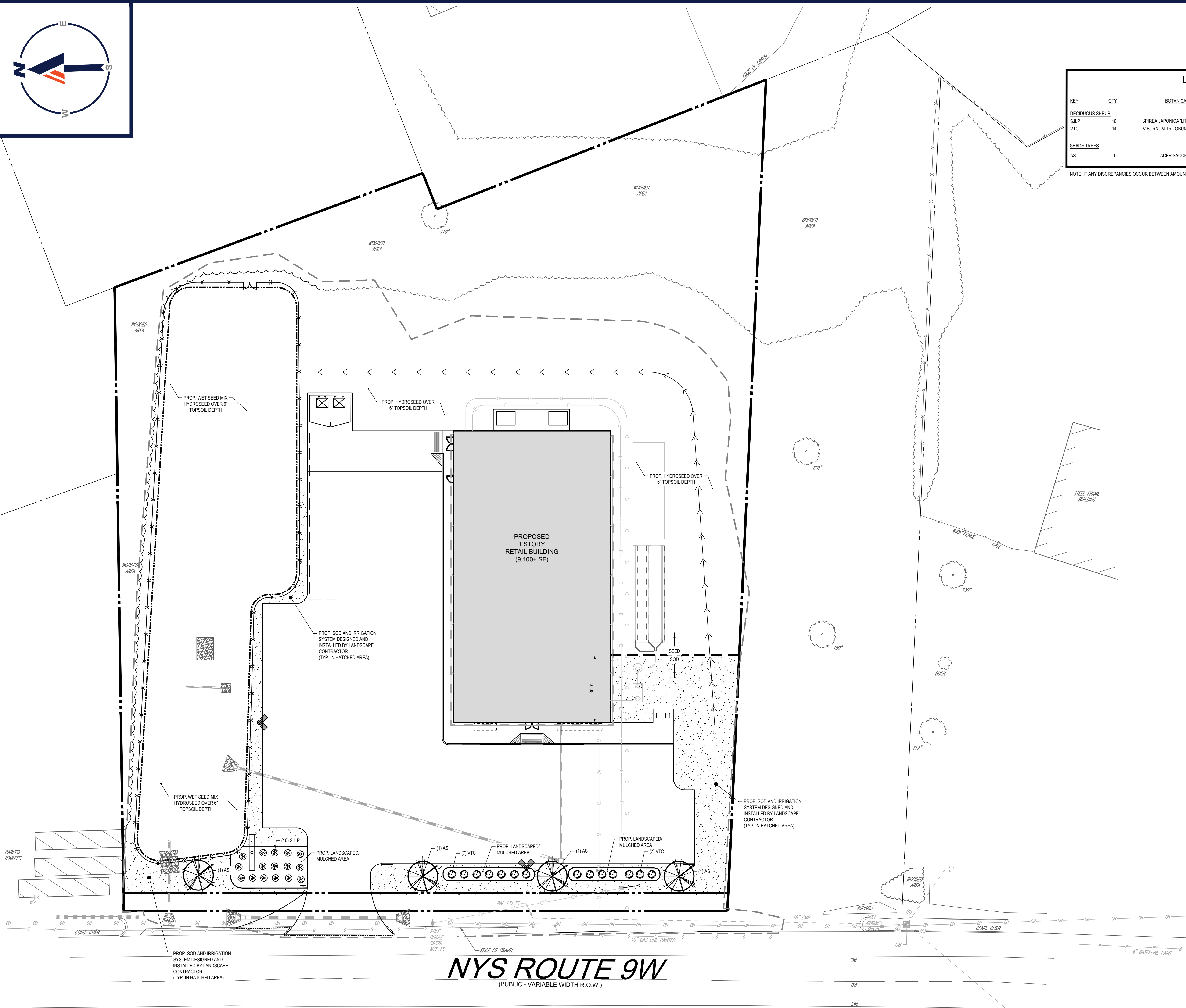
LANDSCAPE PLAN

SHEET NUMBER:

C-701

REVISION 1 - 12/10/2020

C:\USERS\JALESSA\APPDATA\LOCALTEMP\ACDPUBLISH\12946E000130S000...-LAYOUT: C-701.LAND



1. SCOPE OF WORK:
THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL CLEARING, FINISHED GRADING, SOIL PREPARATION, PERMANENT SEEDING OR SODDING, PLANTING AND MULCHING INCLUDING ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THIS PROJECT, UNLESS OTHERWISE CONTRACTED BY THE GENERAL CONTRACTOR.

2. MATERIALS
A. GENERAL - ALL HARDSCAPE MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATION'S SPECIFICATIONS.
B. TOPSOIL - NATURAL, FRIABLE, LOAMY SILT SOIL HAVING AN ORGANIC CONTENT NOT LESS THAN 5%, A PH RANGE BETWEEN 4.5-7.0. IT SHALL BE FREE OF DEBRIS, ROCKS LARGER THAN ONE INCH (1"), WOOD, ROOTS, VEGETABLE MATTER AND CLAY CLODS.
C. LAWN - ALL DISTURBED AREAS ARE TO BE TREATED WITH A MINIMUM 6" THICK LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, AND SEEDED OR SODDED IN ACCORDANCE WITH THE PERMANENT STABILIZATION METHODS INDICATED ON THE LANDSCAPE PLAN
I. LAWN SEED MIXTURE SHALL BE FRESH, CLEAN NEW CROP SEED.
II. SOD SHALL BE STRONGLY ROOTED, WEED AND DISEASE/FEST FREE WITH A UNIFORM THICKNESS. SOD INSTALLED ON SLOPES GREATER THAN 4:1 SHALL BE PEGGED TO HOLD SOD IN PLACE.
D. MULCH - ALL PLANTING BEDS SHALL BE MULCHED WITH A 3" THICK LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH, UNLESS OTHERWISE STATED ON THE LANDSCAPE PLAN AND/OR LANDSCAPE PLAN NOTES. DETAILS.
E. FERTILIZER
I. FERTILIZER SHALL BE DELIVERED TO THE SITE MIXED AS SPECIFIED IN THE ORIGINAL UNOPENED STANDARD BAGS SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER.
FERTILIZER SHALL BE STORED IN A WEATHERPROOF PLACE SO THAT IT CAN BE KEPT DRY PRIOR TO USE.
II. FOR THE PURPOSE OF BIDDING, ASSUME THAT FERTILIZER SHALL BE 10% NITROGEN, 6% PHOSPHORUS AND 4% POTASSIUM BY WEIGHT. A FERTILIZER SHOULD NOT BE SELECTED WITHOUT A SOIL TEST PERFORMED BY A CERTIFIED SOIL LABORATORY.
F. PLANT MATERIAL
I. ALL PLANTS SHALL IN ALL CASES CONFORM TO THE REQUIREMENTS OF THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1), LATEST EDITION, AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION (FORMERLY THE AMERICAN ASSOCIATION OF NURSEYMEN).
II. IN ALL CASES, BOTANICAL NAMES SHALL TAKE PRECEDENCE OVER COMMON NAMES FOR ANY AND ALL PLANT MATERIAL.
III. PLANTS SHALL BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE. TAGS ARE TO REMAIN ON AT LEAST ONE PLANT OF EACH SPECIES FOR VERIFICATION PURPOSES DURING THE FINAL INSPECTION.
IV. TREES WITH ABRASION OF THE BARK, SUN SCALDS, DISFIGURATION OR FRESH CUTS OF LIMBS OVER 1/4", WHICH HAVE NOT BEEN COMPLETELY CALLOSED, SHALL BE REJECTED.
PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES.
V. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH; WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE OF DISEASE, INSECTS, PESTS, EGGS OR LARVAE.
VI. CALIPER MEASUREMENTS OF NURSERY GROWN TREES SHALL BE TAKEN AT A POINT ON THE TRUNK SIX INCHES (6") ABOVE THE NATURAL GRADE FOR TREES UP TO AND INCLUDING A FOUR INCH (4") CALIPER SIZE. IF THE CALIPER AT SIX INCHES (6") ABOVE THE GROUND EXCEEDS FOUR INCHES (4") IN CALIPER, THE CALIPER SHOULD BE MEASURED AT A POINT 12" ABOVE THE NATURAL GRADE.
VII. SHRUBS SHALL BE MEASURED TO THE AVERAGE HEIGHT OR SPREAD OF THE SHRUB, AND NOT TO THE LONGEST BRANCH.
VIII. TREES AND SHRUBS SHALL BE HANDLED WITH CARE BY THE ROOT BALL.
3. GENERAL WORK PROCEDURES
A. CONTRACTOR TO UTILIZE WORKMANLIKE INDUSTRY STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH WORKDAY. ALL DEBRIS, MATERIALS AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF.
B. WASTE MATERIALS AND DEBRIS SHALL BE COMPLETELY DISPOSED OF AT THE CONTRACTOR'S EXPENSE. DEBRIS SHALL NOT BE BURIED, INCLUDING ORGANIC MATERIALS, BUT SHALL BE REMOVED COMPLETELY FROM THE SITE.
4. SITE PREPARATIONS
A. BEFORE AND DURING PRELIMINARY GRADING AND FINISHED GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES OUTLINED HEREIN.
B. ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES. THE ENTIRE LIMB OF ANY DAMAGED BRANCH SHALL BE CUT OFF AT THE BRANCH COLLAR. CONTRACTOR SHALL ENSURE THAT CUTS ARE SMOOTH AND STRAIGHT. ANY EXPOSED ROOTS SHALL BE CUT BACK WITH CLEAN, SHARP TOOLS AND TOPSOIL SHALL BE PLACED AROUND THE REMAINDER OF THE ROOTS. EXISTING TREES SHALL BE MONITORED ON A REGULAR BASIS FOR ADDITIONAL ROOT OR BRANCH DAMAGE AS A RESULT OF CONSTRUCTION. ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY. CONTRACTOR SHALL WATER EXISTING TREES AS NEEDED TO PREVENT SHOCK OR DECLINE.
C. CONTRACTOR SHALL ARRANGE TO HAVE A UTILITY STAKE-OUT TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY LANDSCAPE MATERIAL. UTILITY COMPANIES SHALL BE CONTACTED THREE (3) DAYS PRIOR TO THE BEGINNING OF WORK.
5. TREE PROTECTION
A. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES TO REMAIN. A TREE PROTECTION ZONE SHALL BE ESTABLISHED AT THE DRIP LINE OR AT THE LIMIT OF CONSTRUCTION DISTURBANCE, WHICHEVER IS GREATER. LOCAL STANDARDS THAT MAY REQUIRE A MORE STRICT TREE PROTECTION ZONE SHALL BE HONORED.
B. A FORTY-EIGHT INCH (48") HIGH WOODEN SNOW FENCE OR ORANGE COLORED HIGH-DENSITY VISI-FENCE; OR APPROVED EQUIAL, MOUNTED ON STEEL POSTS SHALL BE PLACED ALONG THE BOUNDARY OF THE TREE PROTECTION ZONE. POSTS SHALL BE LOCATED AT A MAXIMUM OF EIGHT FEET (8') ON CENTER OR AS INDICATED WITHIN THE TREE PROTECTION DETAIL.
C. WHEN THE TREE PROTECTION FENCING HAS BEEN INSTALLED, IT SHALL BE INSPECTED BY THE APPROVING AGENCY PRIOR TO DEMOLITION, GRADING, TREE CLEARING OR ANY OTHER CONSTRUCTION. THE FENCING ALONG THE TREE PROTECTION ZONE SHALL BE REGULARLY INSPECTED BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITY HAS BEEN COMPLETED.
D. AT NO TIME SHALL MACHINERY, DEBRIS, FALLEN TREES OR OTHER MATERIALS BE PLACED, STOCKPILED OR LEFT STANDING IN THE TREE PROTECTION ZONE.
6. SOIL MODIFICATIONS
A. CONTRACTOR SHALL ATTAIN A SOIL TEST FOR ALL AREAS OF THE SITE PRIOR TO CONDUCTING ANY PLANTING. SOIL TESTS SHALL BE PERFORMED BY A CERTIFIED SOIL LABORATORY.
B. LANDSCAPE CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL. SOIL MODIFICATIONS, AS SPECIFIED HEREIN, MAY NEED TO BE CONDUCTED BY THE LANDSCAPE CONTRACTOR DEPENDING ON SITE CONDITIONS.
C. THE FOLLOWING AMENDMENTS AND QUANTITIES ARE APPROXIMATE AND ARE FOR BIDDING PURPOSES ONLY. COMPOSITION OF AMENDMENTS SHOULD BE REVISED DEPENDING ON THE OUTCOME OF A TOPSOIL ANALYSIS PERFORMED BY A CERTIFIED SOIL LABORATORY.
I. TO INCREASE A SANDY SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS, THOROUGHLY TILL ORGANIC MATTER INTO THE TOP 6-12" USE COMPOSTED BARK, COMPOSTED LEAF MULCH OR PEAT MOSS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID MATERIAL WITH A PH HIGHER THAN 7.5.
II. TO INCREASE DRAINAGE, MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR AGRICULTURAL GYPSUM.
COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX. SUBSURFACE DRAINAGE LINES MAY NEED TO BE ADDED TO INCREASE DRAINAGE.
III. MODIFY EXTREMELY SANDY SOILS (MORE THAN 85%) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.
7. FINISHED GRADING
A. UNLESS OTHERWISE CONTRACTED, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE GRADING WITHIN THE DISTURBANCE AREA OF THE SITE.
B. LANDSCAPE CONTRACTOR SHALL VERIFY THAT SUBGRADE FOR INSTALLATION OF TOPSOIL HAS BEEN ESTABLISHED. THE SUBGRADE OF THE SITE MUST MEET THE FINISHED GRADE LESS THE REQUIRED TOPSOIL THICKNESS (1")±.
C. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED WITHIN THIS SET OF CONSTRUCTION PLANS, UNLESS OTHERWISE DIRECTED BY THE PROJECT ENGINEER OR LANDSCAPE ARCHITECT.
D. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER IN AND AROUND THE PLANTING BEDS. STANDING WATER SHALL NOT BE PERMITTED IN PLANTING BEDS.
8. TOPSOILING
A. CONTRACTOR SHALL PROVIDE A 6" THICK MINIMUM LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, IN ALL PLANTING AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS.
B. ON-SITE TOPSOIL MAY BE USED TO SUPPLEMENT THE TOTAL AMOUNT REQUIRED. TOPSOIL FROM THE SITE MAY BE REJECTED IF IT HAS NOT BEEN PROPERLY REMOVED, STORED AND PROTECTED PRIOR TO CONSTRUCTION.
C. CONTRACTOR SHALL FURNISH TO THE APPROVING AGENCY AN ANALYSIS OF BOTH IMPORTED AND ON-SITE TOPSOIL TO BE UTILIZED IN ALL PLANTING AREAS. THE PH AND NUTRIENT LEVELS MAY NEED TO BE ADJUSTED THROUGH SOIL MODIFICATIONS AS NEEDED TO ACHIEVE THE REQUIRED LEVELS AS SPECIFIED IN THE MATERIALS SECTION ABOVE.

D. ALL LAWN AREAS ARE TO BE CULTIVATED TO A DEPTH OF SIX INCHES (6"). ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES SECTION ABOVE. THE FOLLOWING SHALL BE TILLED INTO THE TOP FOUR INCHES (4") IN TWO DIRECTIONS (QUANTITIES BASED ON 4,100 SODS PER ACRE) (SEE SPECIFICATION 6.A.):
I. 20 POUNDS GRO-POWER OR APPROVED SOIL CONDITIONER/FERTILIZER
II. 20 POUNDS NITRO-FORM (COURSE) 38-0-0 BLUE CHIP OR APPROVED NITROGEN FERTILIZER
E. THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN CONDITIONS.
9. PLANTING
A. INsofar THAT IT IS FEASIBLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THAT THIS IS NOT POSSIBLE, LANDSCAPE CONTRACTOR SHALL PROTECT UNINSTALLED PLANT MATERIAL. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. PLANTS THAT WILL NOT BE PLANTED FOR A PERIOD OF TIME GREATER THAN THREE DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH TO HELP PRESERVE ROOT MOISTURE.
B. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION.
C. ANY INJURED ROOTS OR BRANCHES SHALL BE PRUNED TO MAKE CLEAN-CUT ENDS PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS. ONLY INJURED OR DISEASED BRANCHING SHALL BE REMOVED.
D. ALL PLANTING CONTAINERS, BASKETS AND NON-BIODEGRADABLE MATERIALS SHALL BE REMOVED FROM ROOT BALLS DURING PLANTING. NATURAL FIBER BURLAP MUST BE CUT FROM AROUND THE TRUNK OF THE TREE AND FOLDED DOWN AGAINST THE ROOT BALL PRIOR TO BACKFILLING.
E. POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO EXCAVATING PITS, MAKING NECESSARY ADJUSTMENTS AS DIRECTED.
F. PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE PROPOSED LANDSCAPE, AS SHOWN ON THE APPROVED LANDSCAPE PLAN, MUST BE INSTALLED, INSPECTED AND APPROVED BY THE APPROVING AGENCY. THE APPROVING AGENCY SHALL TAKE INTO ACCOUNT SEASONAL CONSIDERATIONS IN THIS REGARD AS FOLLOWS: THE PLANTING OF TREES, SHRUBS, VINES OR GROUND COVER SHALL OCCUR ONLY DURING THE FOLLOWING PLANTING SEASONS:
I. PLANTS: MARCH 15 TO DECEMBER 15
II. LAWN: MARCH 15 TO JUNE 15 OR SEPT. 1 TO DECEMBER 1
PLANTINGS REQUIRED FOR A CERTIFICATE OF OCCUPANCY SHALL BE PROVIDED DURING THE NEXT APPROPRIATE SEASON AT THE MUNICIPALITY'S DISCRETION. CONTRACTOR SHOULD CONTACT APPROVING AGENCY FOR POTENTIAL SUBSTITUTIONS.
G. FURTHERMORE, THE FOLLOWING TREE VARIETIES ARE USUALLY SUSCEPTIBLE TO WINTER DAMAGE, WITH TRANSPLANT SHOCK AND THE SEASONAL LACK OF NITROGEN AVAILABILITY, THE RISK OF PLANT DEATH IS GREATLY INCREASED. IT IS NOT RECOMMENDED THAT THESE SPECIES BE PLANTED DURING THE FALL PLANTING SEASON:
ACER RUBRUM
PLATANUS X ACERIFOLIA
BETULA VARIETIES
POPULUS VARIETIES
CARPINUS VARIETIES
PRUNUS VARIETIES
CRATAEGUS VARIETIES
PYRUS VARIETIES
KOELREUTHERA
QUERCUS VARIETIES
LIQUIDAMBAR STYRACIFLUA
TILIA TOMENTOSA
LIRIODENDRON TULIPIFERA
ZELKOVA VARIETIES
H. PLANTING PITS SHALL BE DUG WITH LEVEL BOTTOMS, WITH THE WIDTH TWICE THE DIAMETER OF ROOT BALL. THE ROOT BALL SHALL REST ON UNDISTURBED GRADE. EACH PLANT PIT SHALL BE BACKFILLED IN LAYERS WITH THE FOLLOWING PREPARED SOIL MIXED THOROUGHLY:
I. 1 PART PEAT MOSS
II. 1 PART COMPOSTED COW MANURE BY VOLUME
III. 3 PARTS TOPSOIL BY VOLUME
IV. 21 GRAMS 'AGRIFORM' PLANTING TABLETS (OR APPROVED EQUAL) AS FOLLOWS:
A) 2 TABLETS PER 1 GALLON PLANT
B) 3 TABLETS PER 5 GALLON PLANT
C) 4 TABLETS PER 15 GALLON PLANT
D) LARGER PLANTS: 2 TABLETS PER 1/2" CALIPER OF TRUNK
I. FILL PREPARED SOIL AROUND BALL OF PLANT HALF-WAY AND INSERT PLANT TABLETS. COMPLETE BACKFILL AND WATER THOROUGHLY.
J. ALL PLANTS SHALL BE PLANTED SO THAT THE TOP OF THE ROOT BALL, THE POINT AT WHICH THE ROOT FLARE BEGINS, IS SET AT GROUND LEVEL AND IN THE CENTER OF THE PIT. NO SOIL IS TO BE PLACED DIRECTLY ON TOP OF THE ROOT BALL.
K. ALL PROPOSED TREES DIRECTLY ADJACENT TO WALKWAYS OR DRIVEWAYS SHALL BE PRUNED AND MAINTAINED TO A MINIMUM BRANCHING HEIGHT OF 7' FROM GRADE.
L. GROUND COVER AREAS SHALL RECEIVE A 1/2" LAYER OF HUMUS RAKED INTO THE TOP 1" OF PREPARED SOIL PRIOR TO PLANTING. ALL GROUND COVER AREAS SHALL BE WEEDED AND TREATED WITH A PRE-EMERGENT CHEMICAL AS PER MANUFACTURER'S RECOMMENDATION.
M. NO PLANT, EXCEPT GROUND COVERS, GRASSES OR VINES, SHALL BE PLANTED LESS THAN TWO FEET (2') FROM EXISTING STRUCTURES AND SIDEWALKS.
N. ALL PLANTING AREAS AND PLANTING PITS SHALL BE MULCHED AS SPECIFIED HEREIN TO FILL THE ENTIRE BED AREA OR SAUCER. NO MULCH IS TO TOUCH THE TRUNK OF THE TREE OR SHRUB.
O. ALL PLANTING AREAS SHALL BE WATERED IMMEDIATELY UPON INSTALLATION IN ACCORDANCE WITH THE WATERING SPECIFICATIONS AS LISTED HEREIN.
10. TRANSPLANTING (WHEN REQUIRED)
A. ALL TRANSPLANTS SHALL BE DUG WITH INTACT ROOT BALLS CAPABLE OF SUSTAINING THE PLANT.
B. IF PLANTS ARE TO BE STOCKPILED BEFORE REPLANTING, THEY SHALL BE HEALED IN WITH MULCH OR SOIL, ADEQUATELY WATERED AND PROTECTED FROM EXTREME HEAT, SUN AND WIND.
C. PLANTS SHALL NOT BE DUG FOR TRANSPLANTING BETWEEN APRIL 10 AND JUNE 30.
D. UPON REPLANTING, BACKFILL SOIL SHALL BE AMENDED WITH FERTILIZER AND ROOT GROWTH HORMONE.
E. TRANSPLANTS SHALL BE GUARANTEED FOR THE LENGTH OF THE GUARANTEE PERIOD SPECIFIED HEREIN.
F. IF TRANSPLANTS DIE, SHRUBS AND TREES LESS THAN SIX INCHES (6") DBH SHALL BE REPLACED IN KIND. TREES GREATER THAN SIX INCHES (6") DBH MAY BE REQUIRED TO BE REPLACED IN ACCORDANCE WITH THE MUNICIPALITY'S TREE REPLACEMENT GUIDELINES.
11. WATERING
A. NEW PLANTINGS OR LAWN AREAS SHALL BE ADEQUATELY IRRIGATED BEGINNING IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACKFILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED. WATERING SHALL CONTINUE AT LEAST UNTIL PLANTS ARE ESTABLISHED.
B. SITE OWNER SHALL PROVIDE WATER IF AVAILABLE ON SITE AT TIME OF PLANTING. IF WATER IS NOT AVAILABLE ON SITE, CONTRACTOR SHALL SUPPLY ALL NECESSARY WATER. THE USE OF WATERING BAGS IS RECOMMENDED FOR ALL NEWLY PLANTED TREES.
C. IF AN IRRIGATION SYSTEM HAS BEEN INSTALLED ON THE SITE, IT SHALL BE USED TO WATER PROPOSED PLANT MATERIAL, BUT ANY FAILURE OF THE SYSTEM DOES NOT ELIMINATE THE CONTRACTOR'S RESPONSIBILITY OF MAINTAINING THE DESIRED MOISTURE LEVEL FOR VIGOROUS, HEALTHY GROWTH.
12. GUARANTEE
A. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF 1 YEAR FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE APPROVING AGENCY. CONTRACTOR SHALL SUPPLY THE OWNER WITH A MAINTENANCE BOND FOR TEN PERCENT (10%) OF THE VALUE OF THE LANDSCAPE INSTALLATION WHICH WILL BE RELEASED AT THE CONCLUSION OF THE GUARANTEE PERIOD AND WHEN A FINAL INSPECTION HAS BEEN COMPLETED AND APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.
B. ANY DEAD OR DYING PLANT MATERIAL SHALL BE REPLACED FOR THE LENGTH OF THE GUARANTEE PERIOD. REPLACEMENT OF PLANT MATERIAL SHALL BE CONDUCTED AT THE FIRST SUCCEEDING PLANTING SEASON. ANY DEBRIS SHALL BE DISPOSED OF OFF-SITE, WITHOUT EXCEPTION.
C. TREES AND SHRUBS SHALL BE MAINTAINED BY THE CONTRACTOR DURING CONSTRUCTION AND THROUGHOUT THE 90 DAY MAINTENANCE PERIOD AS SPECIFIED HEREIN. CULTIVATION, WEEDING, WATERING AND THE PREVENTATIVE TREATMENTS SHALL BE PERFORMED AS NECESSARY TO KEEP PLANT MATERIAL IN GOOD CONDITION AND FREE OF INSECTS AND DISEASE.
D. LAWNS SHALL BE MAINTAINED THROUGH WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING, REGARDING AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF ERODED OR BARE AREAS.
13. CLEANUP
A. UPON THE COMPLETION OF ALL LANDSCAPE INSTALLATION AND BEFORE THE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL UNUSED MATERIALS, EQUIPMENT AND DEBRIS FROM THE SITE. ALL PAVED AREAS ARE TO BE CLEANED.
B. THE SITE SHALL BE CLEANED AND LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.
14. MAINTENANCE (ALTERNATIVE BID):
A 90 DAY MAINTENANCE PERIOD SHALL COMMENCE AT THE END OF ALL LANDSCAPE INSTALLATION OPERATIONS. THE 90 DAY MAINTENANCE PERIOD ENSURES TO THE OWNER/OPERATOR THAT THE NEWLY INSTALLED LANDSCAPING HAS BEEN MAINTAINED AS SPECIFIED ON THE APPROVED LANDSCAPE PLAN. ONCE THE INITIAL 90 DAY MAINTENANCE PERIOD HAS EXPIRED, THE OWNER/OPERATOR OR MAY REQUEST THAT BIDDERS SUBMIT AN ALTERNATE MAINTENANCE BID FOR A MONTHLY MAINTENANCE CONTRACT. THE ALTERNATE MAINTENANCE CONTRACT WILL ENCUMBER ANY WORK THAT IS CONSIDERED APPROPRIATE TO ENSURE THAT PLANT AND LAWN AREAS ARE HEALTHY AND MANICURED TO THE APPROVAL OF THE OWNER/OPERATOR.

1. NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT.
2. REMOVE ALL NON-BIODEGRADABLE MATERIAL AND ROPE FROM TRUNK & TOP OF ROOT BALL. FOLD BURLAP BACK 1/3" FROM ROOT BALL.
3. PLANTING DEPTH SHALL BE THE SAME AS GROWN IN NURSERY.
4. THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
5. THE BOTTOM OF PLANTING PIT EXCAVATIONS SHOULD BE ROUGH TO AVOID MATTING OF SOIL LAYERS AS NEW SOIL IS ADDED. IT IS PREFERABLE TO TILL THE FIRST LIFT (2 TO 3 IN.) OF PLANTING SOIL INTO THE SUBSOIL.
6. REFER TO THE CHART "GENERAL RANGE OF SOIL MODIFICATIONS & VOLUMES FOR VARIOUS SOIL CONDITIONS" TO DETERMINE MINIMUM WIDTH OF PREPARED SOIL (X).
7. SUBSTITUTE ARBORVITAE STAKING SYSTEM WHEN SPECIFIED.

REINFORCED RUBBER HOSE (1/2" DIA. BLACK)

FOLD BURLAP AWAY FROM TOP OF ROOT BALL

12 GAUGE GALVANIZED WIRE GUY'S TWISTED

2" DIA. HARDWOOD STAKES 23 TYP. HT. 3 PER TREE

TWICE THE WIDTH OF ROOTBALL FOR PREPARED SOIL FOR TREES

PREPARED SOIL FOR TREES
1 PART PEAT MOSS
1 PART COW MANURE
3 PARTS TOPSOIL
(RECOMMENDATION ONLY, SEE SOIL MOD. CHART)

UNDISTURBED SUBGRADE

DIG WIDE, SHALLOW HOLE WITH TAMPED SIDES

TAMP SOIL SOLIDLY AROUND BASE OF ROOT BALL

SET ROOT BALL FLUSH TO GRADE OR SEVERAL INCHES HIGHER IN POORLY DRAINING SOILS.

4" BUILT-UP EARTH SAUCER

3" DOUBLE SHREDDED HARDWOOD BARK MULCH (UNLESS OTHERWISE SPECIFIED) (DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK)

LANDSCAPE FABRIC AS SPECIFIED.

ALL PLANTING CONTAINERS, BASKETS AND NON-BIODEGRADABLE MATERIALS SHALL BE REMOVED FROM ROOT BALLS.

SET ROOT BALL ON UNDISTURBED SOIL IN BOTTOM OF HOLE

TREE PLANTING DETAIL

N.T.S.

1. PRIOR TO SEEDING, AREA IS TO BE TOPSOILED, FINE GRADED, AND RAKED OF ALL DEBRIS LARGER THAN 2" DIAMETER.
2. PRIOR TO SEEDING, CONSULT MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.
3. SPECIES:
RIVERBANK WILD RYE (ELYMUS RIPARIUS),
CREEPING RED FESCUE (FESTUCA RUBRA),
LITTLE BLUESTEM (SCHIZACHYRIUM SCOPARIUM),
BIG BLUESTEM (ANDROPOGON GERARDI),
SWITCH GRASS (PANICUM VIRGATUM),
UPLAND BENTGRASS (AGROSTIS PERENNANS),
NODDING BUR MARIGOLD (BIDENS CERNUA),
NEW ENGLAND ASTER (ASTER NOVE-ANGIAE),
BONESET (EUPATORIUM PERFOLIATUM),
BLUE VERVAIN (VERBENA HASTATA),
SOFT RUSH (JUNCUS EFFRUSUS),
WOOL GRASS (SCIRPUS CYPERINUS).
4. APPLICATION RATE: 35 lbs/acre @ 1250 sq ft/lb

WET SEED MIX

N.T.S.

PLANT SHALL BE PLANTED SO THAT THE POINT AT WHICH THE ROOT FLARE BEGINS IS SET LEVEL WITH GRADE. CUT AND REMOVE BURLAP FROM TOP ONE-THIRD OF ROOT BALL AS SHOWN.

FOR CONTAINER-GROWN SHRUBS, PLANT SHALL BE TRANSPLANTED AT THE SAME GRADE AS IN THE CONTAINER. REMOVE THE CONTAINER, USE FINGER OR SMALL HAND TOOLS TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL, THEN CUT OR PULL APART ANY ROOTS THAT CIRCLE THE PERIMETER OF THE CONTAINER.

3" DOUBLE SHREDDED HARDWOOD BARK MULCH (DO NOT PUT MULCH AGAINST THE BASE OF THE PLANT).

LANDSCAPE FABRIC AS SPECIFIED

FINISHED GRADE

PLACE SHRUB ON FIRM SOIL IN BOTTOM OF HOLE.

UNDISTURBED SUBGRADE

WHEN APPROPRIATE, PLANT MULTIPLE SHRUBS IN CONTINUOUS PLANTING HOLE.

PLANTING MIX:
1 PART PEAT MOSS
1 PART COW MANURE
3 PARTS TOPSOIL
(SEE SOIL MODIFICATION CHART)

BEFORE PLANTING, ADD 3" TO 4" OF WELL-COMPOSTED LEAVES AND RECYCLED YARD WASTE TO BED AND TILL INTO TOP 6" OF PREPARED SOIL.

SOIL SURFACE ROUGHENED TO BIND WITH NEW SOIL.

24" MINIMUM

SHRUB PLANTING DETAIL

N.T.S.

INCORPORATE 2" OF PEAT INTO 6" OF PLANTING MIXTURE, AS SPECIFIED

1" DOUBLE SHREDDED HARDWOOD BARK MULCH

EDGING (AS SPECIFIED)

FINISHED GRADE

TOPSOIL

GROUND COVER PLANTING

N.T.S.

1. PRIOR TO SEEDING, AREA IS TO BE TOPSOILED, FINE GRADED, AND RAKED OF ALL DEBRIS LARGER THAN 2" DIAMETER.
2. PRIOR TO SEEDING, CONSULT MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.
3. SEEDING RATES:
PERENNIAL RYEGRASS 1/2 LB/1000 SQ FT
KENTUCKY BLUEGRASS 1 LB/1000 SQ FT
RED FESCUE 1/2 LB/1000 SQ FT
SPREADING FESCUE 1/2 LB/1000 SQ FT
FERTILIZER (16-32-16) 2 LB/1000 SQ FT
LIQUID LIME 1 GAL/800 GAL
TANK TACKIFIER 35 LB/800 GAL
TANK FIBER MULCH 30 LB/1000 SQ FT
4. GERMINATION MATERIAL WILL VARY AS TO TIME OF YEAR FOR SOWING. CONTRACTOR TO IRRIGATE SEEDING AREA UNTIL AN ACCEPTABLE STAND OF COVER IS ESTABLISHED BY OWNER.

HYDROSEED SPECIFICATIONS

N.T.S.

METHODS AND MATERIALS
1. CULTIVATED SOD IS PREFERRED OVER NATIVE OR PASTURE SOD. SPECIFY "CERTIFIED SOD," OR OTHER HIGH QUALITY CULTIVATED SOD.
2. SOD SHOULD BE FREE OF WEEDS AND UNDESIRABLE COARSE WEEDY GRASSES.
3. SOD SHOULD BE OF UNIFORM THICKNESS, APPROXIMATELY 50 INCH, PLUS OR MINUS 1/4 INCH, AT TIME OF CUTTING. (EXCLUDES TOP GROWTH).
4. SOD SHOULD BE VIGOROUS AND DENSE AND BE ABLE TO RETAIN ITS OWN SHAPE AND WEIGHT WHEN SUSPENDED VERTICALLY WITH A FIRM GRASP FROM THE UPPER 10 PERCENT OF THE STRIP. BROKEN PADS OR TORN AND UNEVEN EDGES WILL NOT BE ACCEPTABLE.
5. FOR DRAUGHT SITES, A SOD OF KENTUCKY 31 TALL FESCUE AND BLUEGRASS IS PREFERRED OVER A STRAIGHT BLUEGRASS SOD.
6. ONLY MOIST, FRESH, UNHEATED SOD SHOULD BE USED. SOD SHOULD BE HARVESTED, DELIVERED, AND INSTALLED WITHIN A PERIOD OF 36 HOURS.
5. SITE PREPARATION
A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR LIMING, FERTILIZING, AND SOIL PREPARATION. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARD FOR LAND GRADING.
B. INSTALL NEEDED EROSION CONTROL, PRACTICES AND FACILITIES, SUCH AS INTERCEPTOR DITCHES, DIKES AND TERRACES, EROSION STOPS, AND DE-SILTING BASINS.
6. SOIL PREPARATION
A. APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TESTS SUCH AS THOSE OFFERED BY RUTGERS UNIVERSITY SOIL TESTING LABORATORY. SOIL SAMPLE MAILERS ARE AVAILABLE FROM THE LOCAL COOPERATIVE EXTENSION SERVICE OFFICE. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET OF 10-20-10 OR EQUIVALENT. IN ADDITION, 300 POUNDS 38-0-0 PER ACRE OR EQUIVALENT OF SLOW RELEASE NITROGEN MAY BE USED IN LIEU OF TOP-DRESSING. APPLY LIMESTONE (EQUIVALENT TO 50 PERCENT CALCIUM PLUS MAGNESIUM OXIDES) AS FOLLOWS:
SOIL TEXTURE TONS/ACRE LBS/1000 SQ. FT.
CLAY, CLAY LOAM, AND HIGH ORGANIC SOIL 4 180
SANDY LOAM, LOAM, SILT LOAM 3 135
LOAMY SAND, SAND 2 90
B. WORK LIME AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICABLE TO A DEPTH OF 4 INCHES WITH A DISC, SPRING TOOTH HARROW, OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISCOING OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLY UNIFORM, FINE SEEDBED IS PREPARED.
C. REMOVE FROM THE SURFACE ALL OBJECTS THAT WOULD PREVENT GOOD SOD TO SOIL CONTACT AND REMOVE ALL OTHER DEBRIS, SUCH AS WIRE, CABLE, TREE ROOTS, PIECES OF CONCRETE, CLODS, LIMBS, OR OTHER UNSUITABLE MATERIAL.
D. INSPECT SITE JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RE-TILLED AND FIRMED AS ABOVE.
III. SOD PLACEMENT
A. SOD STRIPS SHOULD BE LAID ON THE CONTOUR, NEVER UP AND DOWN THE SLOPE, STARTING AT THE BOTTOM OF THE SLOPE AND WORKING UP, ON STEEP SLOPES, THE USE OF LADDERS WILL FACILITATE THE WORK AND PREVENT DAMAGE TO THE SOD. DURING PERIODS OF HIGH TEMPERATURE, LIGHTLY IRRIGATE THE SOD IMMEDIATELY PRIOR TO LAYING THE SOD.
B. PLACE SOD STRIPS WITH SHAG, EVEN JOINTS THAT ARE STAGGERED. OPEN SPACES INVITE EROSION.
C. ROLL OR TAMP SOD IMMEDIATELY FOLLOWING PLACEMENT TO INSURE SOLID CONTACT OF ROOT MAT AND SOIL SURFACE. DO NOT OVERLAP SOD. ALL JOINTS SHOULD BE BUTTED TIGHTLY IN ORDER TO PREVENT VOIDS WHICH WOULD CAUSE DRYING OF THE ROOTS.
D. ON SLOPES GREATER THAN 3 TO 1, SECURE SOD TO SURFACE SOIL WITH WOOD PEGS, WIRE STAPLES, OR SPLIT SHINGLES (8 TO 10 INCHES LONG BY 3/4 INCH WIDE).
E. SURFACE WATER CANNOT ALWAYS BE DIVERTED FROM FLOWING OVER THE FACE OF THE SLOPE, BUT A CAPPING STRIP OF HEAVY JUTE OR PLASTIC NETTING, PROPERLY SECURED, ALONG THE CROWN OF THE SLOPE AND EDGES WILL PROVIDE EXTRA PROTECTION AGAINST LIFTING AND UNDERCUTTING OF SOD. THE SAME TECHNIQUE CAN BE USED TO ANCHOR SOD IN WATER CARRYING CHANNELS AND OTHER CRITICAL AREAS. WIRE STAPLES MUST BE USED TO ANCHOR NETTING IN CHANNEL WORK.
F. IMMEDIATELY FOLLOWING INSTALLATION, SOD SHOULD BE WATERED UNTIL MOISTURE PENETRATES THE SOIL LAYER BENEATH SOD TO A DEPTH OF 4 INCHES. MAINTAIN OPTIMUM MOISTURE FOR AT LEAST TWO WEEKS, AND CONTINUE IRRIGATION THROUGHOUT ENTIRE SEASON.
IV. TOP-DRESSING IF SLOW RELEASE NITROGEN (300 POUNDS 38-0-0 PER ACRE OR EQUIVALENT) IS USED IN ADDITION TO SUGGESTED FERTILIZER, THEN A FOLLOW-UP OF TOP DRESSING IS NOT MANDATORY.
A. SPRING INSTALLATION OF SOD WILL REQUIRE AN APPLICATION OF FERTILIZER SUCH AS 10-20-10 OR EQUIVALENT AT 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET BETWEEN MARCH 15 AND APRIL 1.
B. FALL INSTALLATION OF SOD WILL REQUIRE THE ABOVE BETWEEN SEPTEMBER 1 AND OCTOBER 15.

STANDARD FOR PERMANENT STABILIZATION WITH SOD

METHODS AND MATERIALS
1. CULTIVATED SOD IS PREFERRED OVER NATIVE OR PASTURE SOD. SPECIFY "CERTIFIED SOD," OR OTHER HIGH QUALITY CULTIVATED SOD.
2. SOD SHOULD BE FREE OF WEEDS AND UNDESIRABLE COARSE WEEDY GRASSES.
3. SOD SHOULD BE OF UNIFORM THICKNESS, APPROXIMATELY 50 INCH, PLUS OR MINUS 1/4 INCH, AT TIME OF CUTTING. (EXCLUDES TOP GROWTH).
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B. FALL INSTALLATION OF SOD WILL REQUIRE THE ABOVE BETWEEN SEPTEMBER 1 AND OCTOBER 15.

GROUND COVER PLANTING

THE EDUCATION LAW OF THE STATE OF NEW YORK PROHIBITS ANY PERSON ALTERING ANYTHING ON THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATIONS, UNLESS IT IS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, WHERE SUCH ALTERATIONS ARE MADE, THE PROFESSIONAL ENGINEER MUST SIGN, SEAL, DATE AND DESCRIBE THE FULL EXTENT OF THE ALTERATION ON THE DRAWINGS AND/OR IN THE SPECIFICATIONS. (NYS EDUCATION LAW SECTION 7209-2)

LANDSCAPE NOTES AND DETAILS

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ALBANY, NY 12205
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Fax: (518) 438-0900
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CONNECTICUT LICENSE NO. 21834-1
NEW JERSEY LICENSE NO. 125680
MAINE LICENSE NO. 9490
NEW YORK LICENSE NO. 071084-1
FLORIDA LICENSE NO. 66202

SHEET TITLE:
LANDSCAPE NOTES AND DETAILS

SHEET NUMBER:
C-702

REVISION 1 - 12/10/2020

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SUSTAINABLE DESIGN
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REVISIONS

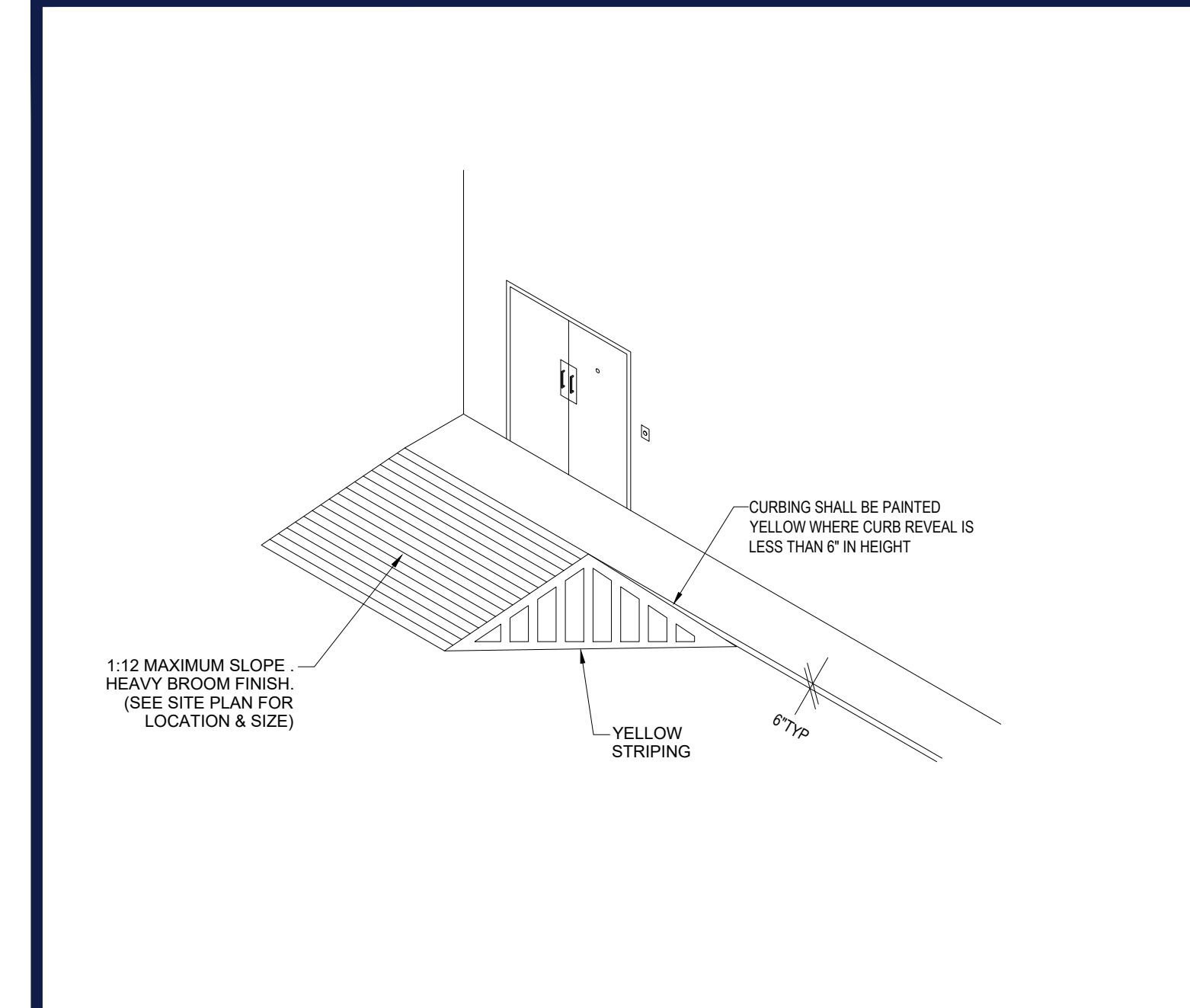
REV DATE COMMENT DRAWN BY CHECKED BY
1 12/10/20 1 PER TOWN AND DOT COMMENT MBL

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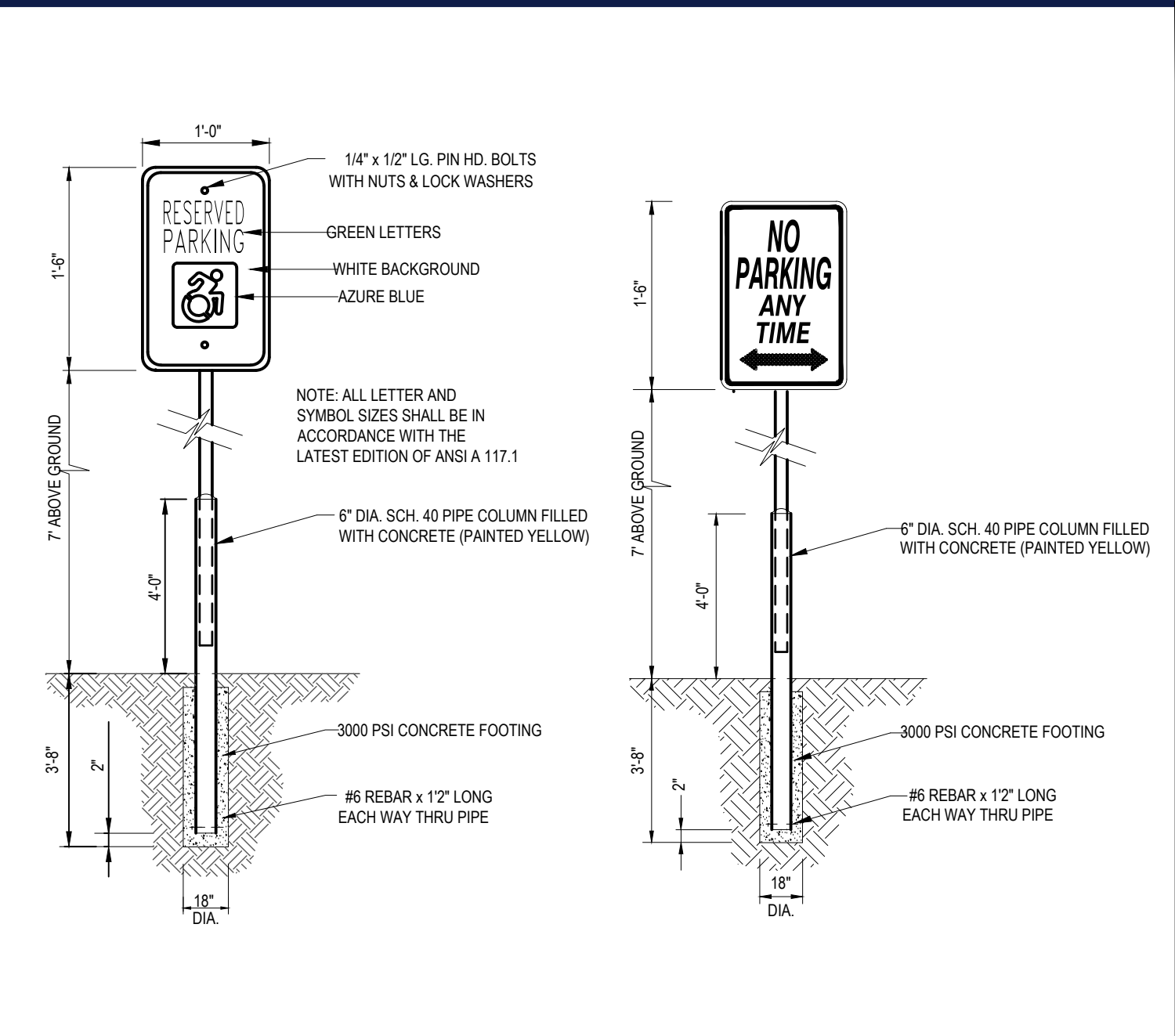
PROJECT No.: B200130
DRAWN BY: ~ NCM ~
CHECKED BY: ~ CVM / CEB ~
DATE: ~ 12/10/20 ~
GAD ID: B200130/S000
PROJECT:
PROPOSED SITE PLAN DOCUMENTS
FOR
HSC MILTON LLC.
PROPOSED DEVELOPMENT
MAP #103.1, BLOCK #2, LOT #74
NYS ROUTE 9W
TOWN OF MARLBOROUGH
ULSTER COUNTY
STATE OF NEW YORK
BOHLER
17 COMPUTER DRIVE WEST
ALBANY, NY 12205
Phone: (518) 438-9900
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SHEET TITLE:
LANDSCAPE NOTES AND DETAILS
SHEET NUMBER:
C-702
REVISION 1 - 12/10/2020

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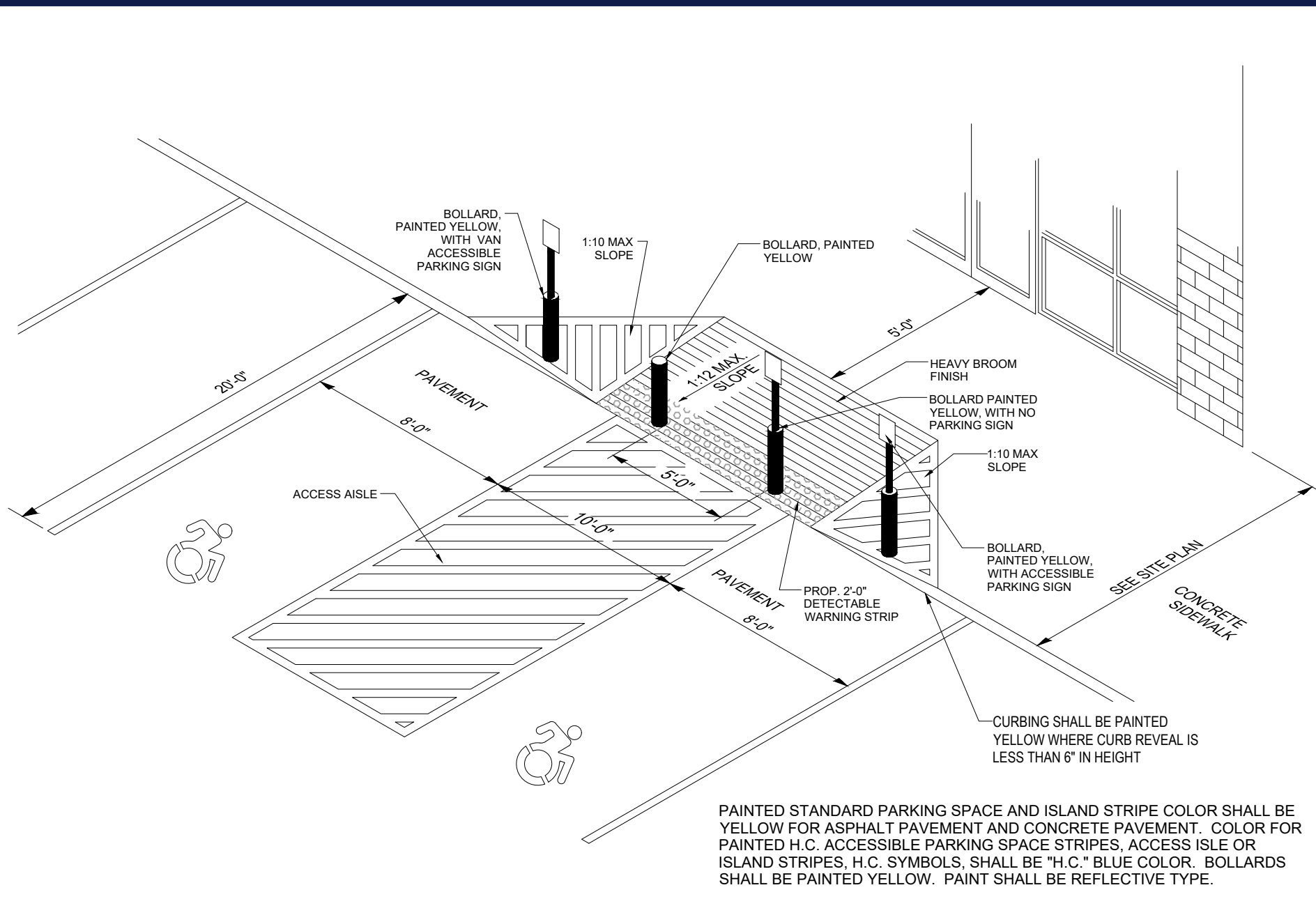
SERVICE RAMP DETAIL

N.T.S.



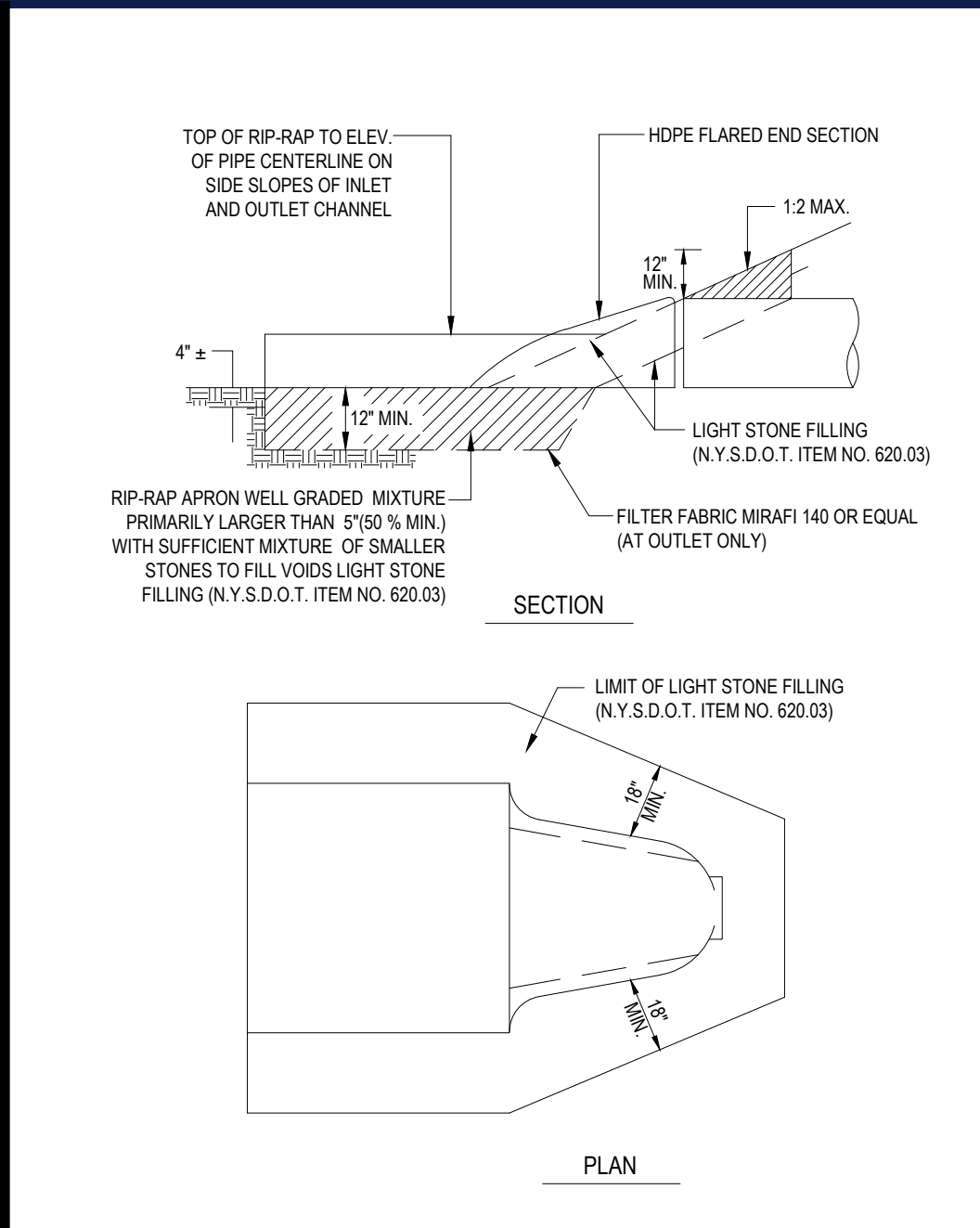
ACCESSIBLE / NO PARKING SIGN DETAILS

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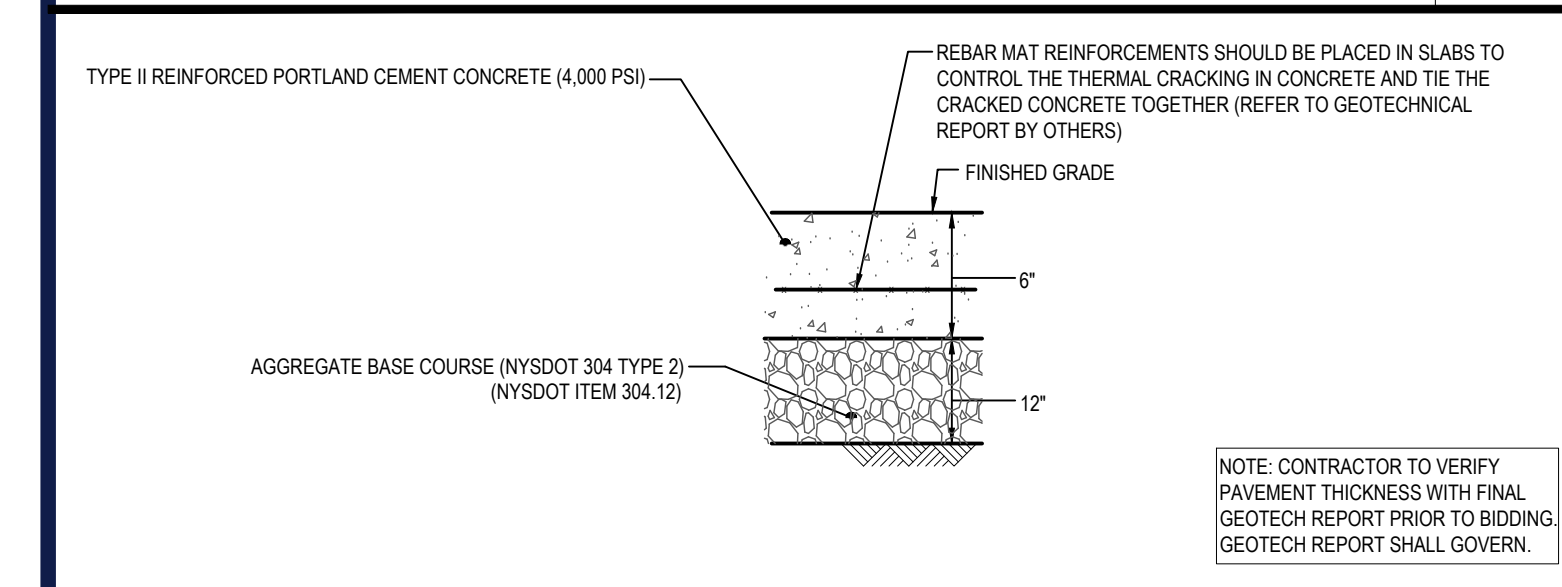
ACCESSIBLE PARKING & ACCESS AISLE DETAILS

N.T.S.



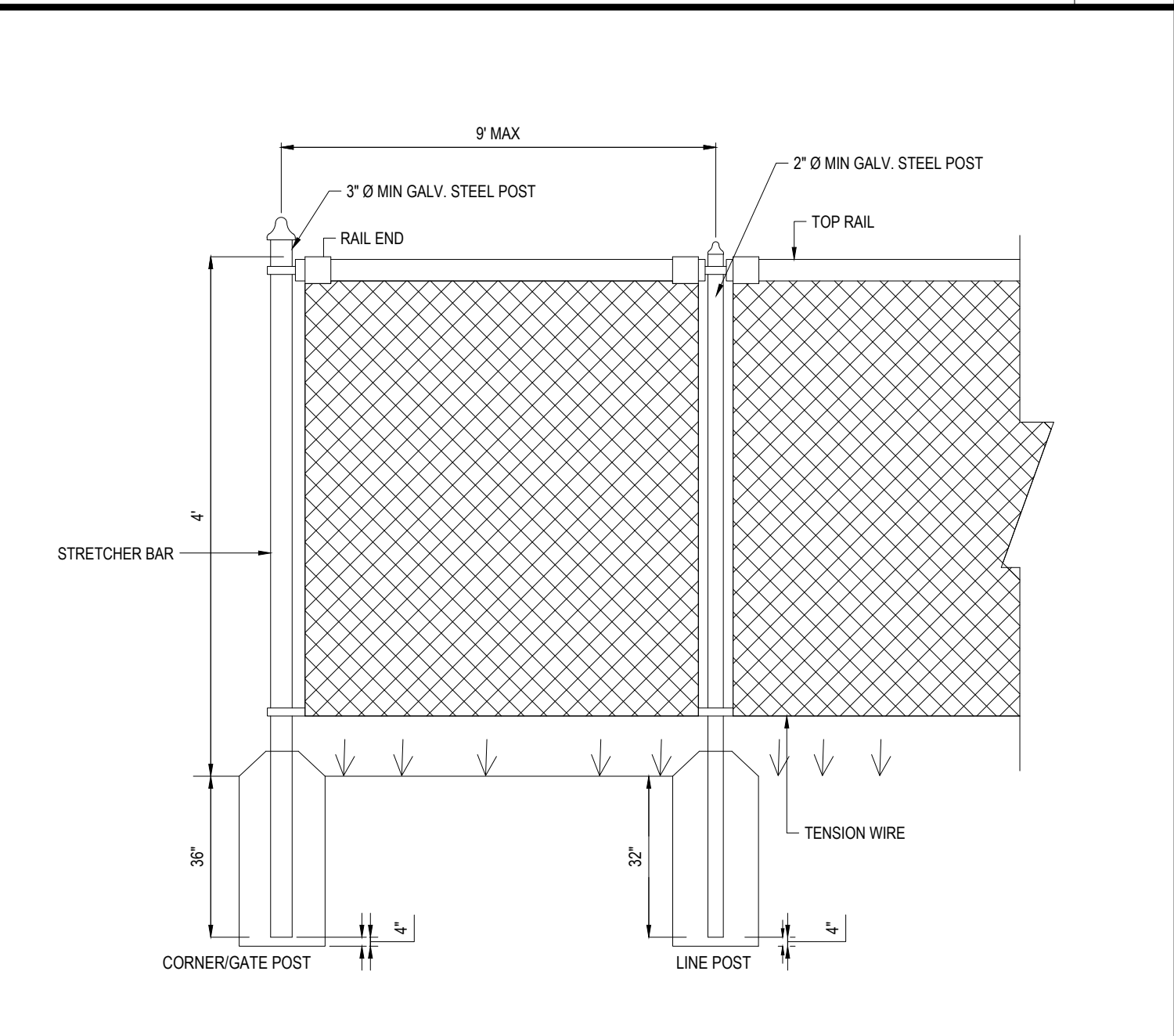
TYPICAL STORM SEWER END SECTION DETAIL

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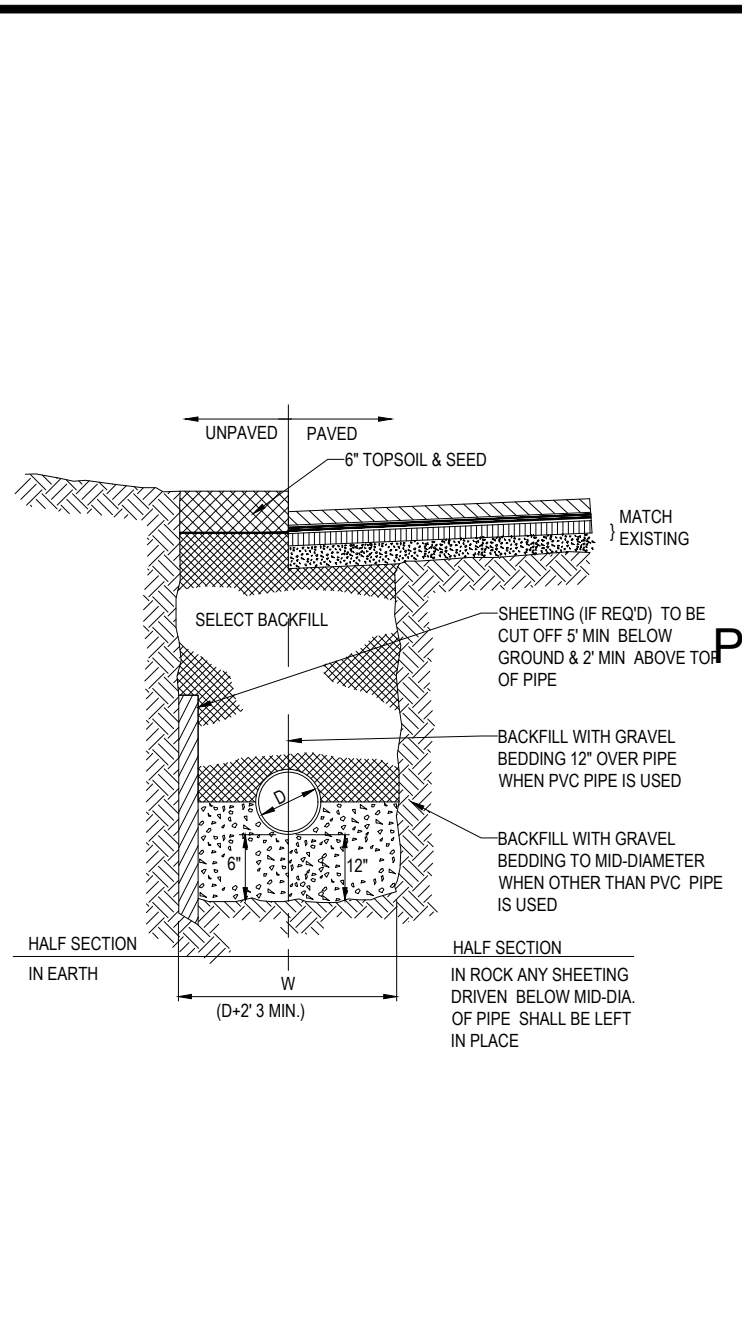
TYPICAL ON-SITE REINFORCED CONCRETE PAVEMENT DETAIL

N.T.S.



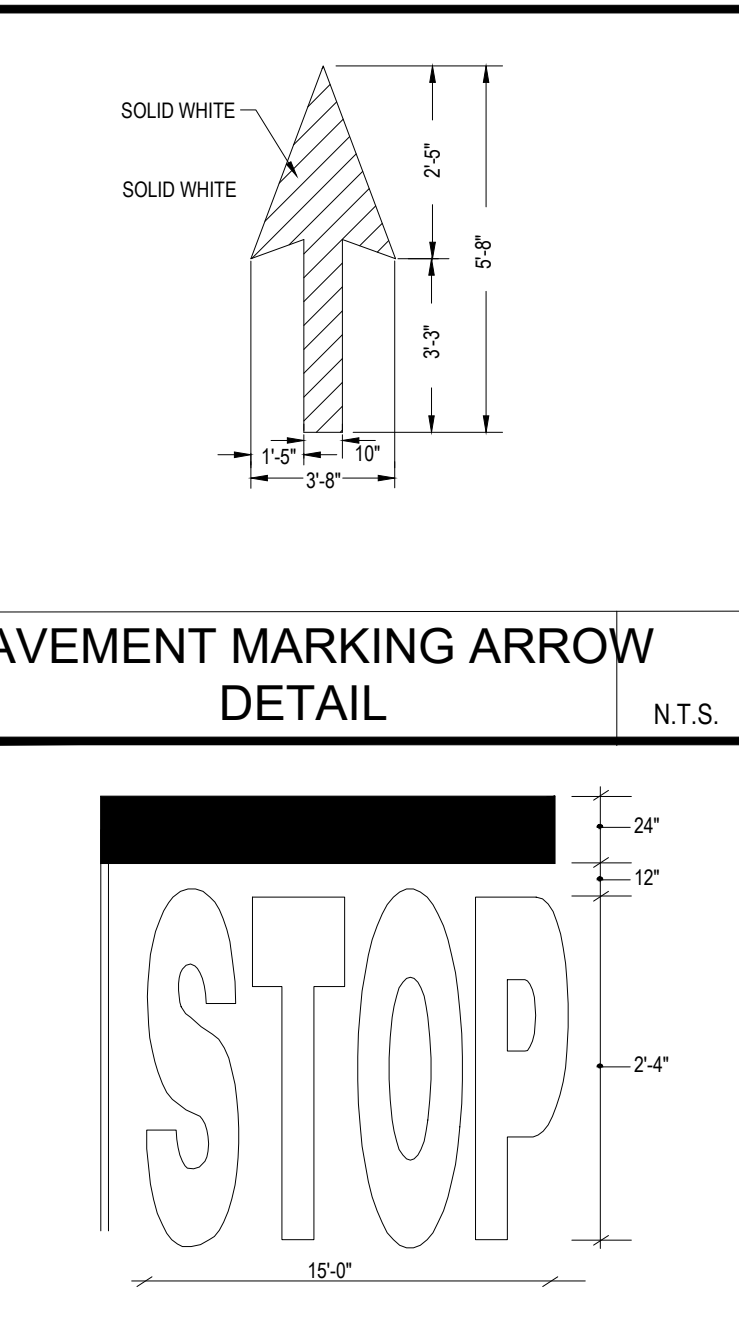
4' CHAIN LINK FENCE

N.T.S.



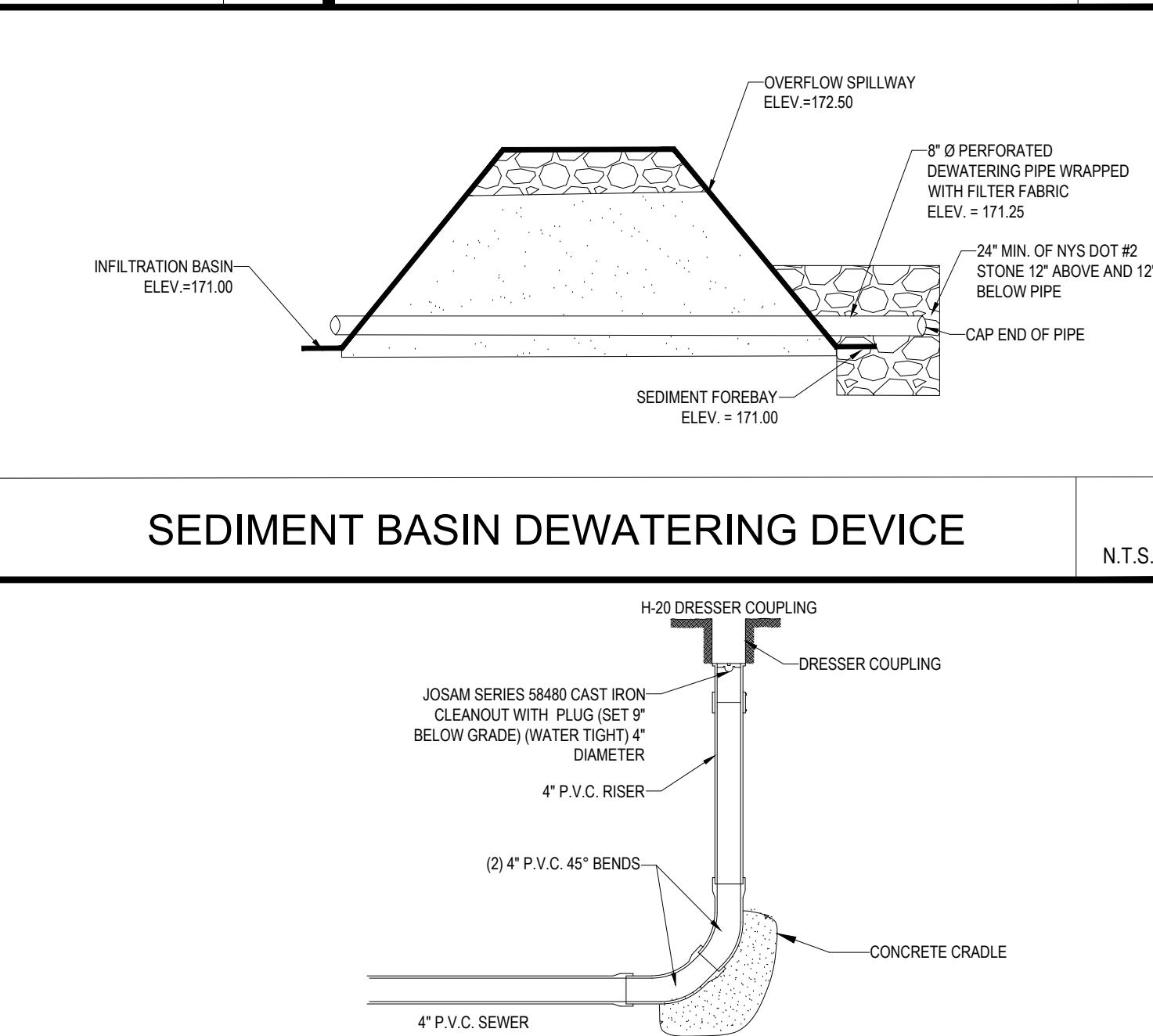
TYP. UTILITY TRENCH DETAIL

N.T.S.



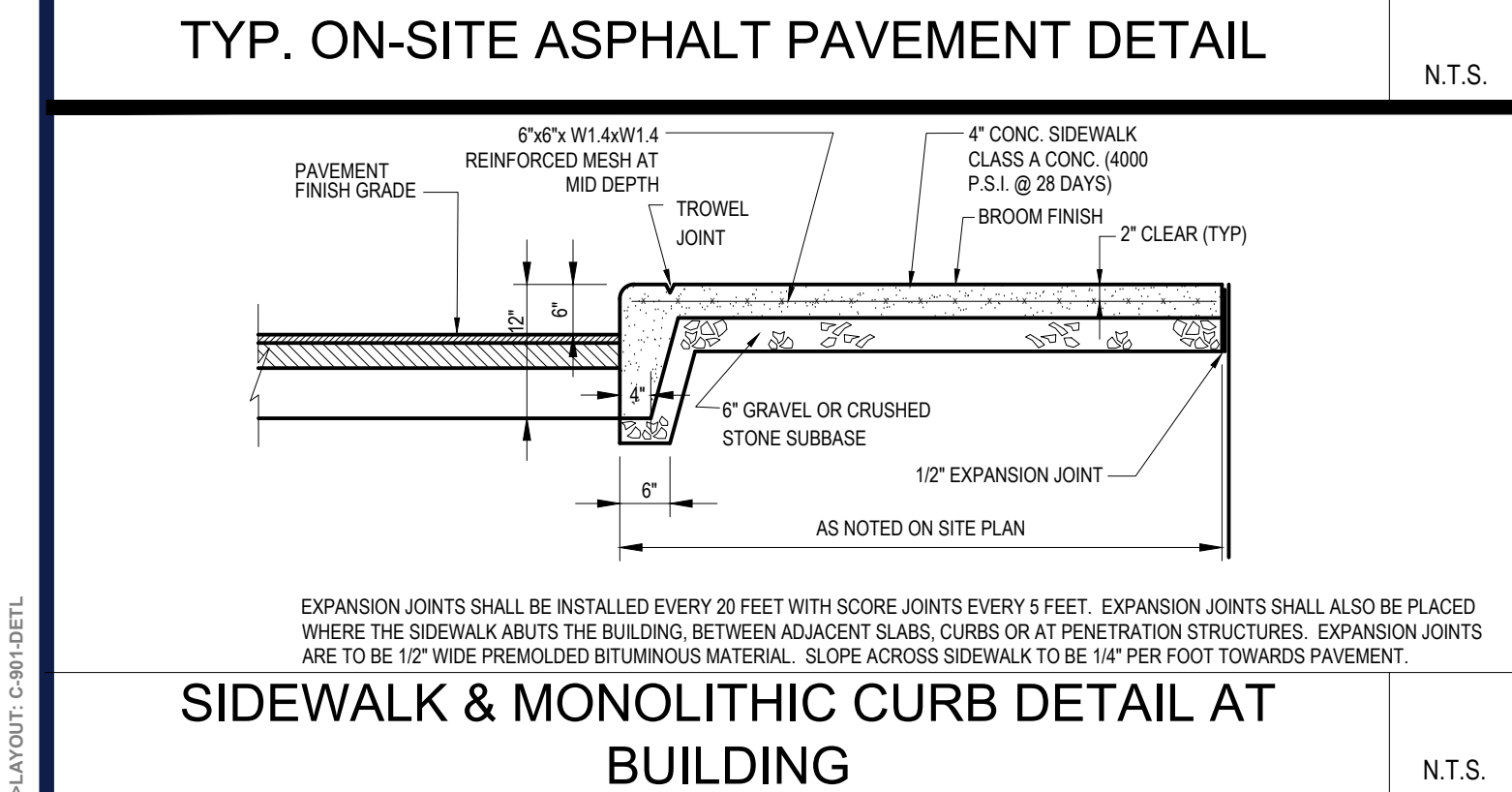
'STOP' BAR DETAIL

N.T.S.



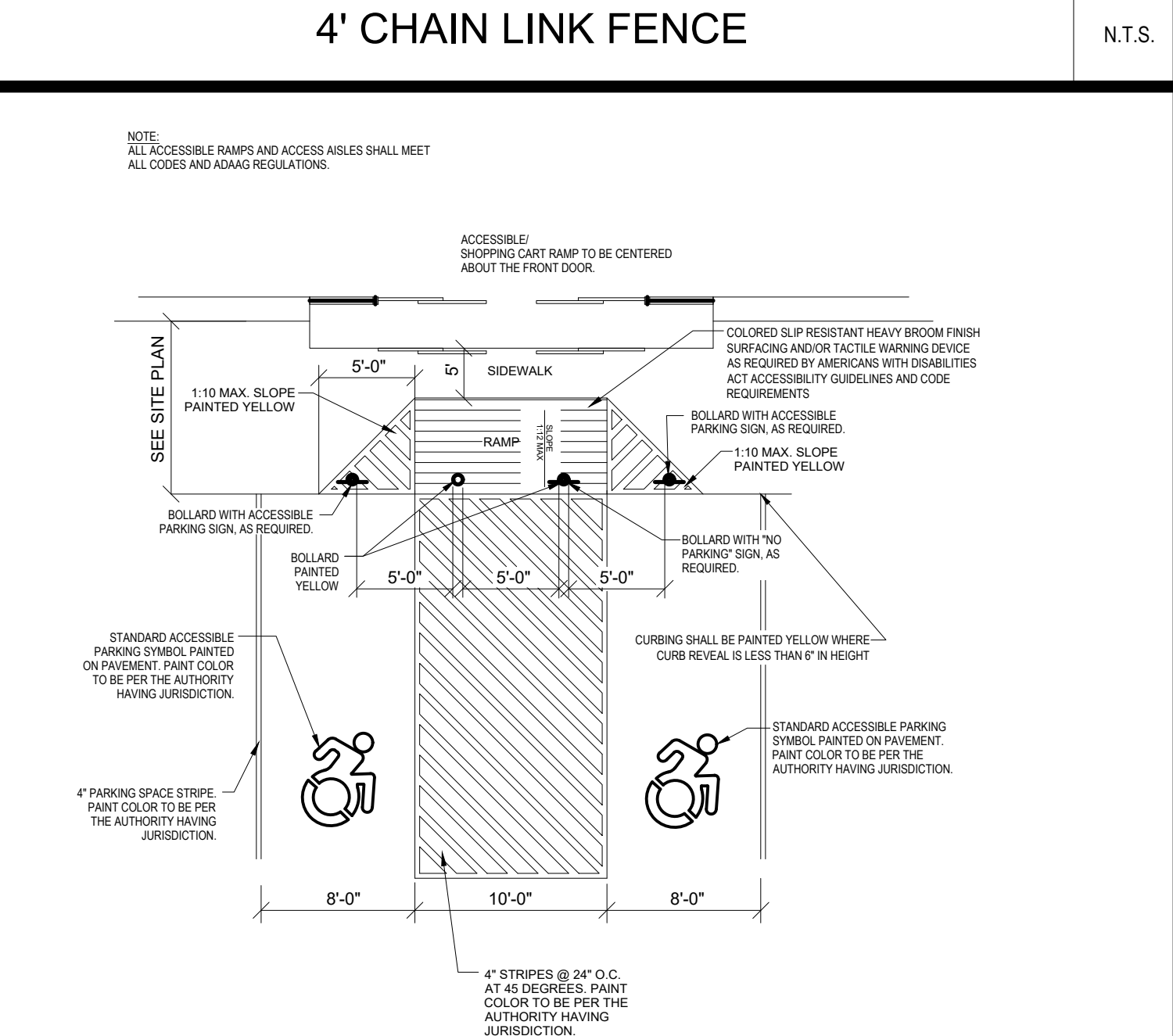
SEWER/DRAIN CLEANOUT DETAIL

N.T.S.



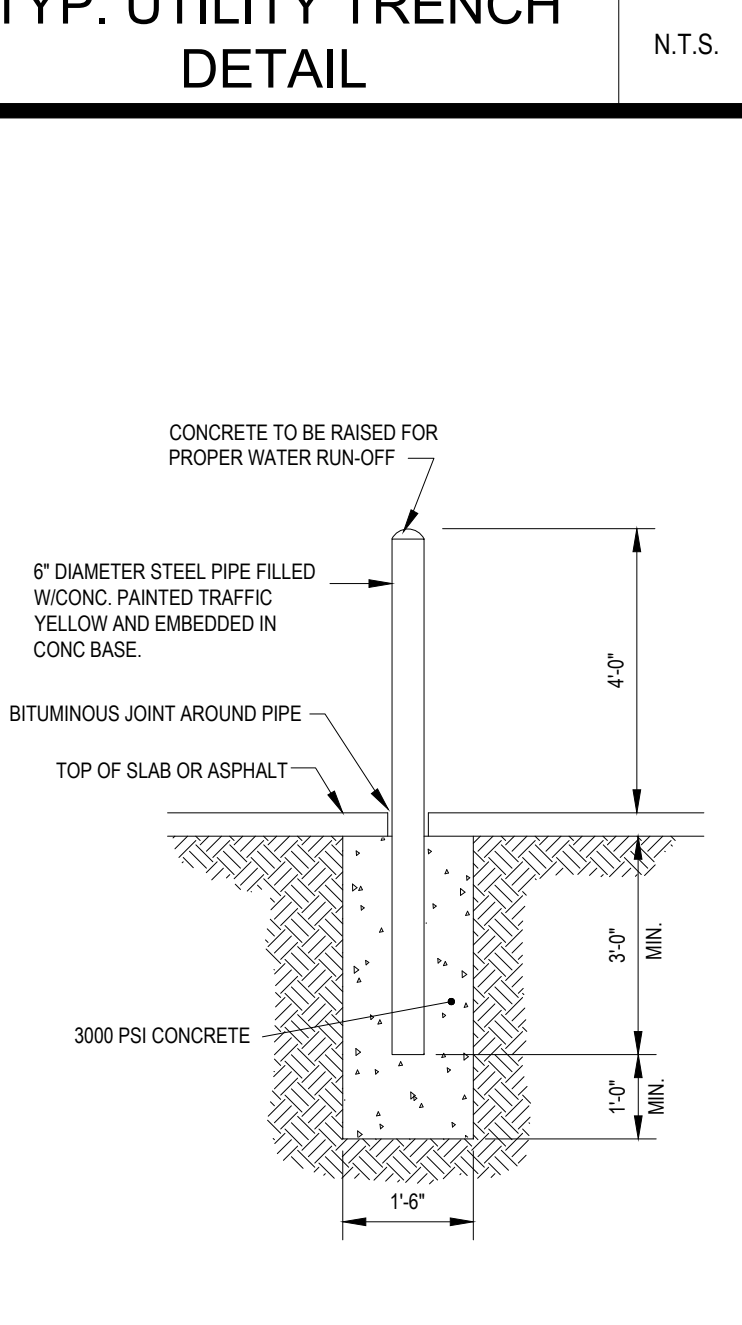
SIDEWALK & MONOLITHIC CURB DETAIL AT BUILDING

N.T.S.



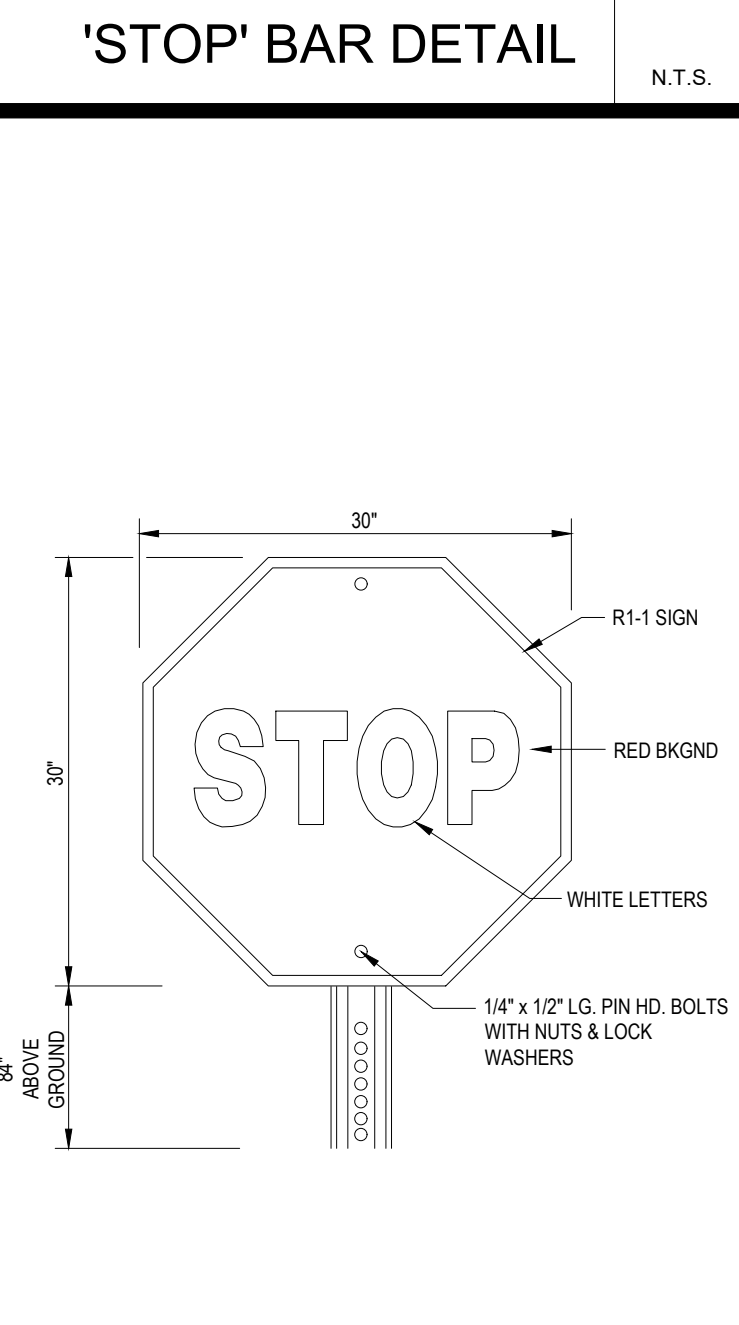
ACCESSIBLE PARKING DETAIL

N.T.S.



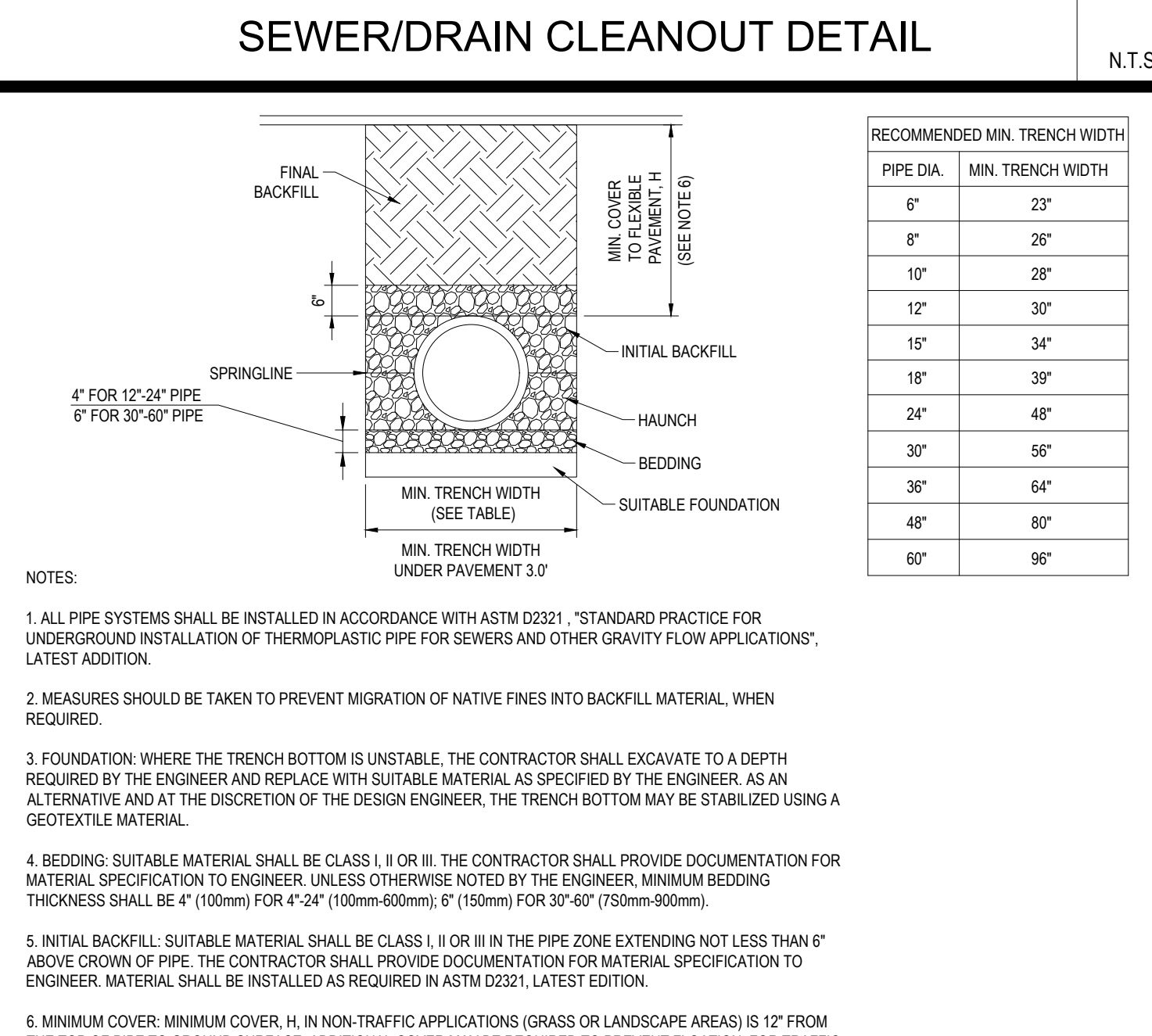
BOLLARD DETAIL

N.T.S.



'STOP' SIGN

N.T.S.



HDPE STORM DRAINAGE TRENCH

N.T.S.

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REVISIONS

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1	12/10/20			

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PROJECT No.: B200130
DRAWN BY: ~ NCN ~
CHECKED BY: ~ CVM / CEB ~
DATE: 08/14/2020
CAD I.D.: B200130S500

PROPOSED SITE PLAN DOCUMENTS

FOR
HSC MILTON LLC.

PROPOSED DEVELOPMENT

MAP #103.1, BLOCK #2, LOT #74
NYS ROUTE 9W
TOWN OF MARLBOROUGH
ULSTER COUNTY
STATE OF NEW YORK

BOHLER

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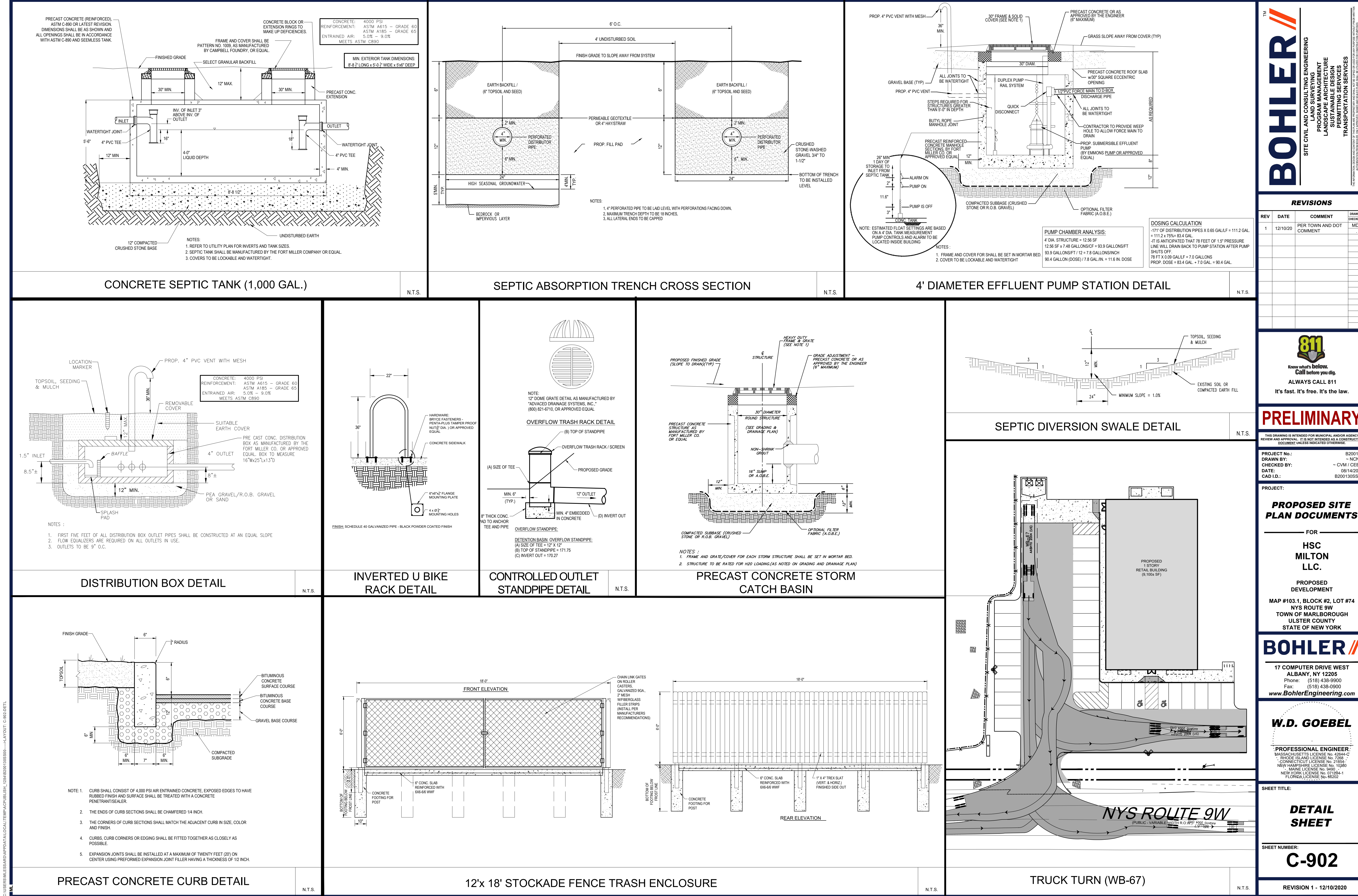
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FLORIDA LICENSE No. 66202

SHEET TITLE:

DETAIL SHEET

SHEET NUMBER:
C-901

REVISION 1 - 12/10/2020



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SHEET TITLE:

DETAIL SHEET

SHEET NUMBER:

C-902

REVISION 1 - 12/10/2020

[illegible]

WORK ZONE TRAFFIC CONTROL SIGN TABLE					
SDM	SDM DESCRIPTION	COLOR CODE	CONVENTIONAL ROAD	EXPRESSWAY	FREEMAN
	W-1-1	A	30'X30"	48'X30"	48'X30"
	W-1-2	A	30'X30"	48'X30"	48'X30"
	W-1-3	A	30'X30"	48'X30"	48'X30"
	W-1-4	A	30'X30"	48'X30"	48'X30"
	W-1-5	A	30'X30"	48'X30"	48'X30"
	W-1-6	A	30'X30"	48'X30"	48'X30"
	W-1-7	A	30'X30"	48'X30"	48'X30"
	W-1-8	A	30'X30"	48'X30"	48'X30"
	W-1-9	A	30'X30"	48'X30"	48'X30"
	W-1-10	A	30'X30"	48'X30"	48'X30"
	W-1-11	A	30'X30"	48'X30"	48'X30"
	W-1-12	A	30'X30"	48'X30"	48'X30"
	W-1-13	A	30'X30"	48'X30"	48'X30"
	W-1-14	A	30'X30"	48'X30"	48'X30"
	W-1-15	A	30'X30"	48'X30"	48'X30"
	W-1-16	A	30'X30"	48'X30"	48'X30"
	W-1-17	A	30'X30"	48'X30"	48'X30"
	W-1-18	A	30'X30"	48'X30"	48'X30"
	W-1-19	A	30'X30"	48'X30"	48'X30"
	W-1-20	A	30'X30"	48'X30"	48'X30"
	W-1-21	A	30'X30"	48'X30"	48'X30"
	W-1-22	A	30'X30"	48'X30"	48'X30"
	W-1-23	A	30'X30"	48'X30"	48'X30"
	W-1-24	A	30'X30"	48'X30"	48'X30"
	W-1-25	A	30'X30"	48'X30"	48'X30"
	W-1-26	A	30'X30"	48'X30"	48'X30"
	W-1-27	A	30'X30"	48'X30"	48'X30"
	W-1-28	A	30'X30"	48'X30"	48'X30"
	W-1-29	A	30'X30"	48'X30"	48'X30"
	W-1-30	A	30'X30"	48'X30"	48'X30"
	W-1-31	A	30'X30"	48'X30"	48'X30"
	W-1-32	A	30'X30"	48'X30"	48'X30"
	W-1-33	A	30'X30"	48'X30"	48'X30"
	W-1-34	A	30'X30"	48'X30"	48'X30"
	W-1-35	A	30'X30"	48'X30"	48'X30"
	W-1-36	A	30'X30"	48'X30"	48'X30"
	W-1-37	A	30'X30"	48'X30"	48'X30"
	W-1-38	A	30'X30"	48'X30"	48'X30"
	W-1-39	A	30'X30"	48'X30"	48'X30"
	W-1-40	A	30'X30"	48'X30"	48'X30"
	W-1-41	A	30'X30"	48'X30"	48'X30"
	W-1-42	A	30'X30"	48'X30"	48'X30"
	W-1-43	A	30'X30"	48'X30"	48'X30"
	W-1-44	A	30'X30"	48'X30"	48'X30"
	W-1-45	A	30'X30"	48'X30"	48'X30"
	W-1-46	A	30'X30"	48'X30"	48'X30"
	W-1-47	A	30'X30"	48'X30"	48'X30"
	W-1-48	A	30'X30"	48'X30"	48'X30"
	W-1-49	A	30'X30"	48'X30"	48'X30"
	W-1-50	A	30'X30"	48'X30"	48'X30"
	W-1-51	A	30'X30"	48'X30"	48'X30"
	W-1-52	A	30'X30"	48'X30"	48'X30"
	W-1-53	A	30'X30"	48'X30"	48'X30"
	W-1-54	A	30'X30"	48'X30"	48'X30"
	W-1-55	A	30'X30"	48'X30"	48'X30"
	W-1-56	A	30'X30"	48'X30"	48'X30"
	W-1-57	A	30'X30"	48'X30"	48'X30"
	W-1-58	A	30'X30"	48'X30"	48'X30"
	W-1-59	A	30'X30"	48'X30"	48'X30"
	W-1-60	A	30'X30"	48'X30"	48'X30"
	W-1-61	A	30'X30"	48'X30"	48'X30"
	W-1-62	A	30'X30"	48'X30"	48'X30"
	W-1-63	A	30'X30"	48'X30"	48'X30"
	W-1-64	A	30'X30"	48'X30"	48'X30"
	W-1-65	A	30'X30"	48'X30"	48'X30"
	W-1-66	A	30'X30"	48'X30"	48'X30"
	W-1-67	A	30'X30"	48'X30"	48'X30"
	W-1-68	A	30'X30"	48'X30"	48'X30"
	W-1-69	A	30'X30"	48'X30"	48'X30"
	W-1-70	A	30'X30"	48'X30"	48'X30"
	W-1-71	A	30'X30"	48'X30"	48'X30"
	W-1-72	A	30'X30"	48'X30"	48'X30"
	W-1-73	A	30'X30"	48'X30"	48'X30"
	W-1-74	A	30'X30"	48'X30"	48'X30"
	W-1-75	A	30'X30"	48'X30"	48'X30"
	W-1-76	A	30'X30"	48'X30"	48'X30"
	W-1-77	A	30'X30"	48'X30"	48'X30"
	W-1-78	A	30'X30"	48'X30"	48'X30"
	W-1-79	A	30'X30"	48'X30"	48'X30"
	W-1-80	A	30'X30"	48'X30"	48'X30"
	W-1-81	A	30'X30"	48'X30"	48'X30"
	W-1-82	A	30'X30"	48'X30"	48'X30"
	W-1-83	A	30'X30"	48'X30"	48'X30"
	W-1-84	A	30'X30"	48'X30"	48'X30"
	W-1-85	A	30'X30"	48'X30"	48'X30"
	W-1-86	A	30'X30"	48'X30"	48'X30"
	W-1-87	A	30'X30"	48'X30"	48'X30"
	W-1-88	A	30'X30"	48'X30"	48'X30"
	W-1-89	A	30'X30"	48'X30"	48'X30"
	W-1-90	A	30'X30"	48'X30"	48'X30"
	W-1-91	A	30'X30"	48'X30"	48'X30"
	W-1-92	A	30'X30"	48'X30"	48'X30"
	W-1-93	A	30'X30"	48'X30"	48'X30"
	W-1-94	A	30'X30"	48'X30"	48'X30"
	W-1-95	A	30'X30"	48'X30"	48'X30"
	W-1-96	A	30'X30"	48'X30"	48'X30"
	W-1-97	A	30'X30"	48'X30"	48'X30"
	W-1-98	A	30'X30"	48'X30"	48'X30"
	W-1-99	A	30'X30"	48'X30"	48'X30"
	W-1-100	A	30'X30"	48'X30"	48'X30"

WORK ZONE TRAFFIC CONTROL SIGN TABLE					
SDM	SDM DESCRIPTION	COLOR CODE	CONVENTIONAL ROAD	EXPRESSWAY	FREEMAN
	W-2-1	A	30'X30"	30'X30"	30'X30"
	W-2-2	A	30'X30"	30'X30"	30'X30"
	W-2-3	A	30'X30"	30'X30"	30'X30"
	W-2-4	A	30'X30"	30'X30"	30'X30"
	W-2-5	A	30'X30"	30'X30"	30'X30"
	W-2-6	A	30'X30"	30'X30"	30'X30"
	W-2-7	A	30'X30"	30'X30"	30'X30"
	W-2-8	A	30'X30"	30'X30"	30'X30"
	W-2-9	A	30'X30"	30'X30"	30'X30"
	W-2-10	A	30'X30"	30'X30"	30'X30"
	W-2-11	A	30'X30"	30'X30"	30'X30"
	W-2-12	A	30'X30"	30'X30"	30'X30"
	W-2-13	A	30'X30"	30'X30"	30'X30"
	W-2-14	A	30'X30"	30'X30"	30'X30"
	W-2-15	A	30'X30"	30'X30"	30'X30"
	W-2-16	A	30'X30"	30'X30"	30'X30"
	W-2-17	A	30'X30"	30'X30"	30'X30"
	W-2-18	A	30'X30"	30'X30"	30'X30"
	W-2-19	A	30'X30"	30'X30"	30'X30"
	W-2-20	A	30'X30"	30'X30"	30'X30"
	W-2-21	A	30'X30"	30'X30"	30'X30"
	W-2-22	A	30'X30"	30'X30"	30'X30"
	W-2-23	A	30'X30"	30'X30"	30'X30"
	W-2-24	A	30'X30"	30'X30"	30'X30"
	W-2-25	A	30'X30"	30'X30"	30'X30"
	W-2-26	A	30'X30"	30'X30"	30'X30"
	W-2-27	A	30'X30"	30'X30"	30'X30"
	W-2-28	A	30'X30"	30'X30"	30'X30"
	W-2-29	A	30'X30"	30'X30"	30'X30"
	W-2-30	A	30'X30"	30'X30"	30'X30"
	W-2-31	A	30'X30"	30'X30"	30'X30"
	W-2-32	A	30'X30"	30'X30"	30'X30"
	W-2-33	A	30'X30"	30'X30"	30'X30"
	W-2-34	A	30'X30"	30'X30"	30'X30"
	W-2-35	A	30'X30"	30'X30"	30'X30"
	W-2-36	A	30'X30"	30'X30"	30'X30"
	W-2-37	A	30'X30"	30'X30"	30'X30"
	W-2-38	A	30'X30"	30'X30"	30'X30"
	W-2-39	A	30'X30"	30'X30"	30'X30"
	W-2-40	A	30'X30"	30'X30"	30'X30"
	W-2-41	A	30'X30"	30'X30"	30'X30"
	W-2-42	A	30'X30"	30'X30"	30'X30"
	W-2-43	A	30'X30"	30'X30"	30'X30"
	W-2-44	A	30'X30"	30'X30"	30'X30"
	W-2-45	A	30'X30"	30'X30"	30'X30"
	W-2-46	A	30'X30"	30'X30"	30'X30"
	W-2-47	A	30'X30"	30'X30"	30'X30"
	W-2-48	A	30'X30"	30'X30"	30'X30"
	W-2-49	A	30'X30"	30'X30"	30'X30"
	W-2-50	A	30'X30"	30'X30"	30'X30"
	W-2-51	A	30'X30"	30'X30"	30'X30"
	W-2-52	A	30'X30"	30'X30"	30'X30"
	W-2-53	A	30'X30"	30'X30"	30'X30"
	W-2-54	A	30'X30"	30'X30"	30'X30"
	W-2-55	A	30'X30"	30'X30"	30'X30"
	W-2-56	A	30'X30"	30'X30"	30'X30"
	W-2-57	A	30'X30"	30'X30"	30'X30"
	W-2-58	A	30'X30"	30'X30"	30'X30"
	W-2-59	A	30'X30"	30'X30"	30'X30"
	W-2-60	A	30'X30"	30'X30"	30'X30"
	W-2-61	A	30'X30"	30'X30"	30'X30"
	W-2-62	A	30'X30"	30'X30"	30'X30"
	W-2-63	A	30'X30"	30'X30"	30'X30"
	W-2-64	A	30'X30"	30'X30"	30'X30"
	W-2-65	A	30'X30"	30'X30"	30'X30"
	W-2-66	A	30'X30"	30'X30"	30'X30"
	W-2-67	A	30'X30"	30'X30"	30'X30"
	W-2-68	A	30'X30"	30'X30"	30'X30"
	W-2-69	A	30'X30"	30'X30"	30'X30"
	W-2-70	A	30'X30"	30'X30"	30'X30"
	W-2-71	A	30'X30"	30'X	

1-1/2" ASPHALT CONCRETE TOP COURSE
 NYSDOT ITEM 402.098202 - 9.5 F2 H.M.A.

2-1/2" ASPHALT CONCRETE BINDER
 NYSDOT ITEM 402.198902 - 19 F3 H.M.A.

3" ASPHALT CONCRETE BASE COURSE
 NYSDOT ITEM 402.378902 - 37.5 F3 H.M.A.

NYSDOT ITEM 304.12 - TYPE 2
 12" GRANULAR SUBBASE COURSE

COMPACTED
 APPROVED SUBBASE

NOTES:

1. CONTRACTOR TO VERIFY PAVEMENT THICKNESS AND CONSTRUCTION.
2. REFERENCE NYSDOT STANDARD SHEETS S68-10 FOR DRIVEWAY TIE-IN.
3. EXISTING PAVEMENT BEING REMOVED SHALL BE REPLACED IN-KIND.
4. PERMEABLE BASE COURSE SHALL BE REPLACED TO MATCH ADJACENT PAVEMENT TO REMAIN.
5. TACK COAT BETWEEN ALL ASPHALT LAYERS.

NYSDOT TYPICAL PAVEMENT SECTION

N.T.S.

REVISION 1 - 12/10/2020



THE STATE OF NEW YORK REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE.

DIG SAFELY NEW YORK (1-800-962-7962)

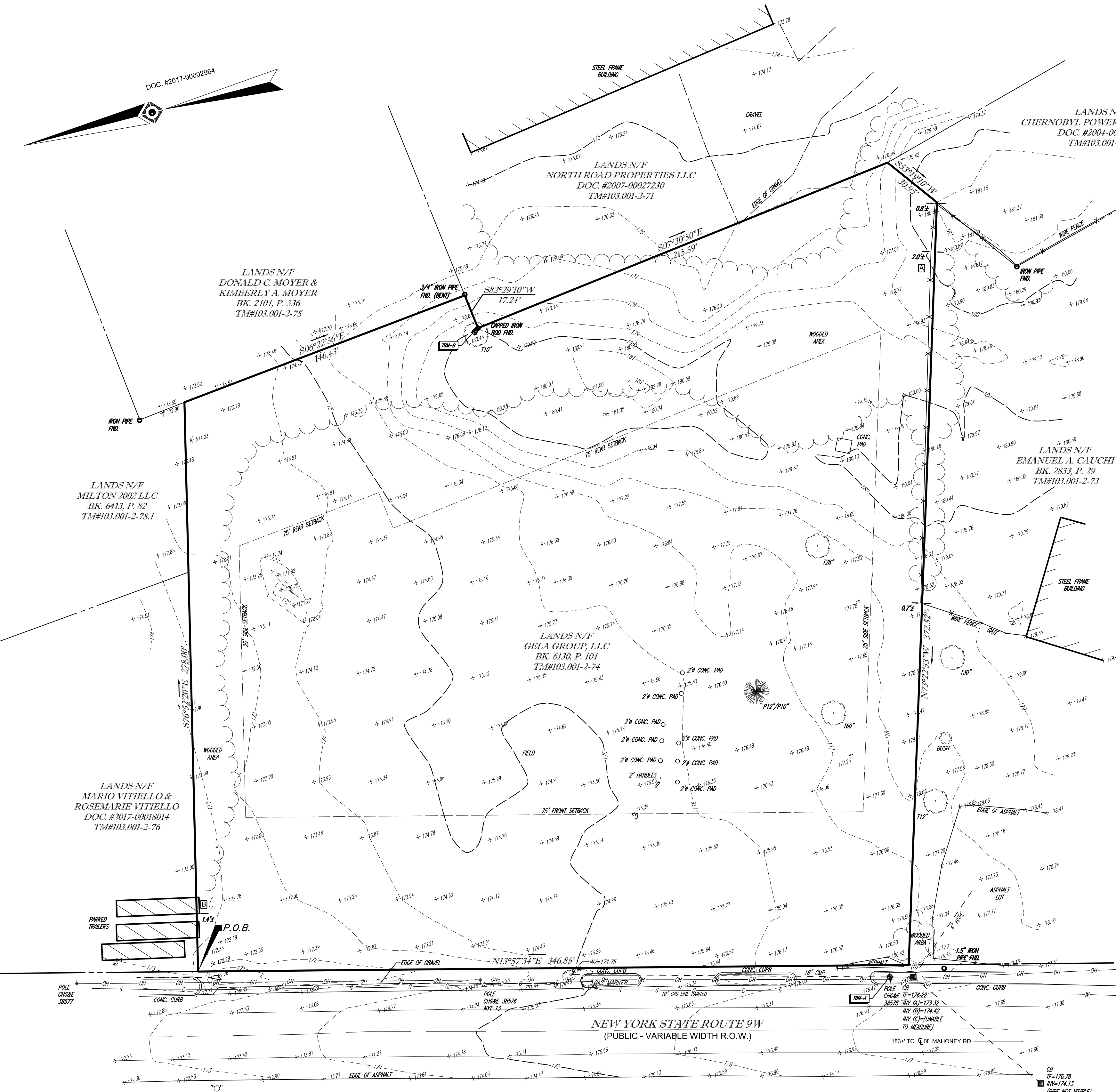
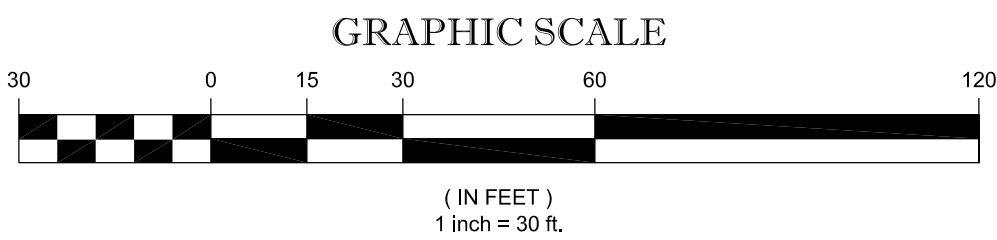
LEGEND			
	EDGE OF PAVEMENT		EXISTING CONTOUR
	UTILITY POLE		EXISTING SPOT ELEVATION
	OVERHEAD WIRES		HEIGHT
	SIGN		BUILDING
	DECIDUOUS TREE & TRUNK SIZE		ELEVATION
	FOUND		TYPICAL

ZONING INFORMATION
HIGHWAY DEV DISTRICT (HD)
SOURCE MILTON NEW YORK

ITEMS	REQUIRED
MIN LOT AREA	2 ACRES
MIN LOT WIDTH	200 FT
MIN LOT DEPTH	200 FT
FRONT YARD SETBACK	75 FT
MIN SIDE YARD SETBACK	25/50 FT
MIN REAR YARD SETBACK	75 FT
MAX BUILDING HEIGHT	2.5 STY/35 FT
MAX LOT BLDG COVERAGE	40%

NOTE: RETAIL IS A PERMITTED USE.
PARKING = 1 SPACE PER 300 S.F.
(31 SPACES)

NOTE: ZONING CRITERIA IDENTIFIED HEREON ARE BASED UPON PRELIMINARY RESEARCH AND PRESENTED FOR REFERENCE ONLY. SAME MUST BE CONFIRMED WITH LOCAL ZONING OFFICIAL AND LEGAL COUNSEL TO CONFIRM VALIDITY.



SCHEDULE A DESCRIPTION

ALL THAT PARCEL OF LAND SITUATE IN THE TOWN OF MARLBOROUGH, COUNTY OF ULSTER AND STATE OF NEW YORK BEING MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS:
BEGINNING AT A POINT ON THE EASTERLY HIGHWAY BOUNDS OF ROUTE 9W, SAID POINT BEING THE NORTHWEST CORNER OF THE HEREIN DESCRIBED PARCEL, THENCE RUNNING IN PART ALONG LANDS OF MARIO VITIELLO AS RECORDED IN DEED LIBER 3185 AT PAGE 142 AND LANDS OF ANTHONY PORPIGLIA & PAULA PERTICARO PORPIGLIA AS RECORDED IN DEED LIBER 5803 AT PAGE 211 AND SHOWN ON UCCO FILED MAP #04-250, SOUTH 76°52'20" EAST 278.00 FEET TO A FOUND BENT METAL PIPE SET FLUSH ON THE WEST BOUNDS OF LANDS OF DONALD C. & KIMBERLY A. MOYER AS RECORDED IN DEED LIBER 2402 AT PAGE 336, THENCE ALONG SAID LANDS SOUTH 08°22'56" EAST 146.43 FEET TO A FOUND TALL METAL PIPE BENT ON THE NORTH BOUNDS OF LANDS OF NORTH ROAD PROPERTIES, LLC AS RECORDED IN DEED LIBER 4491 AT PAGE 066 AND SHOWN ON UCCO FILED MAP #9492, THENCE ALONG SAID LANDS SOUTH 82°29'10" WEST 17.24 FEET AND SOUTH 07°30'50" EAST 215.59 FEET TO A REBAR SET AT THE NORTH CORNER OF LANDS OF CHERNOBYL POWER & LIGHT, LLC AS RECORDED IN DEED LIBER 3857 AT PAGE 183 AND SHOWN ON AFOREMENTIONED FILED MAP #9492, THENCE ALONG SAID LANDS SOUTH 53°19'10" WEST 30.95 FEET TO A POINT AT THE NORTHEAST CORNER OF LANDS OF EMANUEL A. CAUCHI AS RECORDED IN DEED LIBER 2833 AT PAGE 030, THENCE ALONG SAID LANDS AND FOLLOWING IN PART ALONG A CHAIN LINK FENCE, NORTH 73°22'53" WEST 372.52 FEET TO A FOUND REBAR ON THE EAST BOUNDS OF AFOREMENTIONED ROUTE 9W SAID LAST MENTIONED COURSE PASSES OVER A FOUND REBAR AT 222.55 FEET, THENCE ALONG SAID ROAD NORTH 13°57'34" EAST 346.85 FEET TO THE POINT OF BEGINNING, CONTAINING 2.75 ACRES.

AS SURVEYED DESCRIPTION

ALL THAT PARCEL OF LAND SITUATE IN THE TOWN OF MARLBOROUGH, COUNTY OF ULSTER AND STATE OF NEW YORK BEING MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS:
BEGINNING AT A POINT ON THE EASTERLY HIGHWAY BOUNDARY OF NEW YORK STATE ROUTE 9W AT ITS INTERSECTION WITH THE PROPERTY DIVISION LINE BETWEEN LANDS NOW OR FORMERLY OF MARIO VITIELLO AND ROSEMARIE VITIELLO AS DESCRIBED IN DEED DOCUMENT #2017-00018014 ON THE NORTH AND LANDS NOW OR FORMERLY OF GELA GROUP, LLC AS DESCRIBED IN DEED LIBER 6130 AT PAGE 104 ON THE SOUTH;
THENCE SOUTH 76°52'20" EAST, ALONG SAID PROPERTY DIVISION LINE AND ALONG LANDS NOW OR FORMERLY OF MILTON 2002 LLC AS DESCRIBED IN DEED LIBER 6413 AT PAGE 82, A DISTANCE OF 278.00 FEET TO A POINT AT ITS INTERSECTION WITH THE PROPERTY DIVISION LINE BETWEEN SAID LANDS OF GELA GROUP, LLC ON THE WEST AND LANDS NOW OR FORMERLY OF DONALD C. MOYER AND KIMBERLY A. MOYER AS DESCRIBED IN DEED LIBER 2404 AT PAGE 336 ON THE EAST;
THENCE SOUTH 08°22'56" EAST, ALONG SAID PROPERTY DIVISION LINE, A DISTANCE OF 146.43 FEET TO A POINT AT ITS INTERSECTION WITH THE PROPERTY DIVISION LINE BETWEEN SAID GELA GROUP, LLC ON THE NORTH AND WEST AND LANDS NOW OR FORMERLY OF NORTH ROAD PROPERTIES LLC AS DESCRIBED IN DEED DOCUMENT #2007-00027230 ON THE SOUTH AND EAST;
THENCE RUNNING ALONG SAID PROPERTY DIVISION LINE THE FOLLOWING TWO (2) COURSES AND DISTANCES:
1) SOUTH 82°29'10" WEST, A DISTANCE OF 17.24 FEET TO A POINT; AND
2) SOUTH 07°30'50" EAST, A DISTANCE OF 215.59 FEET TO A POINT AT ITS INTERSECTION WITH THE PROPERTY DIVISION LINE BETWEEN SAID LANDS OF GELA GROUP, LLC ON THE NORTH AND LANDS NOW OR FORMERLY OF CHERNOBYL POWER & LIGHT LLC AS DESCRIBED IN DEED DOCUMENT #2004-00009549 ON THE SOUTH;
THENCE SOUTH 53°19'10" WEST, ALONG SAID PROPERTY DIVISION LINE, A DISTANCE OF 30.95 FEET TO A POINT AT ITS INTERSECTION WITH THE PROPERTY DIVISION LINE BETWEEN SAID LANDS OF GELA GROUP, LLC ON THE NORTH AND LANDS NOW OR FORMERLY OF EMANUEL A. CAUCHI AS DESCRIBED IN DEED LIBER 2833 AT PAGE 29 ON THE SOUTH;
THENCE NORTH 73°22'53" WEST, A DISTANCE OF 372.52 FEET TO A POINT ON THE SAID EASTERLY HIGHWAY BOUNDARY NEW YORK STATE ROUTE 9W;
THENCE NORTH 13°57'34" EAST, ALONG SAID EASTERLY HIGHWAY BOUNDARY, A DISTANCE OF 346.85 FEET TO THE POINT OF BEGINNING.

NOTES:

- PROPERTY KNOWN AS TAX PARCEL 103.001 BLOCK 2 LOT 74.
- AREA = 2.75 ACRES
- THE LOCATION OF UNDERGROUND UTILITIES HAVE NOT BEEN SHOWN, UTILITY INFORMATION SHOWN IS LIMITED TO VISIBLE UTILITY HARDWARE AND UTILITY MARKOUTS AT THE SURFACE AND DOES NOT INCLUDE SUCH ITEMS AS SUBSURFACE PIPING, UTILITY LINES, ETC. BEFORE ANY EXCAVATION IS TO BEGIN, UNDERGROUND UTILITIES SHOULD BE VERIFIED BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.
- THIS PLAN IS BASED ON INFORMATION PROVIDED, BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
- THIS SURVEY IS PREPARED WITH REFERENCE TO A TITLE REPORT PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, ISSUED BY SMPR TITLE AGENCY, INC., SMPR ORDER NO. M475323-A, WITH AN EFFECTIVE DATE OF 05/20/2020 WHERE THE FOLLOWING SURVEY RELATED EXCEPTIONS APPEAR IN SCHEDULE B, SECTION II:

- NO SURVEY RELATED EXCEPTIONS.
- BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X (AREAS DETERMINED TO BE OUTSIDE OF THE 2% ANNUAL CHANCE FLOODPLAIN) PER REF. 2.
- THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.
- THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
- THERE IS NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELD WORK.
- THIS SURVEY DOES NOT SHOW THE EXISTENCE OF WETLANDS, IF ANY.
- ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88), BASED ON GPS OBSERVATIONS TAKEN AT THE TIME OF THE SURVEY.
TEMPORARY BENCH MARKS SET:

TBM-A: SPK @ POLE.
ELEVATION=177.59'
TBM-B: NAIL @ TREE ROOT
ELEVATION=180.15'

PRIOR TO CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT HE BENCHMARKS ILLUSTRATED ON THIS SKETCH HAVE NOT BEEN DISTURBED AND THEIR ELEVATIONS HAVE BEEN CONFIRMED. ANY CONFLICTS MUST BE REPORTED PRIOR TO CONSTRUCTION.
- THE SUBJECT PROPERTY IS ONE AND THE SAME AS THAT CERTAIN PARCEL CONTAINED IN THE BARGAIN AND SALE DEED DATED FEBRUARY 03, 2017 RECORDED IN THE REAL PROPERTY RECORDS OF ULSTER COUNTY, NEW YORK AS DOCUMENT # 2017-00002964.
- THE SUBJECT PROPERTY HAS DIRECT ACCESS TO ROUTE 9W.

REFERENCES:

- THE OFFICIAL TAX ASSESSOR'S MAP OF TOWN OF MARLBORO, ULSTER COUNTY, NEW YORK, MAP ID:103.001.
- MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, ULSTER COUNTY, NEW YORK PANEL 790 OF 910", MAP NUMBER 38111C0790E, EFFECTIVE DATE: SEPTEMBER 25, 2009.
- MAP ENTITLED "FINAL LOT LINE REVISION MAP PREPARED FOR ANDOLA AND APPLER, TOWN OF MARLBOROUGH, COUNTY OF ULSTER, STATE OF NEW YORK", AS PREPARED BY ROY H. PAULL, LAND SURVEYORS, P.C., DATED MARCH 18, 1992, LAST REVISED 22, APRIL 1992 AND FILED IN THE ULSTER COUNTY CLERK'S OFFICE AS MAP 9492.

TABLE OF POSSIBLE ENCROACHMENTS

- WIRE FENCE
- PARKED TRAILERS

NOTE: THESE ARE THE POSSIBLE ENCROACHMENTS OBSERVED DURING THE PROCESS OF CONDUCTING THE FIELD WORK. THERE MAY BE OTHERS NOT RECOGNIZED BY THE SURVEYOR.

ALTA/NSPS LAND TITLE SURVEY

THIS SURVEY IS CERTIFIED TO:

- HSC MILTON, LLC
- DOLGEN NEW YORK, LLC, A KENTUCKY LIMITED LIABILITY COMPANY
- DOLLAR GENERAL CORPORATION, A DELAWARE CORPORATION
- TRUSTMARK NATIONAL BANK
- IBERIABANK
- CENTURY BANK
- COMMERCE STREET PARTNERS, LLC
- SMPR TITLE AGENCY INC.
- FIDELITY NATIONAL TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT WAS BASED WERE MADE IN ACCORDANCE WITH THE "2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS", JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 3, 5, 6(a)(b), 7, 8, 11, 13, 14, 17, 18 & 19 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON 07-23-2020.

UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.

ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S EMBOSSED OR INK SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.

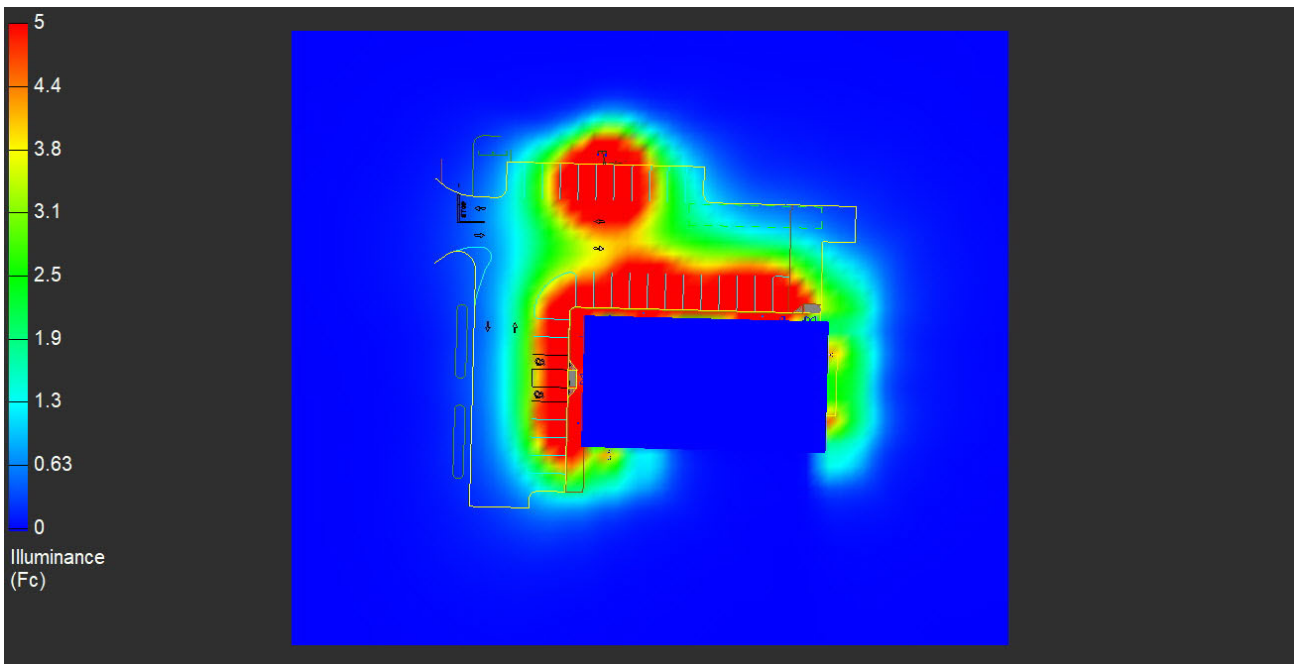
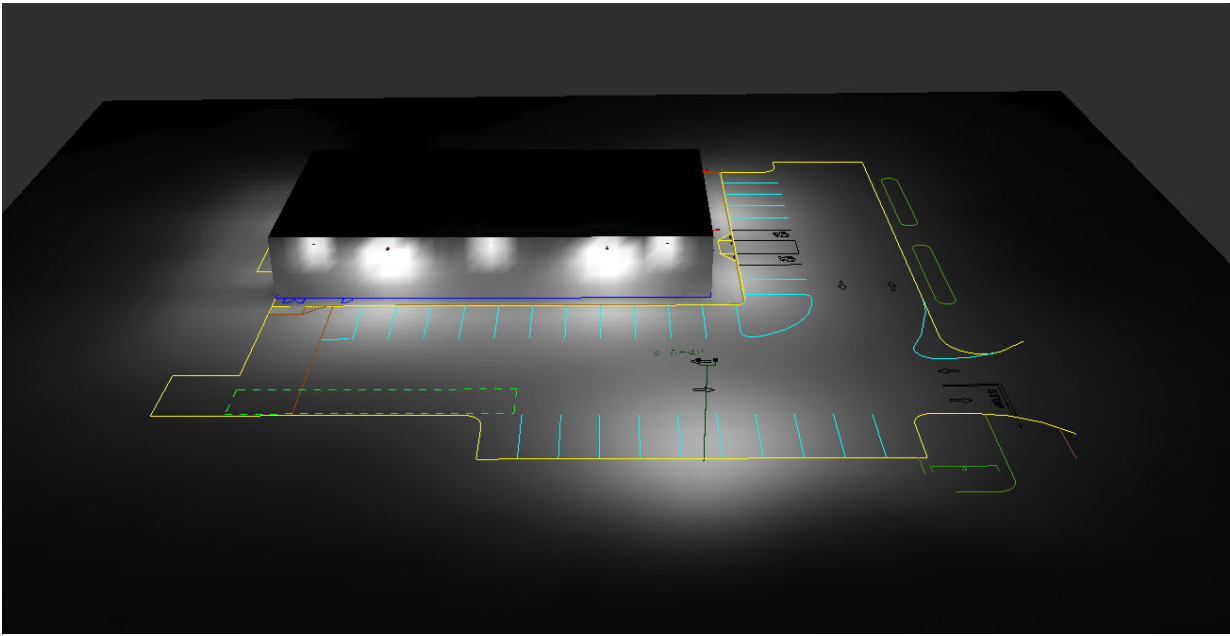
FIELD DATE 7-23-2020	ALTA/NSPS LAND TITLE SURVEY			
FIELD BOOK NO. 20-02	ROUTE 9W MILTON			
FIELD BOOK PG. 10	LOT 74/BLOCK 2 TOWN OF MARLBORO, ULSTER COUNTY STATE OF NEW YORK			
FIELD CREW RFL/EGF				
DRAWN: MJB	26 AVIATION ROAD ALBANY, NY 12205 518.217.5010 • 908.668.9595 FAX WWW.CPASURVEY.COM			
REVIEWED: WTV	APPROVED: JLL	DATE 7.29.2020	SCALE 1" = 30'	FILE NO. 09-200069
			DWG. NO. 1	OF 1

JODY J. LOUNSBURY
NEW YORK PROFESSIONAL LAND SURVEYOR #50715

DATE

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Site	Illuminance	Fc	0.86	16.4	0.0	N.A.	N.A.
Parking Lot	Illuminance	Fc	3.99	16.4	0.3	13.30	54.67

Luminaire	Location	Summary
LumNo	Label	Z
1	HB	17
2	HB	17
3	HB	17
4	HB	17
5	G	17
6	G	17
7	G	17
8	G	12
9	HP-S-2	27
10	G	12
11	G	12



Plan Notes:
Calculations at Ground Level (10' x 10' Grid Spacing). Refer to luminaire location summary for mounting heights of each fixture. Pole mounted fixtures include a 2ft concrete base. Mounting heights indicated on luminaire location summary is a total A.F.G. height.

[illegible]

Drawn By: BMF, LC
Checked By:
Date: 10/15/2020
Scale:

Dollar General - Milton 22620