

LOCATION MAP: Town of Marlborough Tax Map, Section 103.1
SCALE: 1" = 200'

ZONING REQUIREMENTS

FOR C-1 ZONE	REQUIRED	PROVIDED
MINIMUM LOT AREA	5000 SQ. FT. (w/ PUBLIC W&S)	±40,100 SQ. FT.
MINIMUM YARD SETBACKS		
FRONT	5 FT.	7 FT.
SIDE	0 FT.	0 FT.
REAR	20 FT.	87 FT.
MAXIMUM BUILDING HEIGHT	35 FT.	35 - 40 FT.
MAXIMUM BUILDING COVERAGE	75%	± 25.6%
PARKING REQUIREMENTS		
COMMERCIAL		
(1 SPACE PER 300 SQ. FT.)		
STREET LEVEL = 10,520 SQ. FT.	35 SPACES	
RESIDENTIAL		
(1.5 SPACE PER DWELLING UNIT)		
SECOND FLOOR = 16 DWELLING UNITS	24 SPACES	
THIRD FLOOR = 16 DWELLING UNITS	24 SPACES	
	83 TOTAL *	47 TOTAL
HANDICAPPED SPACES (4%)	3 SPACES	3 SPACES
*OFFSITE PARKING PROVIDED ON 12 BREWSTER STREET		
DENSITY		
PROPOSED: 8 RETAIL X 4 APARTMENTS = 32 UNITS (APARTMENTS)		
TOTAL AREA REQUIRED: 40,000 SQ. FT.		

APPROVED BY THE TOWN OF MARLBOROUGH PLANNING BOARD

DATE _____
CHAIRMAN _____
MEMBER _____

OWNERS ENDORSEMENT

I HEREBY GRANT MY APPROVAL TO THIS PLAT AND THE PLANS SHOWN HEREON
OWNER: _____ DATED: _____
OWNER: _____ DATED: _____

OWNER / DEVELOPER

39 Main Street Milton LLC
96 South Elliot Place
Brooklyn, NY 11217

TAX MAP ID#

103.1-2-44
103.1-2-45

LOT AREA

Total Area = 40,130 SF

SHEET INDEX

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MAP REVISION DATES

DATE	REVISION	BY

INDEX SHEET

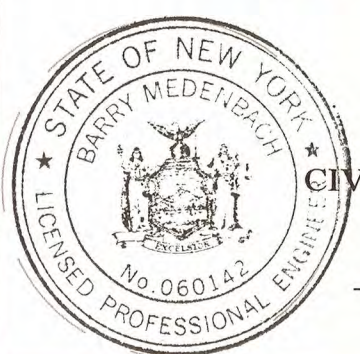
PROPOSED MIXED USE BUILDING
8 RETAIL SPACES (10,520 SF) WITH 4 APARTMENTS
ABOVE EACH RETAIL SPACE FOR A TOTAL
OF 32 ONE BEDROOM APARTMENTS
FOR

39 MAIN STREET MILTON LLC

TOWN OF MARLBOROUGH
ULSTER COUNTY - NEW YORK

50 0 50 100 150

Scale: 1" = 50'
August 12, 2021



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CIVIL ENGINEERING & LAND SURVEYING, P.C.
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7209, Subdivision 2 of N.Y.S. Education Law.



MAP REVISION DATES		
DATE	REVISION	BY

PROPOSED SITE PLAN
FOR
PROPOSED MIXED USE BUILDING
8 RETAIL SPACES (10,520 SF) WITH 4 APARTMENTS
ABOVE EACH RETAIL SPACE FOR A TOTAL
OF 32 ONE BEDROOM APARTMENTS
FOR
39 MAIN STREET MILTON LLC
TOWN OF MARLBOROUGH
ULSTER COUNTY - NEW YORK

Scale: 1" = 20'

August 12, 2021

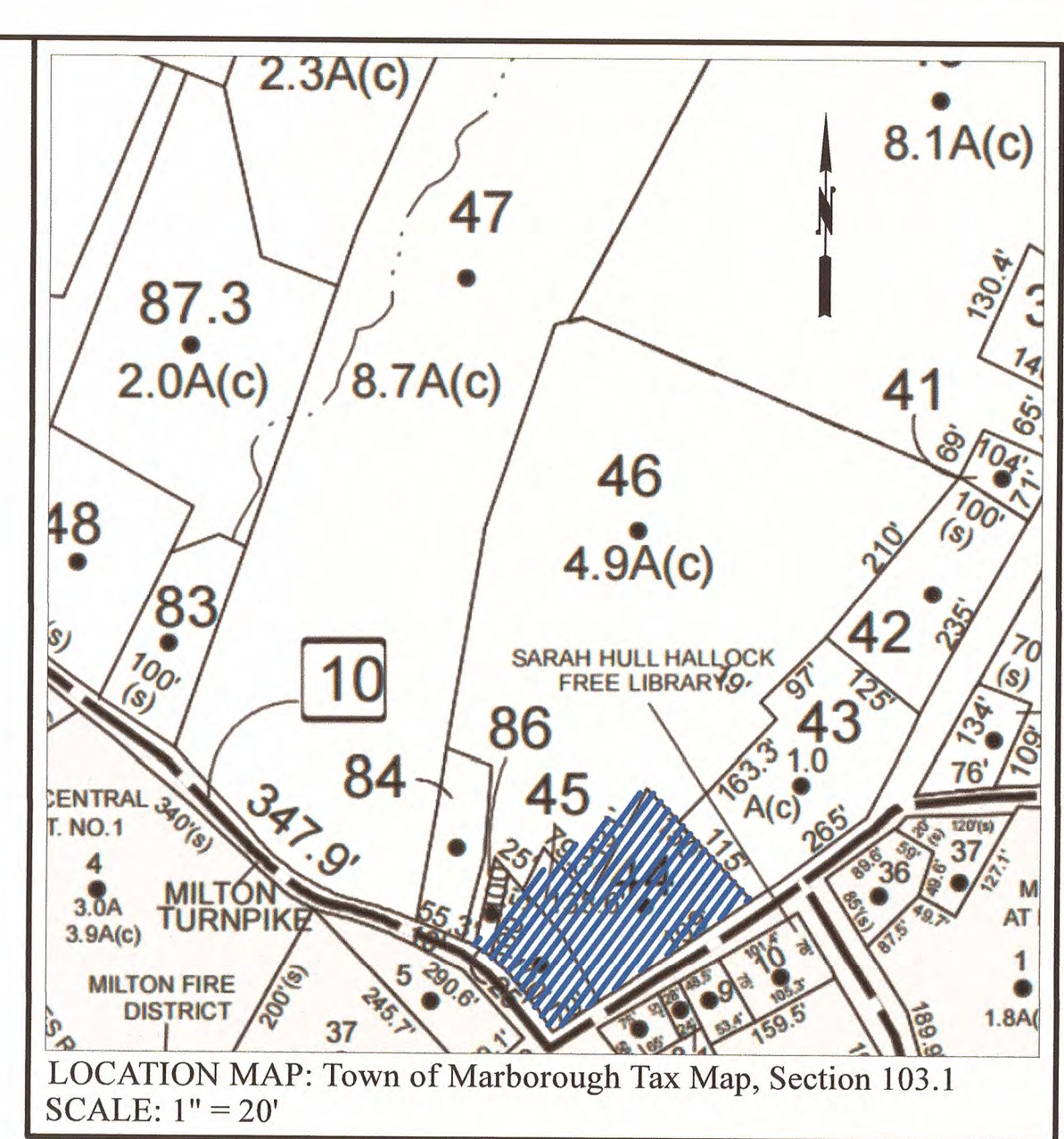
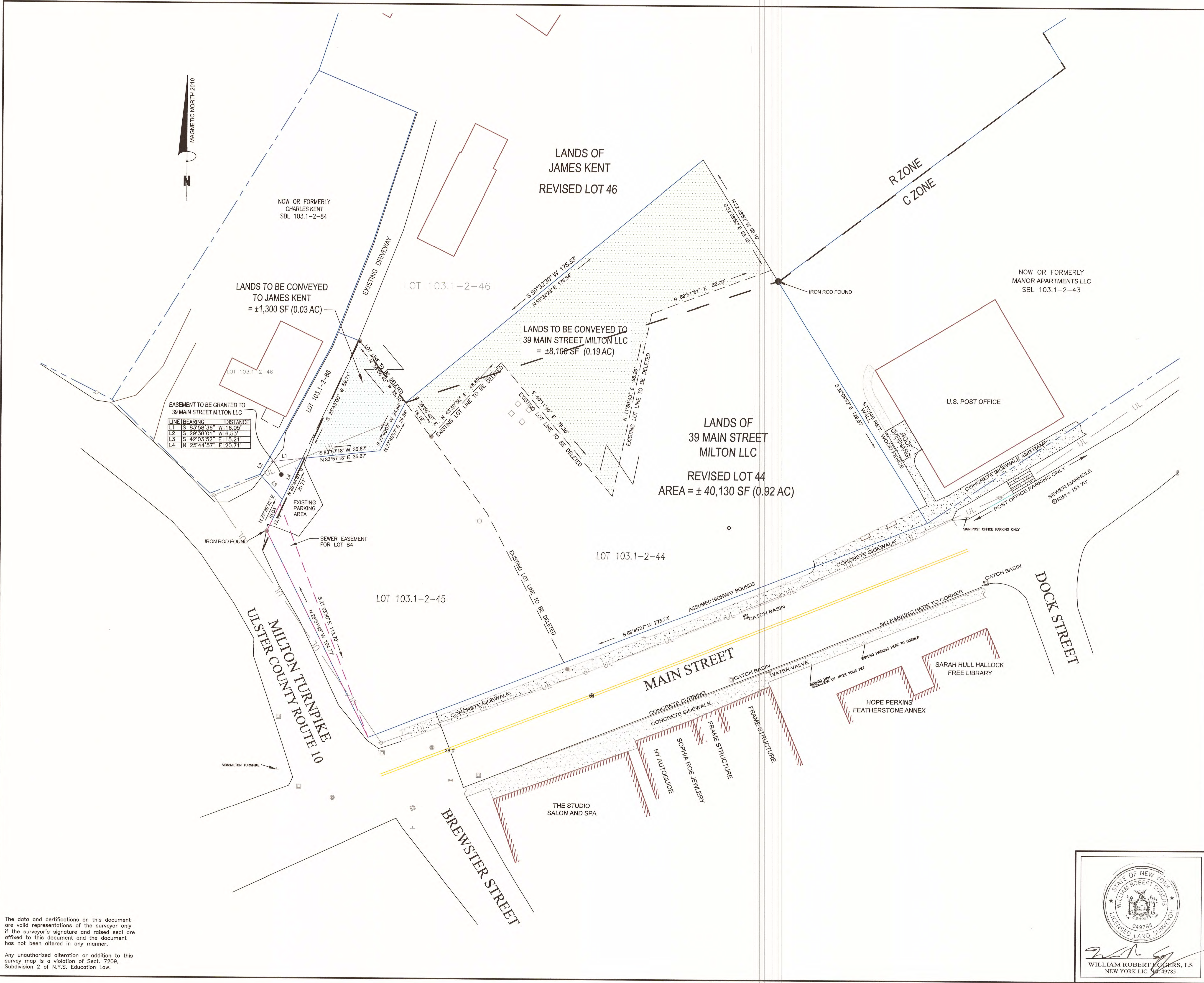
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CHAIRMAN _____

MEMBER _____

OWNERS ENDORSEMENT

I HEREBY GRANT MY APPROVAL TO THIS PLAT AND THE PLANS SHOWN HEREON

OWNER: _____ DATED: _____

OWNER: _____ DATED: _____

OWNER 39 Main Street Milton LLC c/o Robert Pollock 96 South Elliot Place Brooklyn, NY 11217	OWNER James D. Kent Jr. P.O. Box 424 Milton, NY 12547
TAX MAP ID# 103.1-2-44 103.1-2-45	TAX MAP ID# 103.1-2-46 103.1-2-86

SURVEY MAP
SHOWING LOT LINE ADJUSTMENT FOR LANDS OF
KENT &
39 MAIN STREET MILTON LLC
TOWN OF MARLBOROUGH
ULSTER COUNTY ~ NEW YORK

Scale: 1" = 20'

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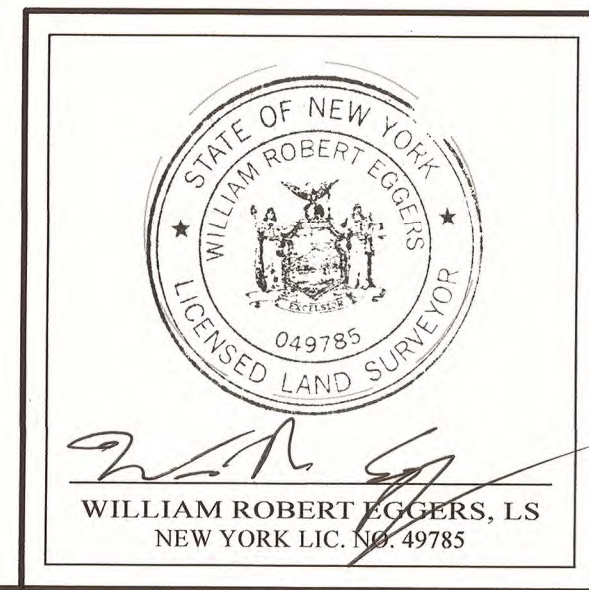
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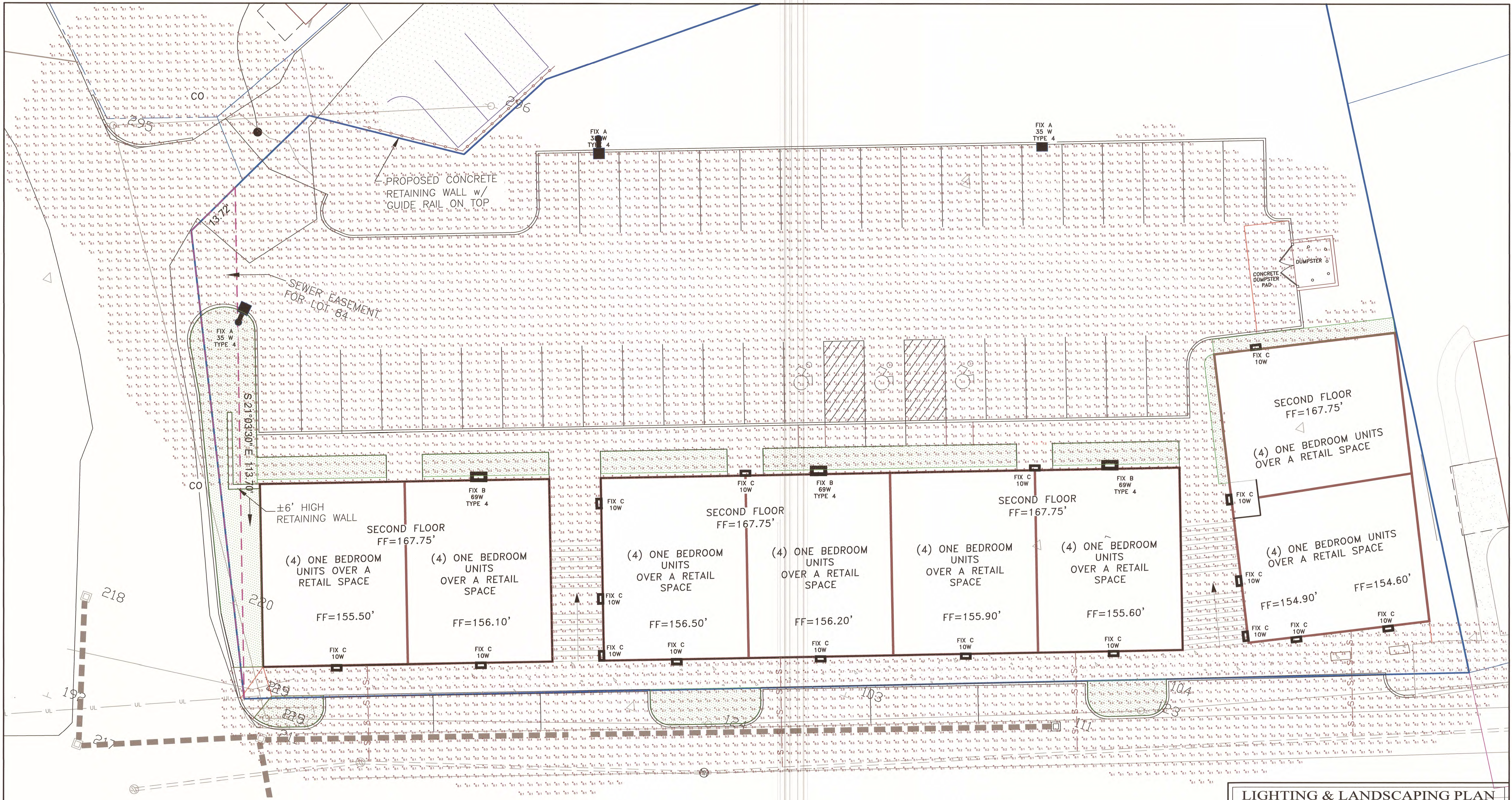
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The data and certifications on this document are valid representations of the surveyor only if the surveyor's signature and raised seal are affixed to this document and the document has not been altered in any manner.

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LIGHTING LEGEND				
FIXTURE	Wattage (TYPE)	DENOTED BY	HEIGHT PLACEMENT	QYT.
A	35W (LED)		20'	3
B	69W (LED)		18'	3
C	10 W (LED)		±10'	17

NOTES:
1. REFERENCE ARCHITECTURAL DRAWINGS FOR ALL LIGHTS ATTACHED TO THE BUILDING.
2. ALL OUTSIDE LIGHTING IS TO BE FULLY SHIELDED DOWNLIGHTING.
3. SEE LIGHTING DETAILS ON DETAIL SHEETS.

LIGHTING & LANDSCAPING PLAN

PROPOSED MIXED USE BUILDING

8 RETAIL SPACES (10,520 SF) WITH 4 APARTMENTS

ABOVE EACH RETAIL SPACE FOR A TOTAL

OF 32 ONE BEDROOM APARTMENTS

FOR

39 MAIN STREET MILTON LLC

TOWN OF MARLBOROUGH

ULSTER COUNTY ~ NEW YORK

Scale: 1" = 10'

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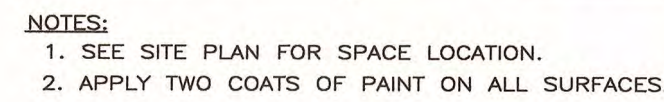
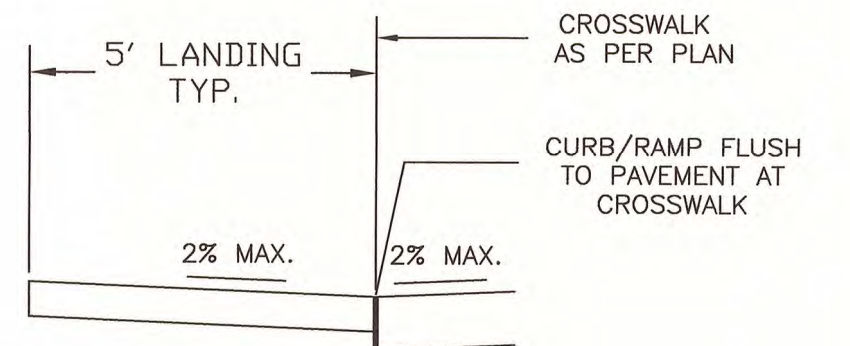
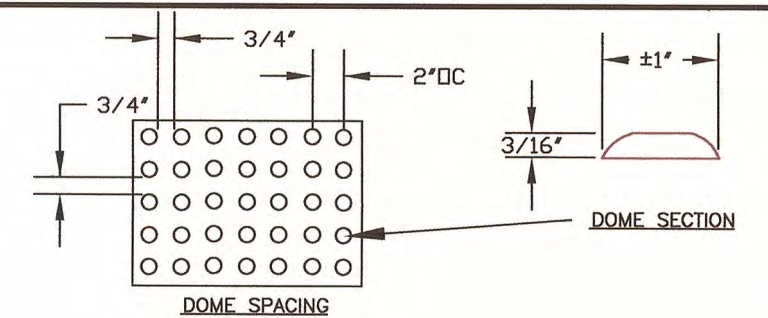
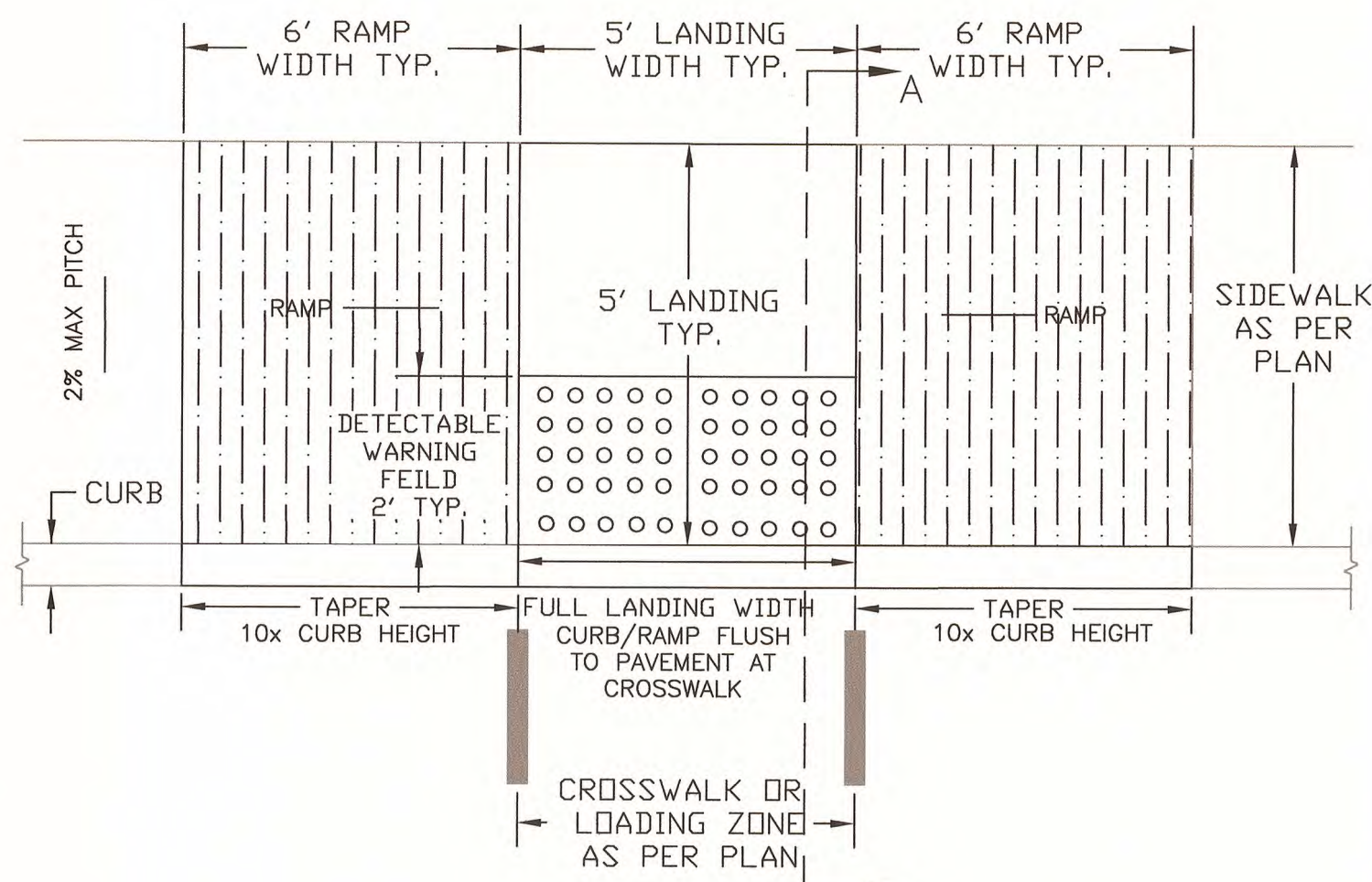


Diagram illustrating the dimensions and signage for a van-accessible parking space:

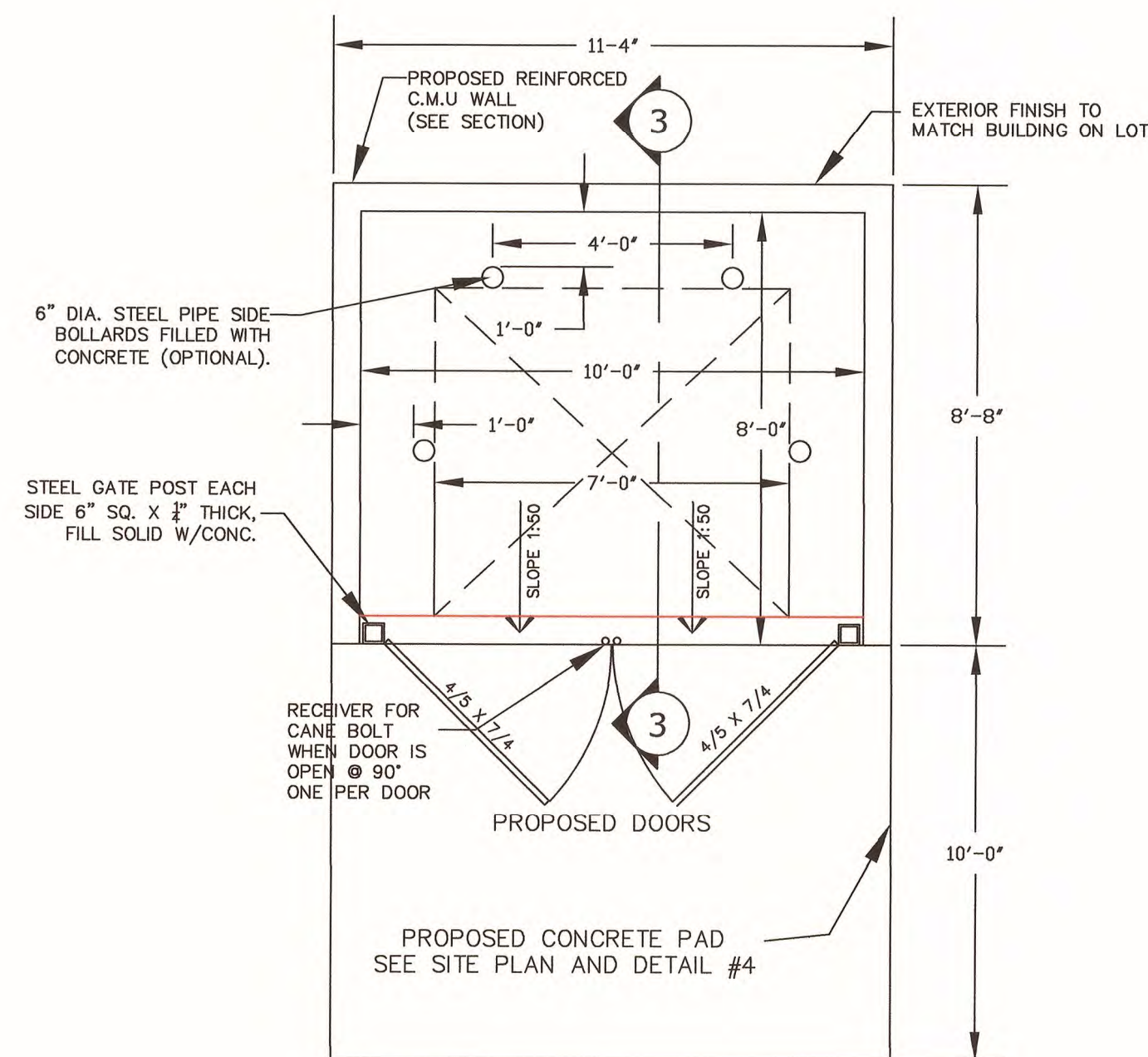
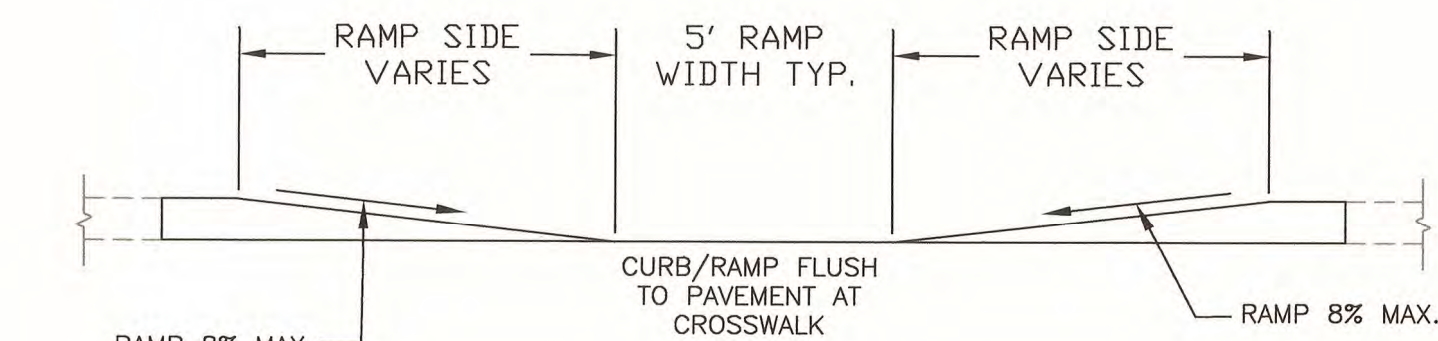
- Overall Dimensions:**
 - Width: 18'-0" (Total), 6'-0" (Left side), 9'-0" MIN. (Main space), 5'-0" TO 9'-0" (FOR VANS) (Right side).
 - Depth: 10'-0" (Left side), 6'-0" (Main space).
- Signage and Markings:**
 - ACCESSIBLE PARKING SIGN (SEE DETAIL):** Located above the space.
 - NO PARKING SIGN OFFSET SIGN IF RAMP INTERFERES WITH LOCATION:** Located to the right of the space.
 - 4" BLUE PAINT LINE (TYP.):** A line separating the main space from the left side.
 - 4" BLUE PAINT LINES AT 30" O.C. PAINTED AT 45° ANGLE:** Diagonal lines on the right side.
 - PAINTED BLUE SYMBOL ON WHITE BACKGROUND IN ACCORDANCE WITH FEDERAL STANDARDS:** A wheelchair symbol.
- Other Labels:**
 - AS INDICATED ON PLAN:** A note pointing to the diagonal lines.

- NOTES:
1. SEE SITE PLAN FOR ACCESSIBLE SPACE LOCATION AND DIMENSIONS.
 2. APPLY TWO COATS OF PAINT ON ALL SURFACES.
 3. ACCESSIBLE SYMBOL PER NEW YORK STATE.

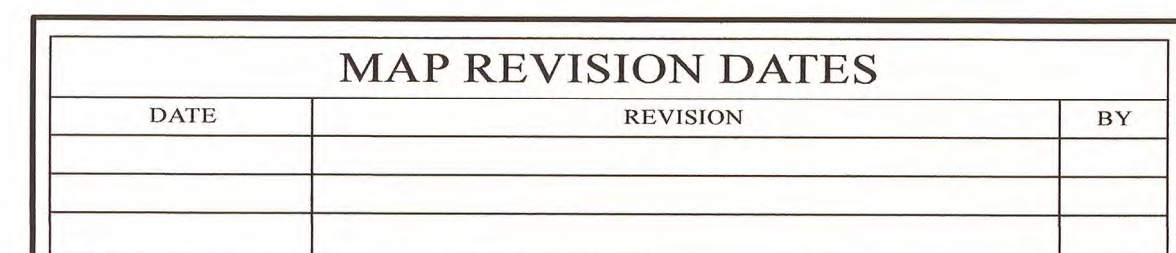
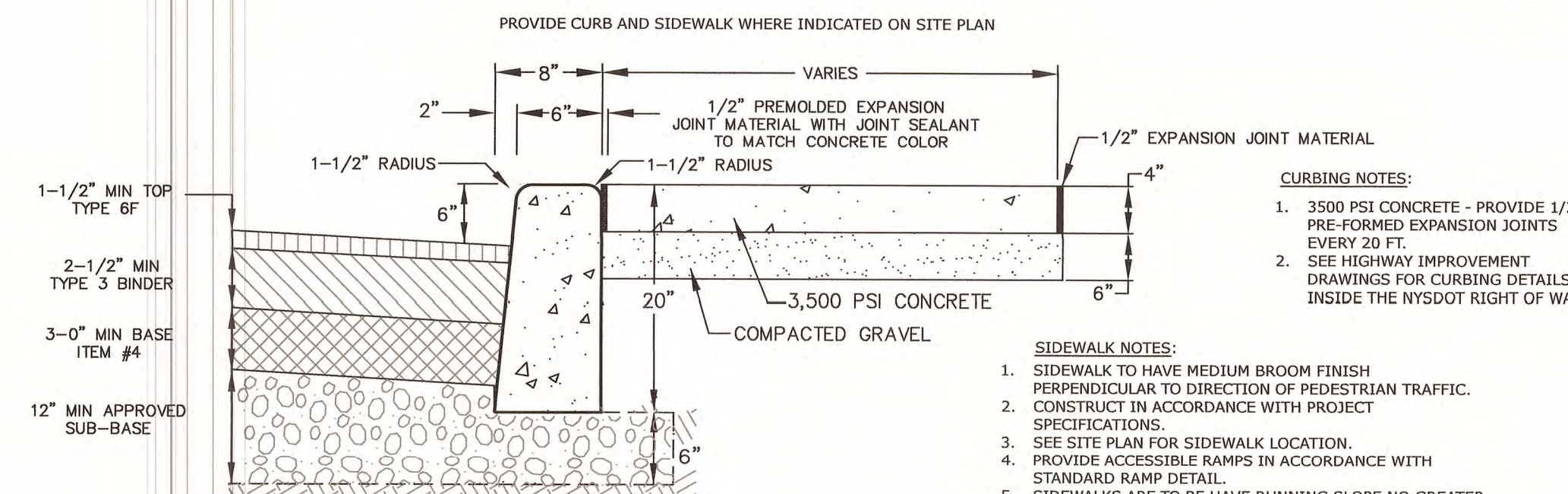
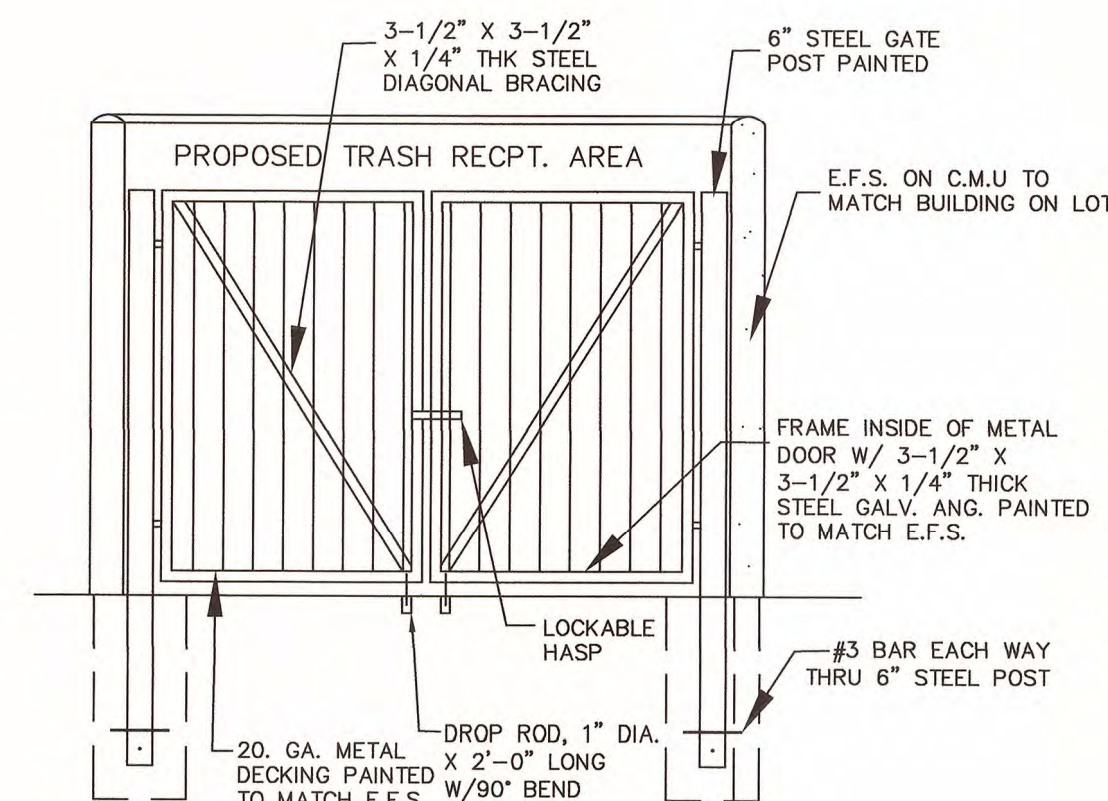
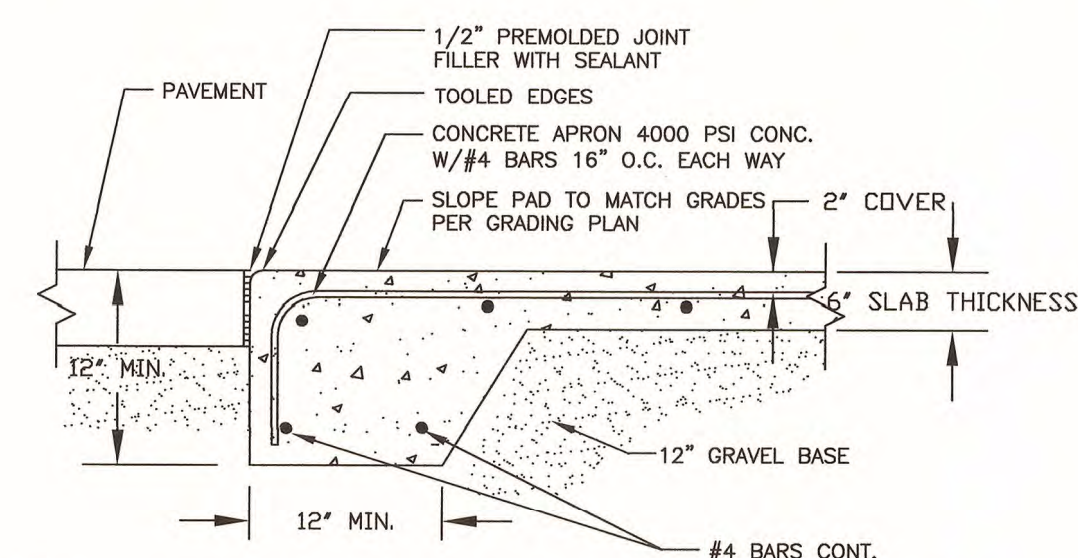
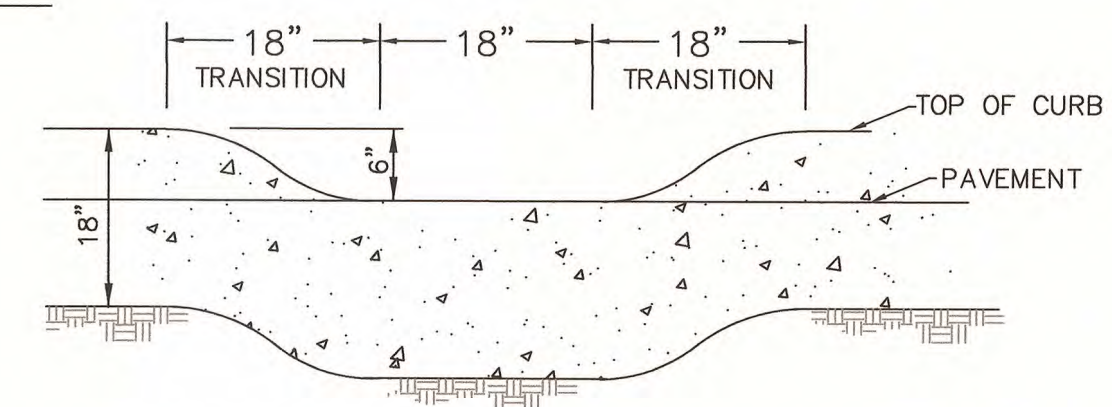
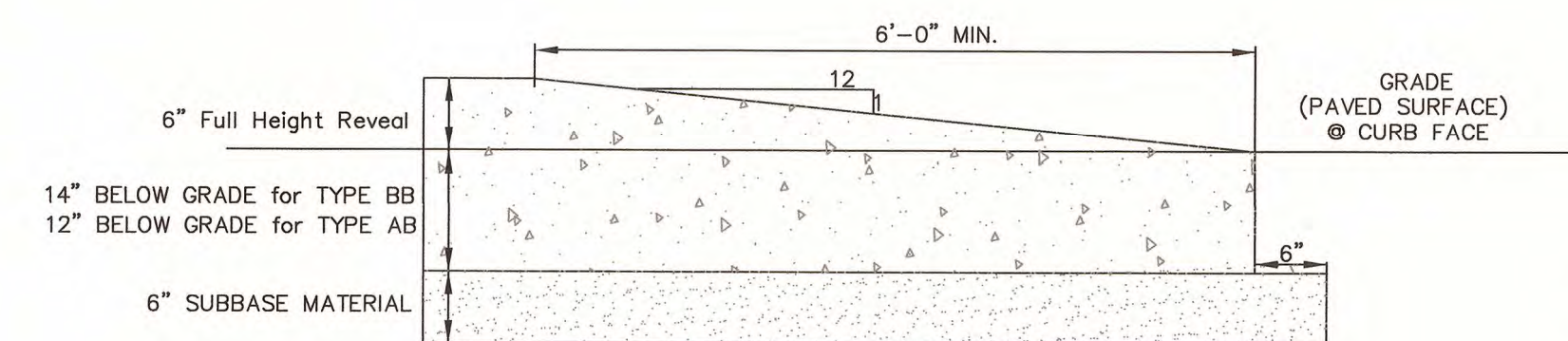
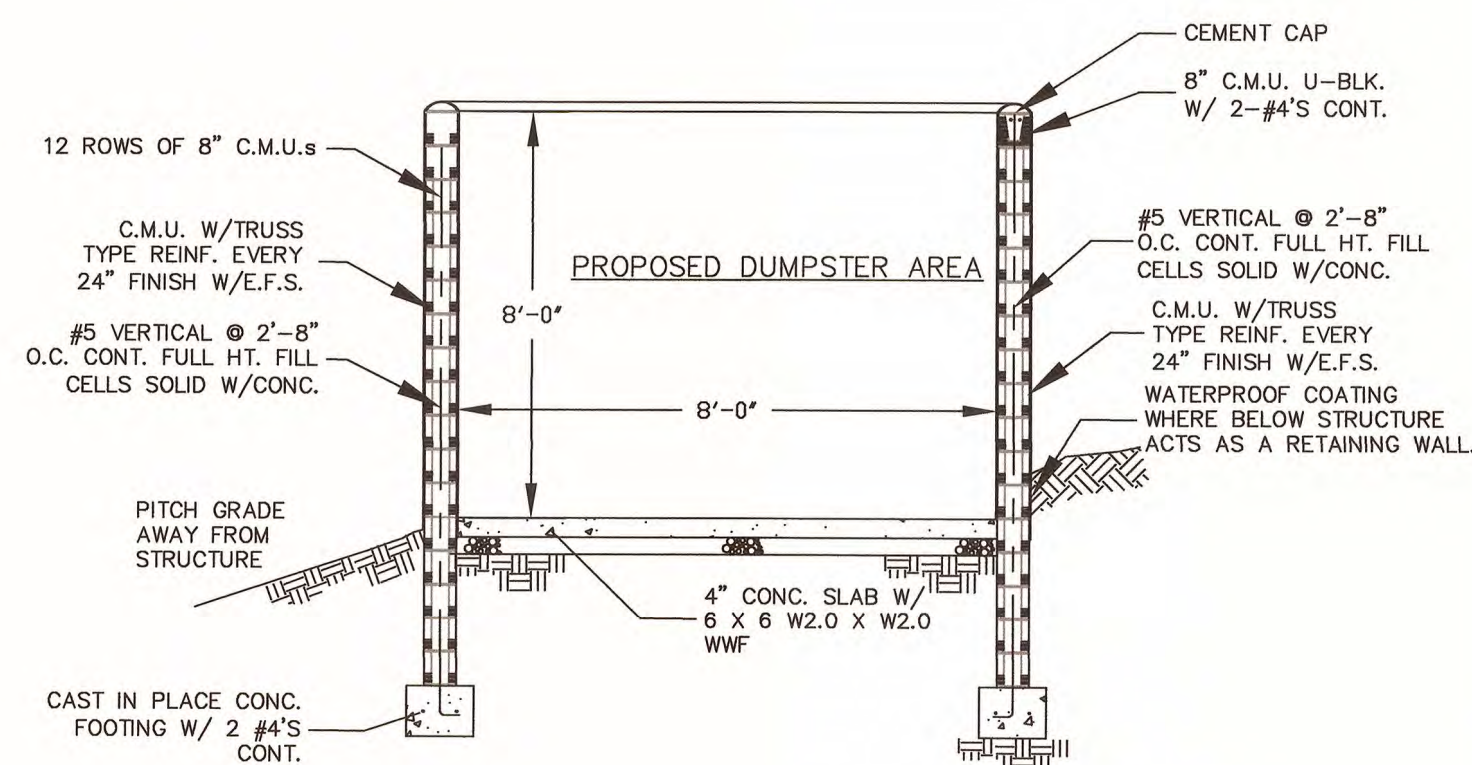


- Curb Ramp Notes:**

1. A curb ramp is defined as the entire concrete surface which includes the ramp & flared sides. The minimum 5' wide center portion, including the detectable surface, shall have a sloped plane of 8.33% (1:12) maximum, and cross slope, not to exceed 2%. The "flared sides" of the ramp shall lie on a slope of 10% (1:10) maximum measured along the curb. The curb ramp shall have a surface tolerance of 1/4" per 10 foot straight edge maximum.
2. The ramp center line and path of travel should be parallel to the sidewalk whenever possible. The full width of the ramp shall lie within the crosswalk area. It is desirable that the location of the ramp be as close as possible to the center of the crosswalk.
3. Existing utility boxes and covers shall be adjusted flush with the curb ramp surface and shall not straddle any change in plane or material. Existing utility box frames and covers shall have matching surface finish on the entire frame and cover. New utility boxes shall not be placed within the detectable border.
4. The surface of the curb ramp and detectable surface material shall be stable, firm and slip resistant. Detectable warning fields shall visually contrast with adjoining surfaces either light on dark or dark on light. The concrete curb ramp surface shall be broom finished transverse to the axis of the ramp and shall be slightly rougher than the finish of the adjacent sidewalk surface.
5. A level landing 5'-0" deep, with a 2% maximum slope in each direction shall be provided at the upper end of each curb ramp to allow safe egress from the ramp surfaces. The width of the level landing shall be at least as wide as the width of the ramp.
6. Seal all joints on sidewalks and ramps. Maximum width of expansion joint is 1/2"



VERIFY DRAINAGE REQUIREMENTS WITH HEALTH INSPECTOR




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KAD LED
LED Area Luminaire



Specifications

EPH: 12 ft
Length: 13.12 ft
Width: 13.12 ft
Height: 2.18 ft
Weight (max): 35 lbs




Capable Luminaire
This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system level interoperability.
• All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency.
• This luminaire is A+ Certified when ordered with DTL or controls marked by a **RoAM** logo.
• This luminaire is A+ Certified when ordered with DTL or controls marked by a **RoAM** logo.
• This luminaire is part of an A+ Certified solution for RoAM2 or RoAM3 Wireless control network, providing out-of-the-box control compatibility with unique commissioning, when ordered with drivers and control options marked by a **RoAM** logo.
To learn more about A+, visit www.acuitybrands.com/a+.
1. See ordering tree for details.
2. A+ Certified Solutions for RoAM require the order of one RoAM node per luminaire. Sold Separately. L80-B-S000, L80-B-S001, L80-B-S002.

Ordering Information

EXAMPLE: KAD LED 40K 1000 40K R4 MVOLT SPD04 D0B0D

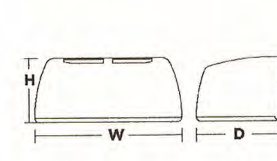


CSXW LED
LED Wall Luminaire



Specifications


Height: 7.18 ft
Width: 16.38 ft
Depth: 9.51 ft
Weight (max): 35 lbs






Introduction
The Concorde Series luminaires offer traditional square daylights with softened edges for a seamless look that complements many applications.
The CSXW LED combines the latest in LED technology with the familiar aesthetic of the Concorde Series for stylish, high-performance illumination that lasts. It's ideal for replacing 100-800W metal halide in wall-mounted applications with typical energy savings of 50% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: CSXW LED 30C 700 40K TSM MVOLT D0B0D

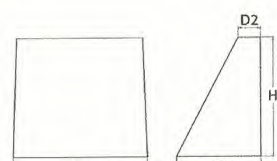


WDGE1 LED
Architectural Wall Sconce



Specifications

Depth (D): 5.5 ft
Depth (D2): 1.5 ft
Height: 0 ft
Width: 0 ft
Weight (max): 7 lbs



Introduction
The WDGE1 LED family is designed to meet specifically every wall-mounted lighting need in a widely accepted design that blends with any architecture. The clean, minimalist design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing true site-wide solution.
WDGE1 delivers up to 2,000 lumens with a soft, even, ambient light source, creating a visually comfortable environment. The compact size of WDGE1 with its integrated emergency battery backup option makes it an ideal over-the-door wall-mounted lighting solution.

Ordering Information

EXAMPLE: WDGE1 LED P2 40K B0CR1 VF MVOLT SRM FE D0B0D

1

POLE MOUNTED LIGHT DETAIL (FIXTURE A)

35 WATT KAD LED 20C 530 40K R4 MVOLT HS (TYPE 4 OPTICS) OR EQUAL

2

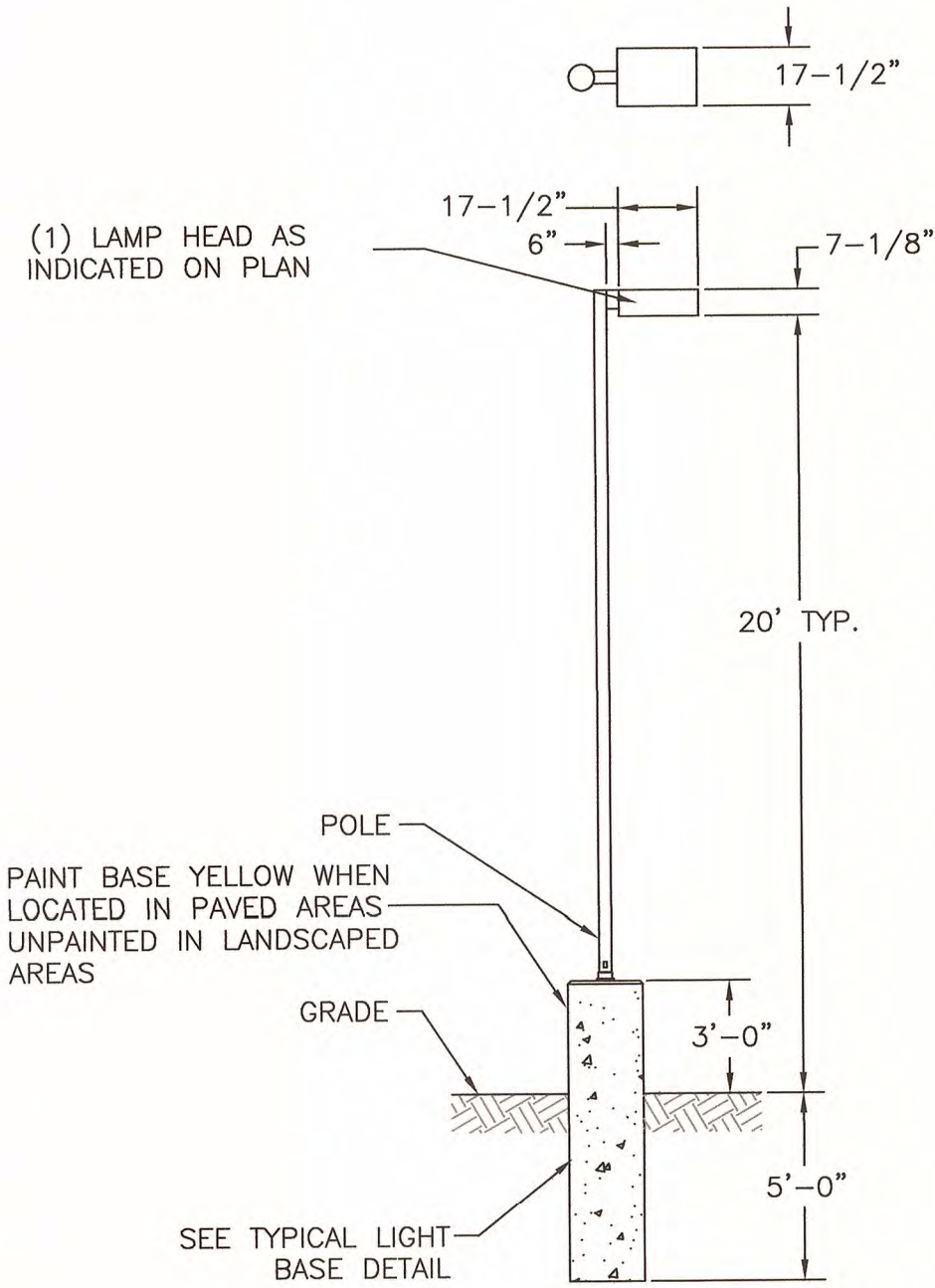
WALL MOUNTED LIGHT DETAIL (FIXTURE B)

MODEL: CSXW LED 30C 700 40K TSM 68 WATT OR EQUAL
REFERENCE ARCHITECTURAL PLANS FOR FINAL LIGHT FIXTURES

3

WALL MOUNTED LIGHT DETAIL (FIXTURE C)

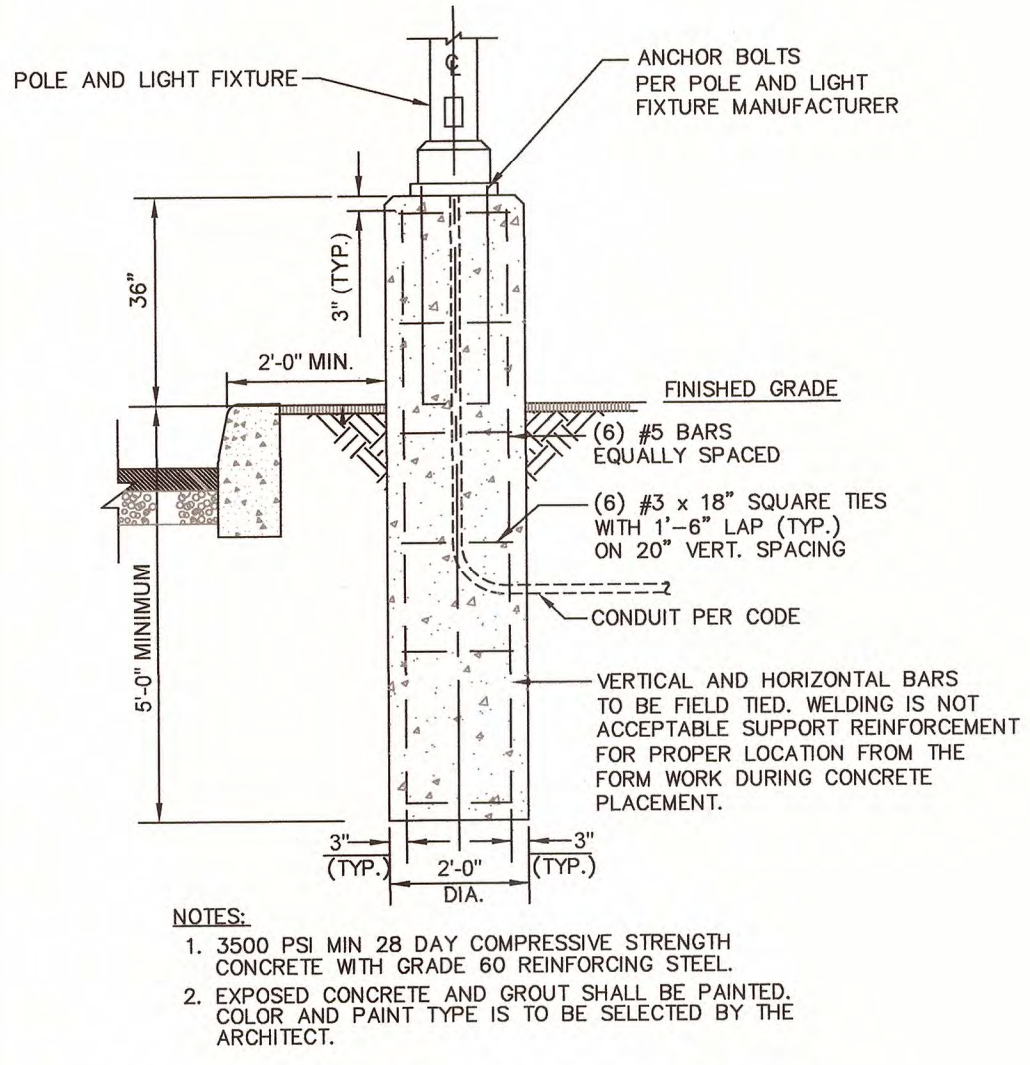
LITHONIA WIDE1 ARCHITECTURAL WALL MOUNTED LIGHT
MODEL: TO WANT LED LITHONIA WIDE1 LED 1 LED IN 30K 80 CH VF OR EQUAL
REFERENCE ARCHITECTURAL PLANS FOR FINAL LIGHT FIXTURES



4

POLE MOUNTED LIGHT DETAIL

35 WATT KAD LED 20C 530 40K R4 MVOLT HS (TYPE 4 OPTICS) OR EQUAL



5

TYPICAL LIGHT BASE

MAP REVISION DATES		
DATE	REVISION	BY

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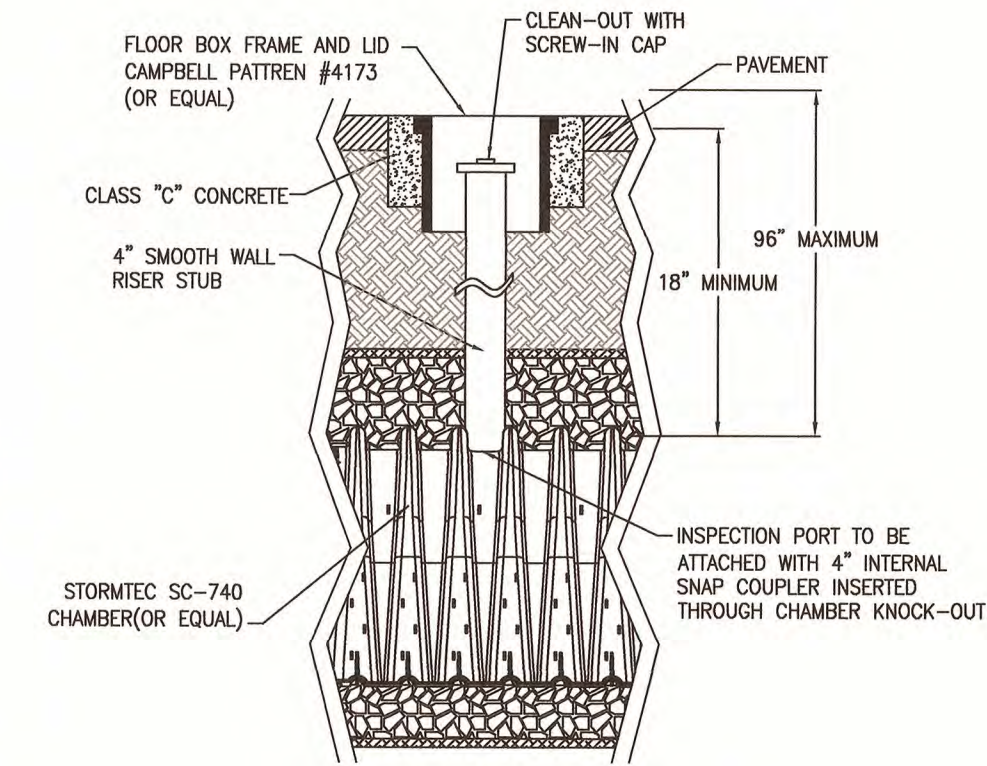
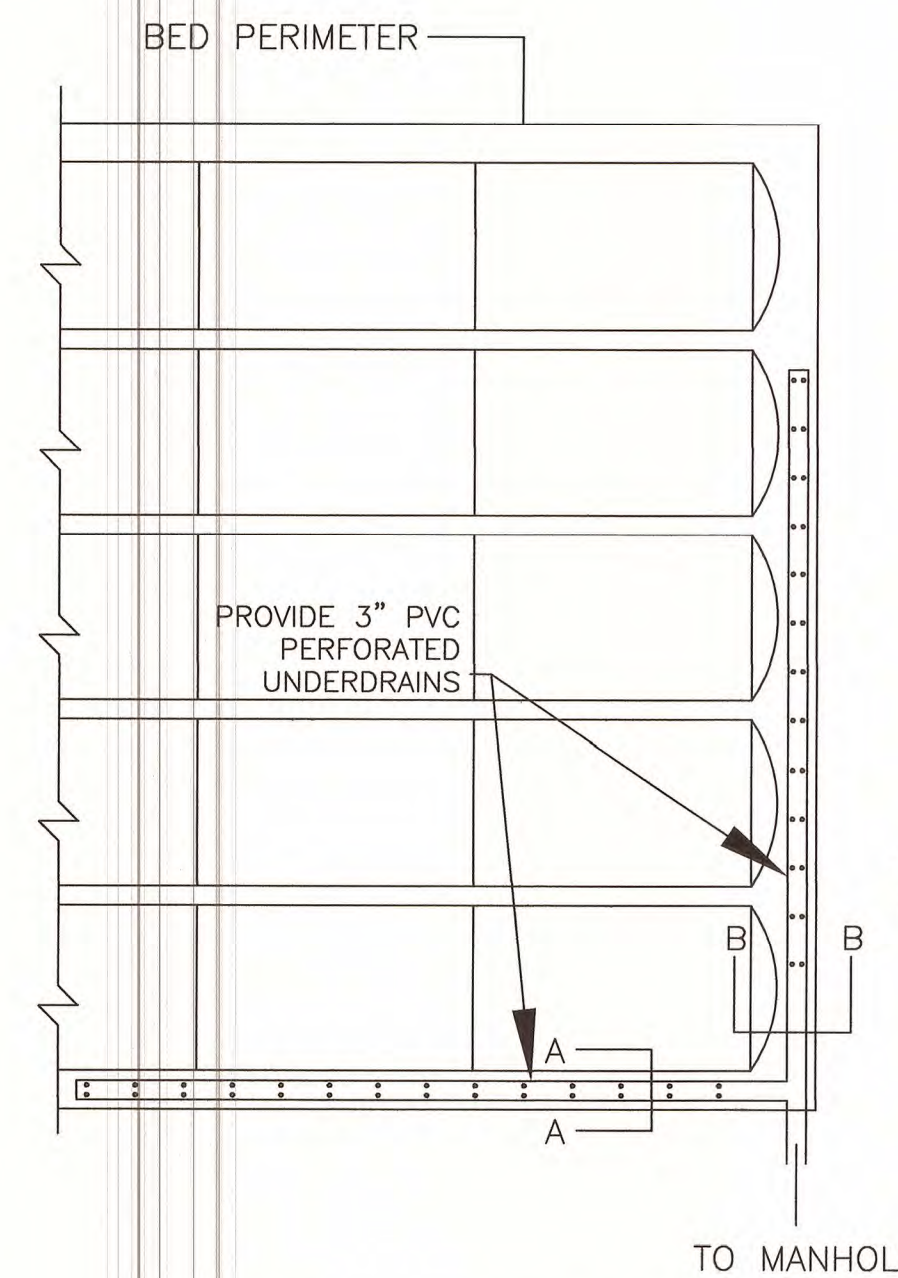
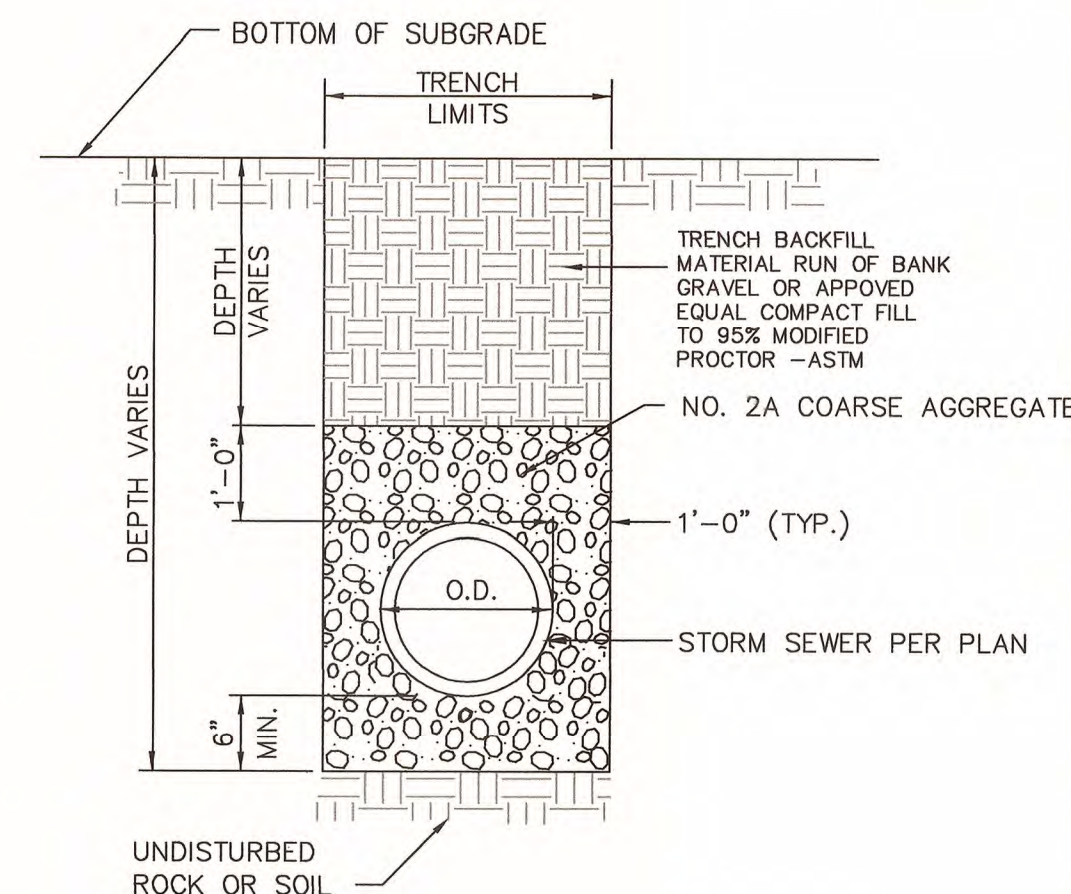
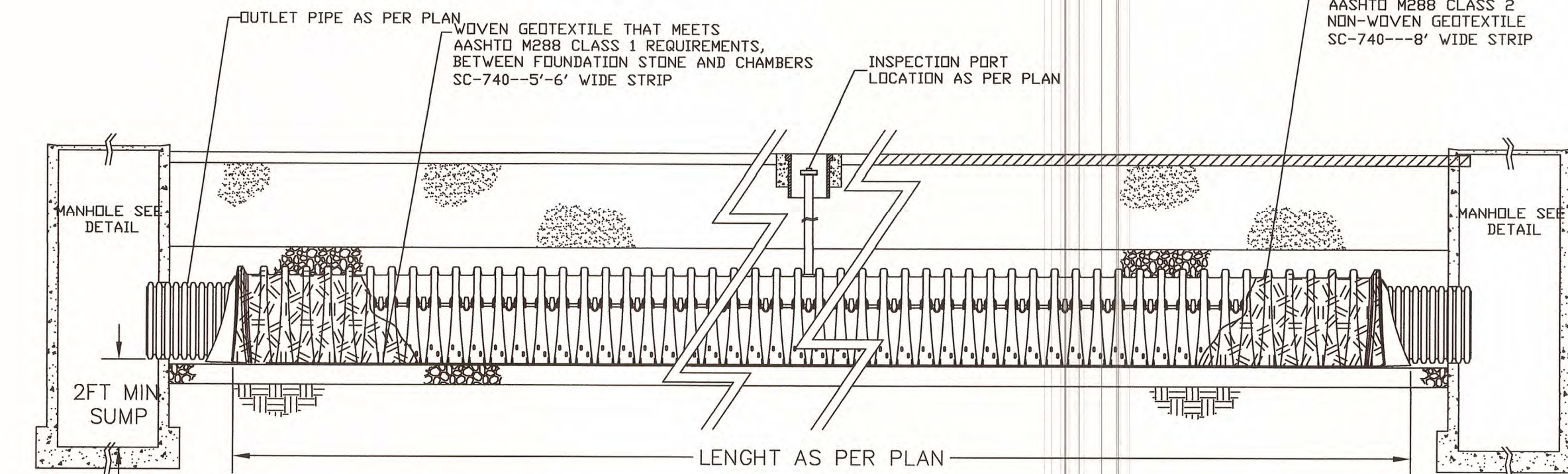
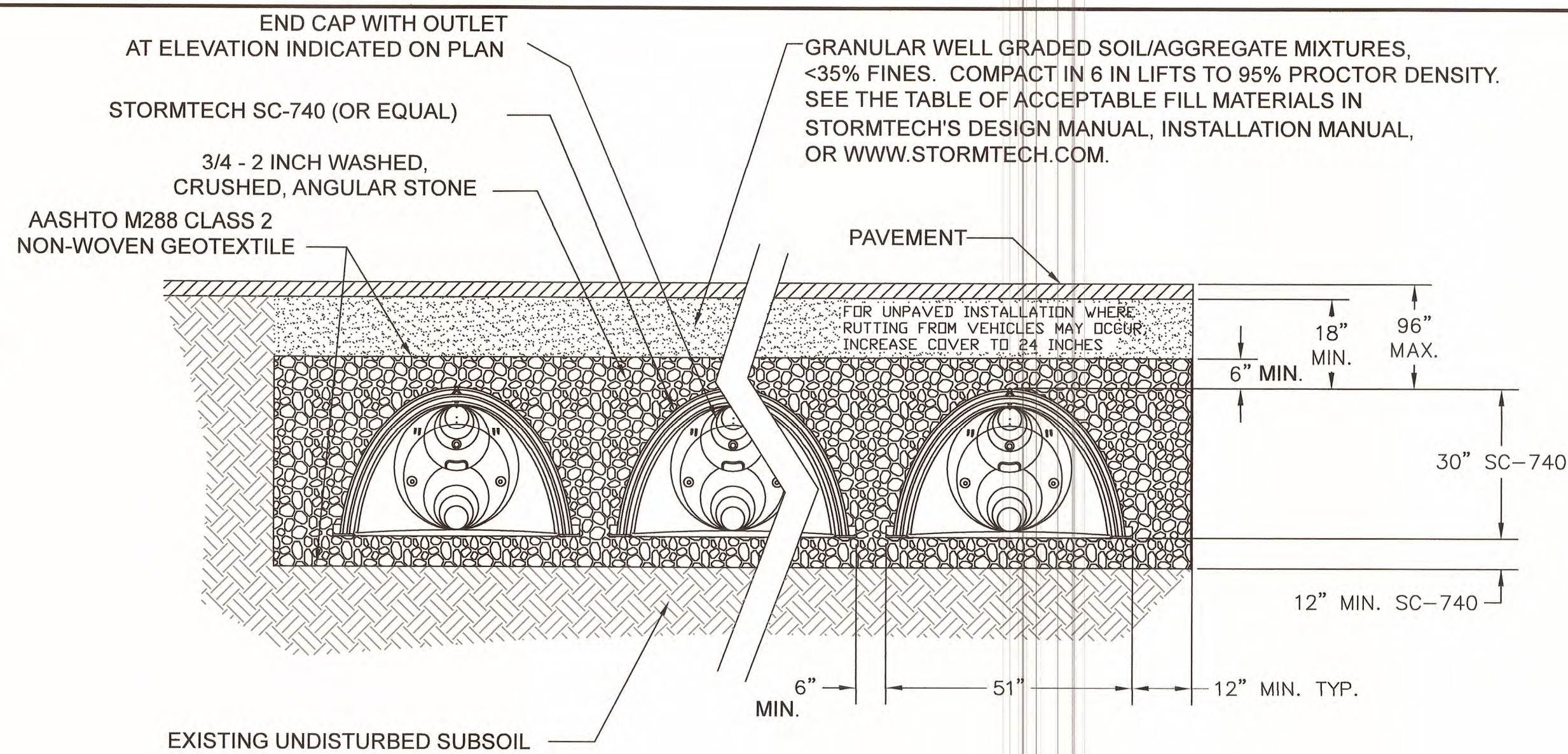
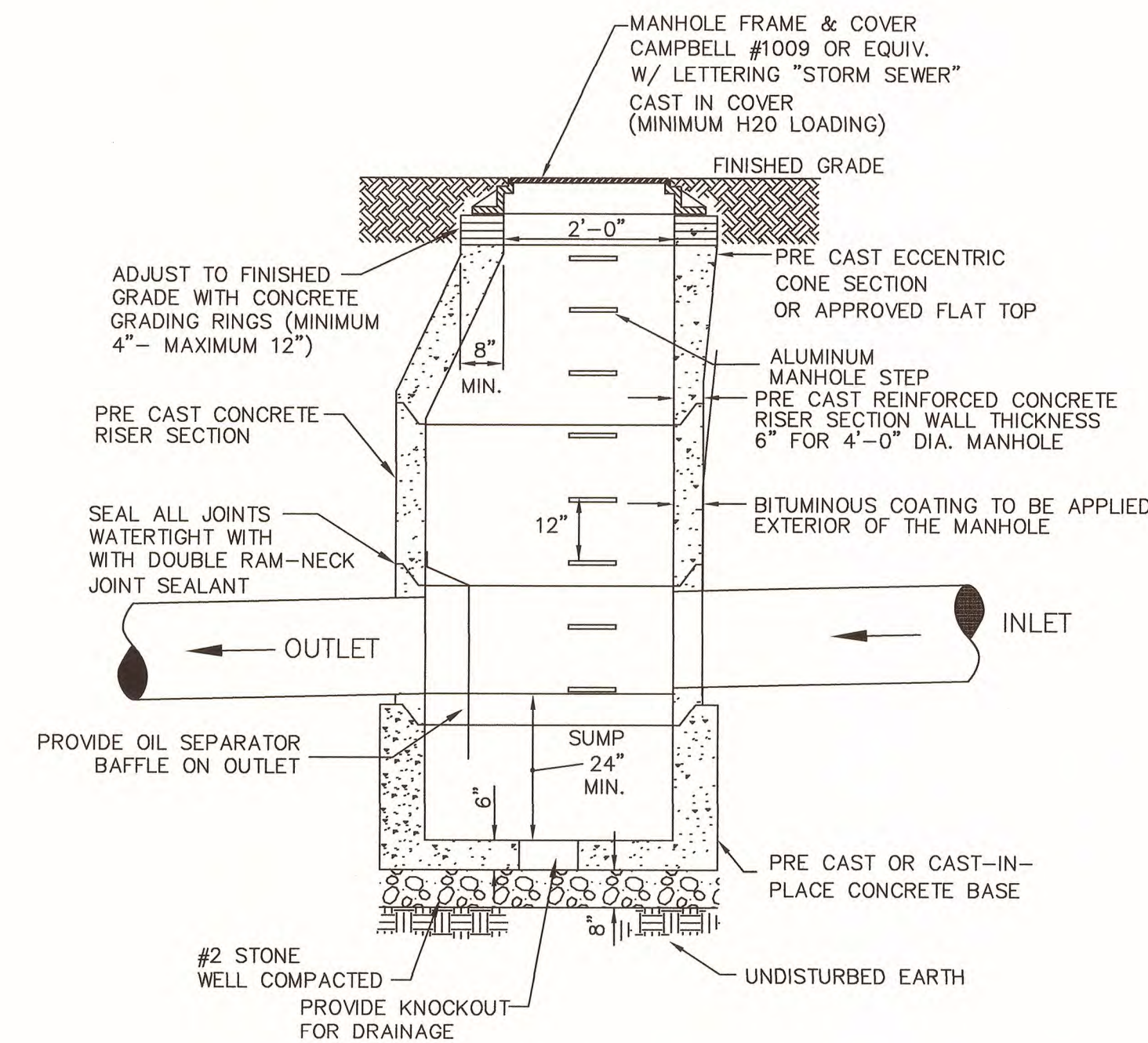
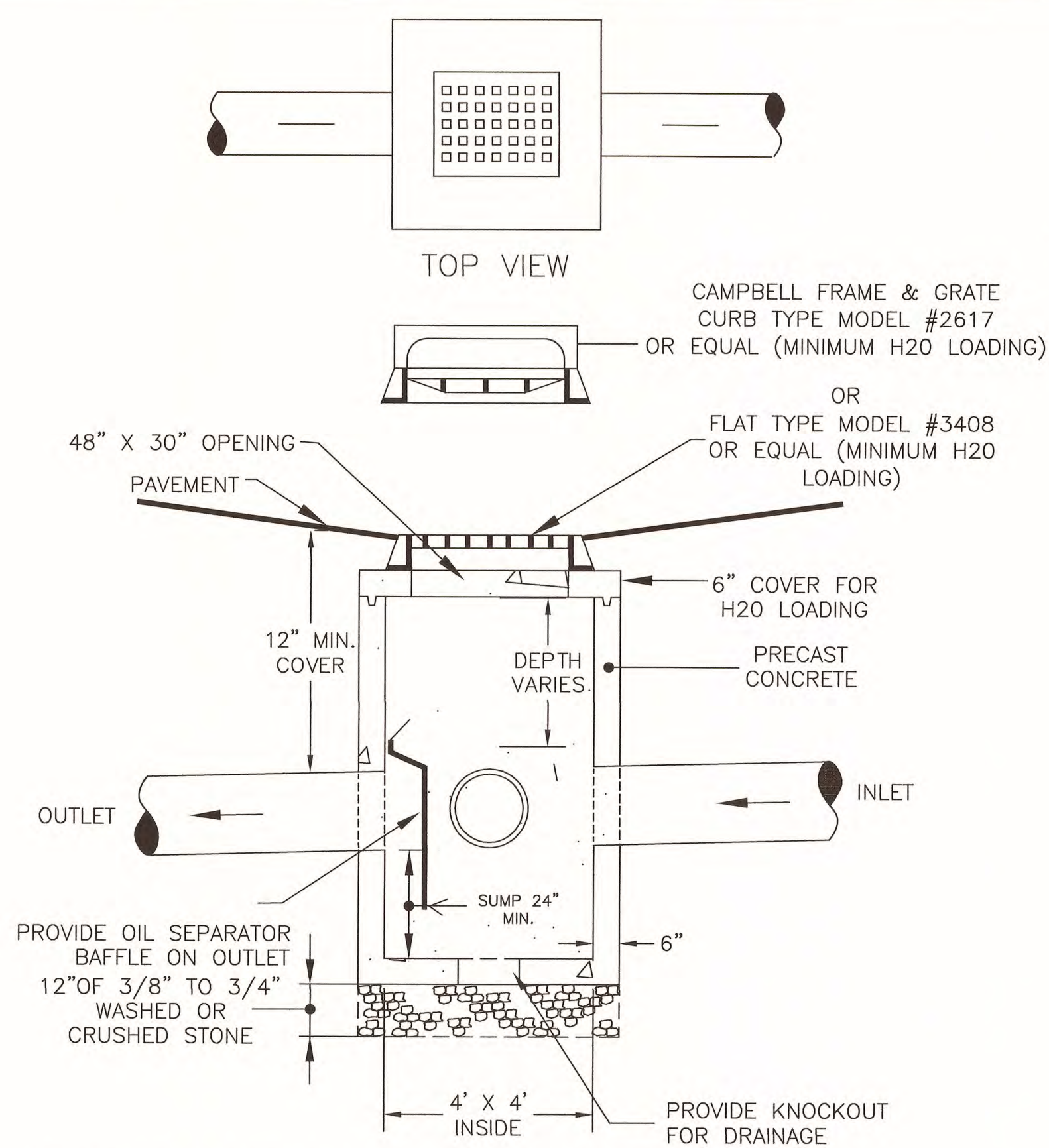
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General Utility Notes and Specifications:

General Provisions:

- All construction activities shall be in compliance with municipal, county state and federal regulations.
- The protection of adjacent properties or areas on site that are not to be disturbed during construction, shall be the responsibility of the contractor.
- Any conditions encountered in the field differing from those shown hereon, shall be reported to the design engineer before construction is to proceed.
- Exploratory excavations shall be performed as needed at all utility connection locations by the contractor to verify existing conditions prior to work. Before connecting to existing utilities, verify existing utility inverts and notify the engineer if any deviation from the plan is required.
- Where underground or overhead obstructions are encountered in the work, the contractor shall assume all costs for direct or indirect injury to them. Any valve box, valve pit, water service, water main, catch basin, manhole etc. whether or not shown on the drawings shall be protected from damage.
- The contractor shall maintain service for all existing utilities until no longer necessary.
- All trenching and shoring shall adhere to OSHA guidelines.

Excavation and Earthwork:

- Prior to site disturbance the contractor shall install required erosion & sediment control measures.
- Strip all topsoil prior to commencing earthwork operations. Topsoil may be stored and reused in lawn and planting areas only.
- Excavation shall be carried to the lines, grades and slopes shown on the approved plans. All final earthwork shall be smoothly and evenly blended into existing conditions.
- Remove all vegetation, trees, stumps, grasses, organic soils, debris and deleterious materials from excavated soils to be reused as fill onsite.
- Where unstable or unsuitable material is encountered at the prescribed bottom grade of the trenches it shall be removed.
- Contractor shall be responsible for dewatering utility trenches and excavations and for the maintenance of surface drainage during the course of the work.
- After final grading the contractor shall reapply stockpiled top soil on all lawn and planting areas. Topsoil shall be evenly spread a minimum of 4 (four) inches over all planting areas seeded and mulched in lawn areas or planted as per landscaping plan in planting beds. The contractor shall restore lawns, driveways and other disturbed areas to at least as good a condition as before being disturbed.

Utility Bedding and Backfill:

- Selected bedding (as specified on the utility typical trench sections heron) shall be provided for the construction of pipe foundations at those locations where the foundations or excavated material, or any portion thereof deemed to be unsuitable for supporting the pipe or structure, or for back filling the cover portion of the trenches to a level one foot above the pipe, or where excavated material consist of a predominance of large stone, boulders or rock which is not suitable for placing in the trench. Certified sieve analysis shall be submitted from the supplier for the engineer's review prior to use.
- All suitable back fill material shall be placed in layers not exceeding twelve (12) inches in depth, (loose measure), and shall be thoroughly tamped and compacted to a minimum density of 95% standard AASHTO-199 (ASTM-D698, as amended) compaction test. Compacting equipment shall be of a suitable type for the various back filling operations.

Drainage:

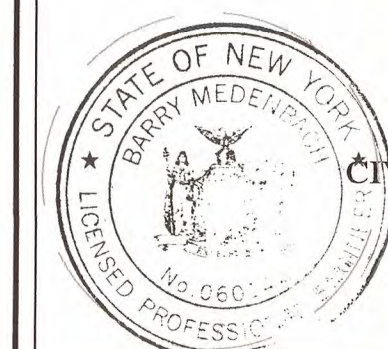
- All storm sewer pipe shall be smooth interior HDPE pipe unless noted otherwise.
- HDPE end sections shall be provided on all drainage pipe inlets or outlets not connected to catch basins or other drainage structures. All outlets shall also be stabilized with rip-rap as per plans.
- All concrete chambers shall be pre cast concrete to the specifications and dimensions shown hereon. Frames and grates shall be gray iron or ductile iron. Gray iron shall conform with ASTM A 48, Class 300 and ductile iron shall conform with ASTM A 536 and be of a grade appropriate to its intended use to the dimensions and specifications as shown hereon. Any structures subject to vehicle loads shall be able to withstand an H20 loading. Shop drawings shall be submitted to the design engineer for approval prior to construction.
- The gutters and ditches shall be kept open at all times for surface drainage. No damming or ponding of water, in gutters or other waterways will be permitted except where the engineer shall consider it necessary.
- The transport of soils to the drainage system shall be avoided during and after construction.
- All exposed soils shall be stabilized with vegetation, stone or as directed by the engineer.
- Methods used to control soil erosion and sediment control shall be in accordance with the approved soil erosion and sediment control plan or as directed by the engineer. Contractor is responsible for conducting daily stormwater inspections.

MAP REVISION DATES

DATE	REVISION	BY

DRAINAGE DETAILS PROPOSED MIXED USE BUILDING

8 RETAIL SPACES (10,520 SF) WITH 4 APARTMENTS
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Any unauthorized alteration or addition to this plan is a violation of Sect. 7209, Subdivision 2 of N.Y.S. Education Law.