

LOCATION MAP: Town of Marlborough Tax Map, Section 103.1  
SCALE: 1" = 200'

# ZONING REQUIREMENTS

FOR C-1 ZONE	<u>REQUIRED</u>	<u>PROVIDED</u>
MINIMUM LOT AREA	5000 SQ.FT. (w/ PUBLIC W&S)	±40,100 SQ.FT.
MINIMUM YARD SETBACKS		
FRONT	5 FT.	7 FT.
SIDE	0 FT.	0 FT.
REAR	20 FT.	87 FT.
MAXIMUM BUILDING HEIGHT	35 FT.	35 - 40 FT.
MAXIMUM BUILDING COVERAGE	75%	± 25.6%
<b><u>PARKING REQUIREMENTS</u></b>		
<b><u>COMMERCIAL</u></b>		
(1 SPACE PER 300 SQ. FT.)		
STREET LEVEL = 10,520 SQ. FT.	35 SPACES	
<b><u>RESIDENTIAL</u></b>		
(1.5 SPACE PER DWELLING UNIT)		
SECOND FLOOR = 16 DWELLING UNITS	24 SPACES	
THIRD FLOOR = 16 DWELLING UNITS	24 SPACES	
	<hr/>	<hr/>
HANDICAPPED SPACES (4%)	83 TOTAL *	47 TOTAL
	3 SPACES	3 SPACES
<b><u>*OFFSITE PARKING PROVIDED ON 12 BREWSTER STREET</u></b>		
<b><u>DENSITY</u></b>		
PROPOSED: 8 RETAIL X 4 APARTMENTS = 32 UNITS (APARTMENTS)		
TOTAL AREA REQUIRED: 40,000 SQ.FT.		

APPROVED BY THE TOWN OF MARLBOROUGH PLANNING BOARD

DATE \_\_\_\_\_

CHAIRMAN \_\_\_\_\_

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**OWNERS ENDORSEMENT**

I HEREBY GRANT MY APPROVAL TO THIS PLAT AND THE PLANS SHOWN HEREON

#### OWNER / DEVELOPER

**OWNER / DEVELOPER**  
39 Main Street Milton LLC  
96 South Elliot Place  
Brooklyn, NY 11217

AX MAP ID# LOT AREA  
103.1-2-44 Total Area = 40,130 SF

## SHEET INDEX

<u>SHEET</u>	<u>TITLE</u>	
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GP-1	GRADING AND UTILITIES PLAN	SHEET 4 OF 8
LLS-1	LIGHTING AND LANDSCAPING PLAN	SHEET 5 OF 8
D-1	SITE DETAILS	SHEET 6 OF 8
D-2	SITE DETAILS	SHEET 7 OF 8
D-3	DRAINAGE DETAILS	SHEET 8 OF 8

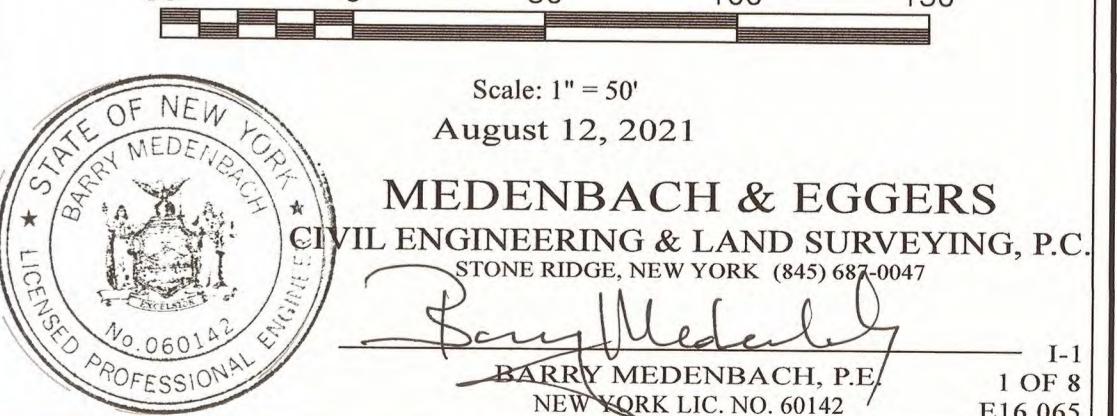
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## INDEX SHEET

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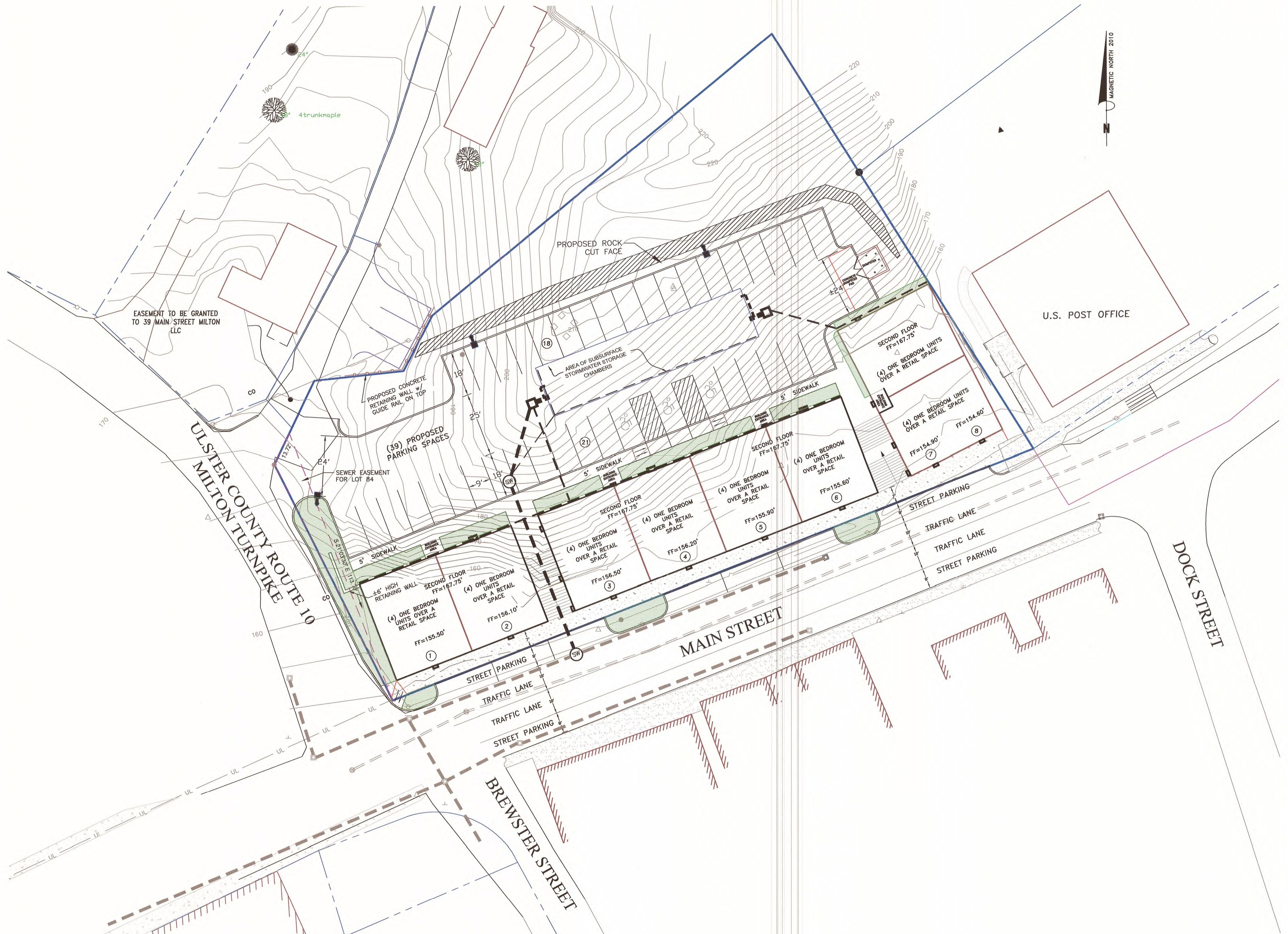
**PROPOSED MIXED USE BUILDING**  
8 RETAIL SPACES (10,520 SF) WITH 4 APARTMENTS  
ABOVE EACH RETAIL SPACE FOR A TOTAL  
OF 32 ONE BEDROOM APARTMENTS  
FOR

FOR  
**39 MAIN STREET MILTON LLC**  
TOWN OF MARLBOROUGH  
ULSTER COUNTY, NEW YORK



Any unauthorized alteration or addition to this plan is a violation of Sect. 7209, Subdivision 2 of N.Y.S. Education Law.





MAP REVISION DATES		
DATE	REVISION	BY

**PROPOSED SITE PLAN**  
FOR  
**PROPOSED MIXED USE BUILDING**  
8 RETAIL SPACES (10,520 SF) WITH 4 APARTMENTS  
ABOVE EACH RETAIL SPACE FOR A TOTAL  
OF 32 ONE BEDROOM APARTMENTS  
FOR  
**39 MAIN STREET MILTON LLC**  
TOWN OF MARLBOROUGH  
ULSTER COUNTY ~ NEW YORK

20 0 20 40 60

Scale: 1" = 20'

August 12, 2021

MEDENBACH & EGgers

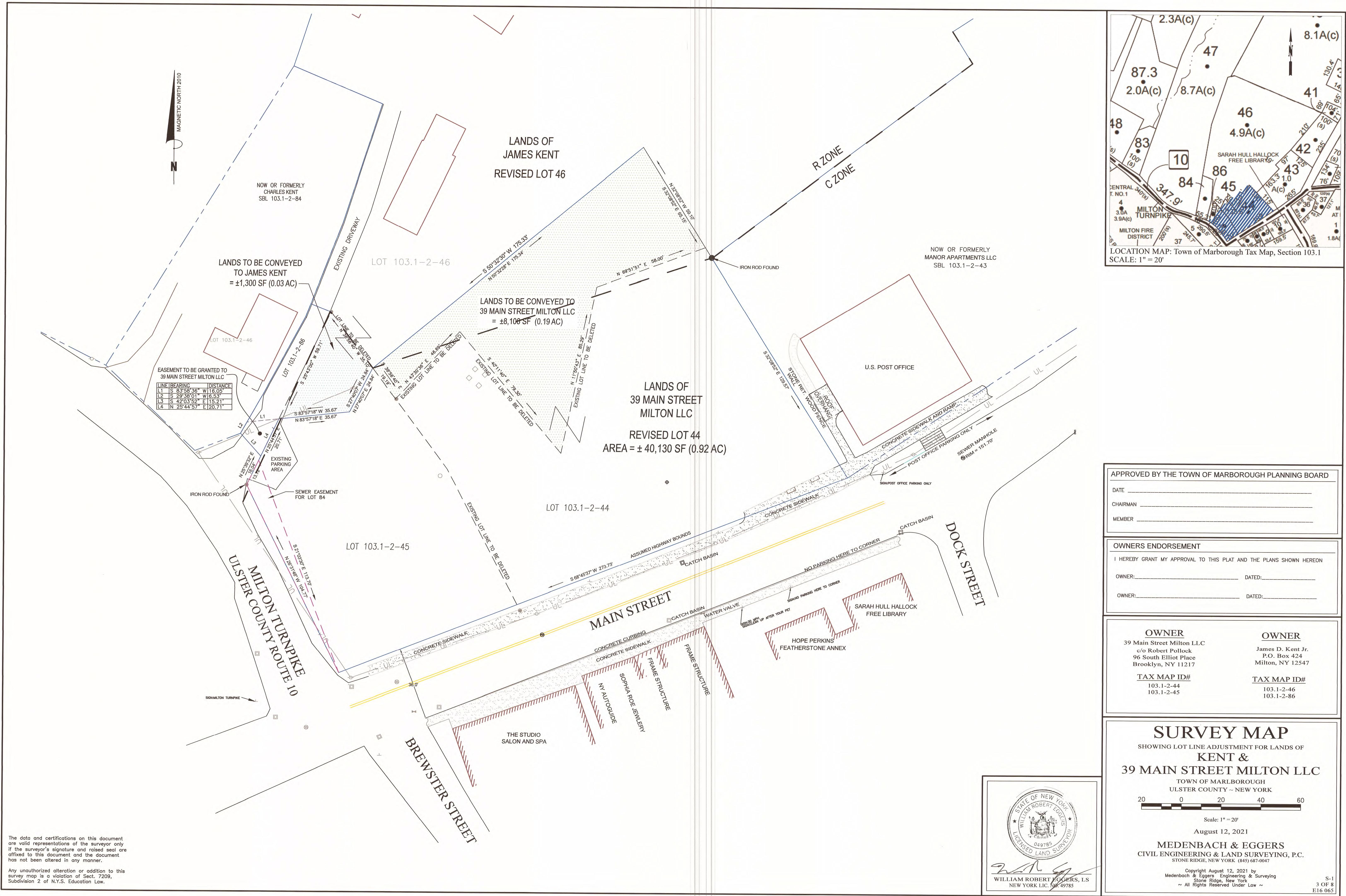
CIVIL ENGINEERING & LAND SURVEYING, P.C.

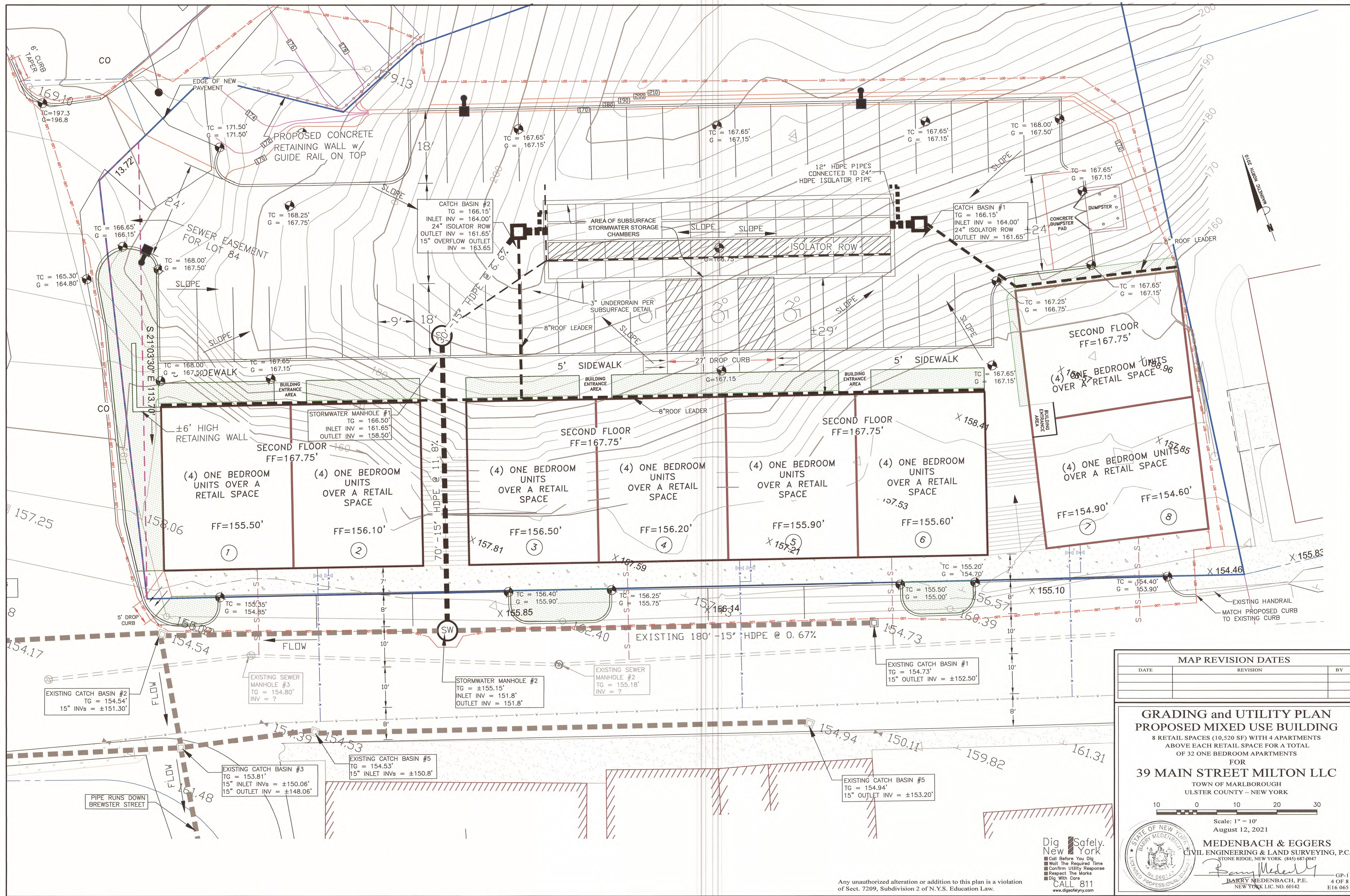
STONE RIDGE, NEW YORK (845) 687-0007

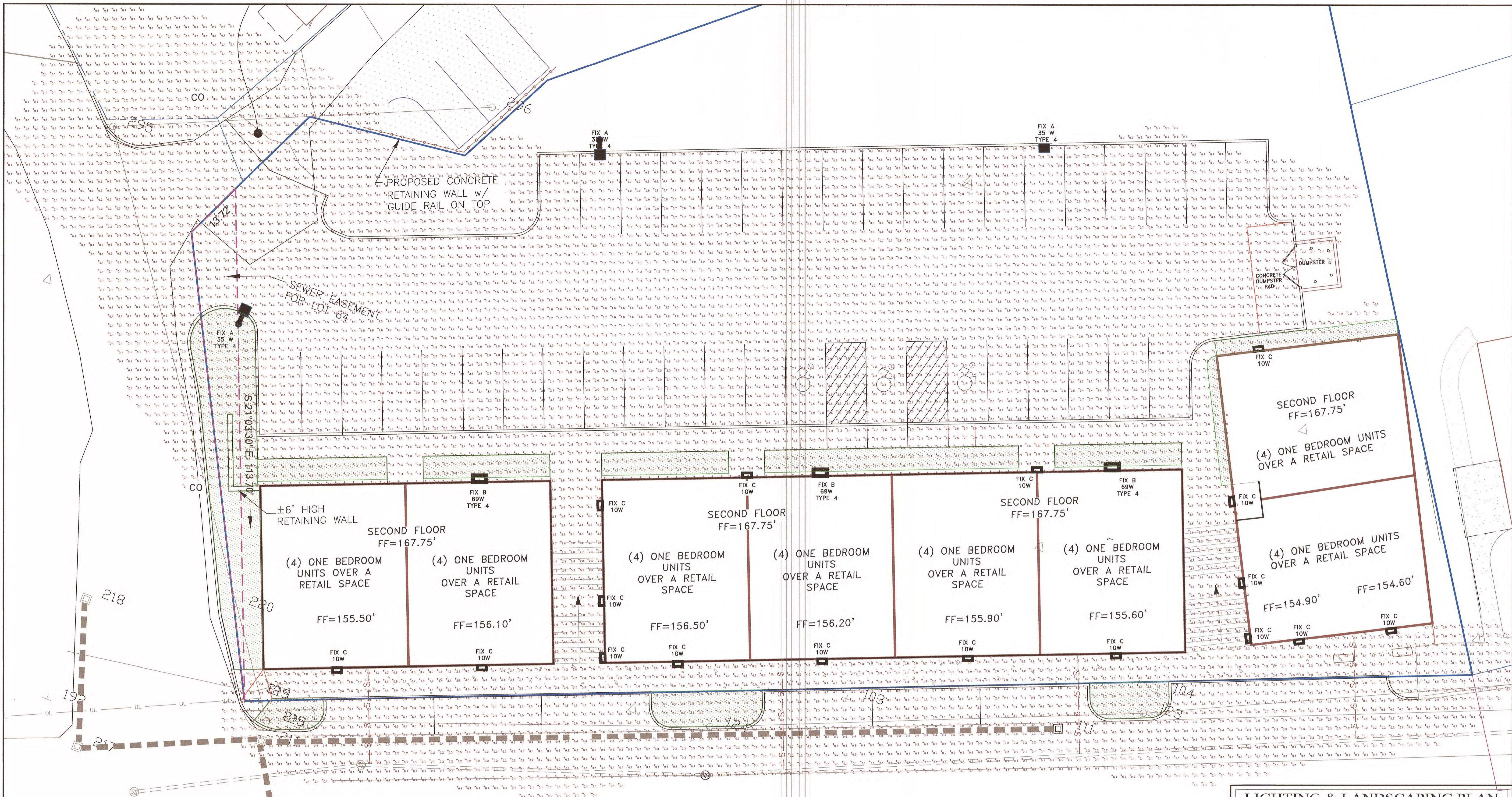


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of Sect. 7209, Subdivision 2 of N.Y.S. Education Law.







### LIGHTING & LANDSCAPING PLAN PROPOSED MIXED USE BUILDING

8 RETAIL SPACES (10,520 SF) WITH 4 APARTMENTS  
ABOVE EACH RETAIL SPACE FOR A TOTAL  
OF 32 ONE BEDROOM APARTMENTS  
FOR

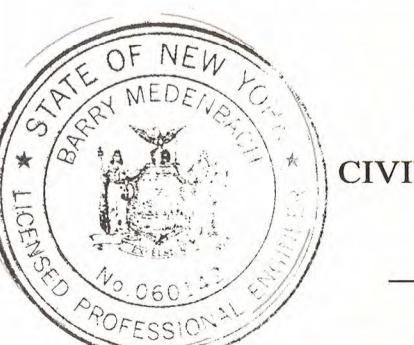
39 MAIN STREET MILTON LLC

TOWN OF MARLBOROUGH  
ULSTER COUNTY ~ NEW YORK

10 0 10 20 30  
Scale: 1" = 10'

August 12, 2021

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CIVIL ENGINEERING & LAND SURVEYING, P.C.  
STONE RIDGE, NEW YORK (845) 687-0047

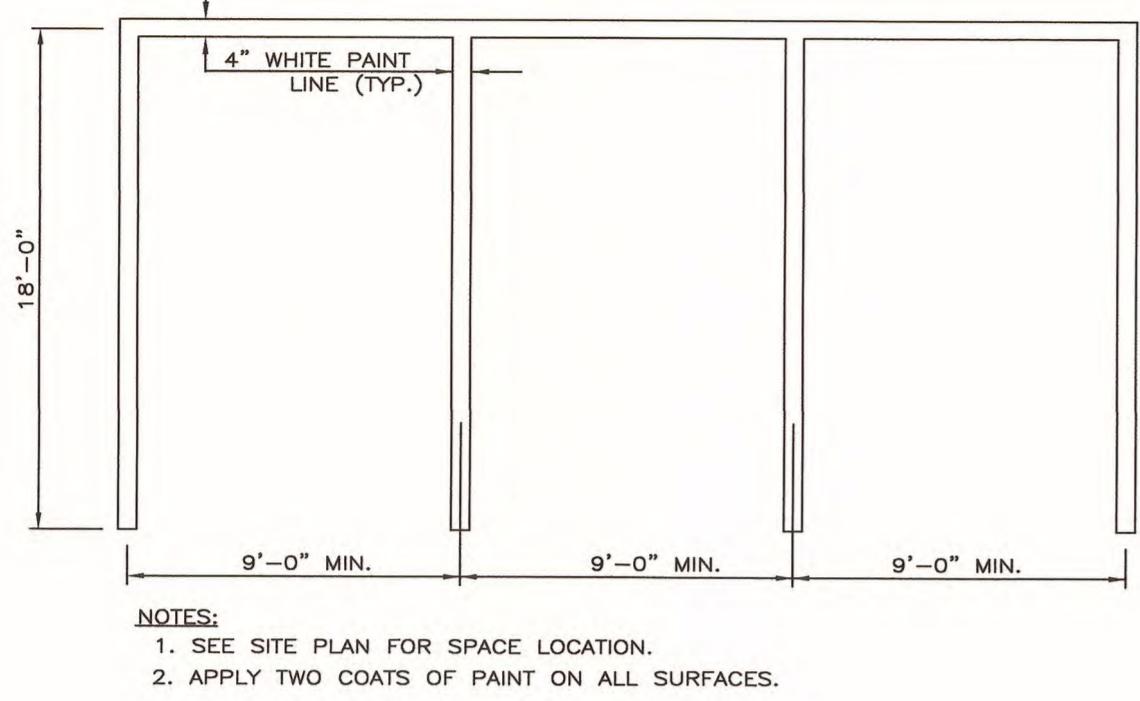
  
BARRY MEDENBACH, P.E.  
NEW YORK LIC. NO. 60142

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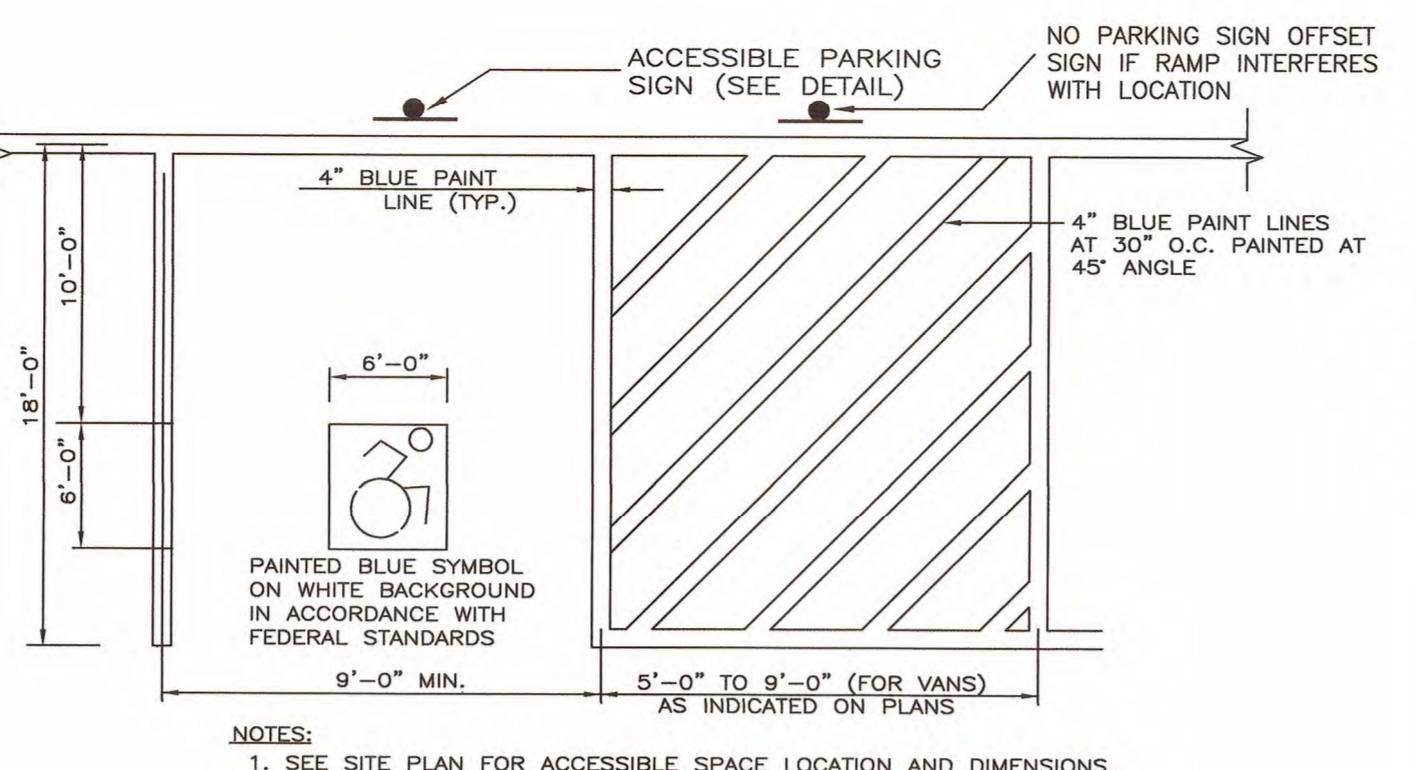
MAP REVISION DATES			
DATE	REVISION	BY	

LIGHTING LEGEND				
Fixture	Wattage (Type)	Denoted By	Height Placement	QTY.
A	35W (LED)		20'	3
B	69W (LED)		18'	3
C	10 W (LED)		±10'	17

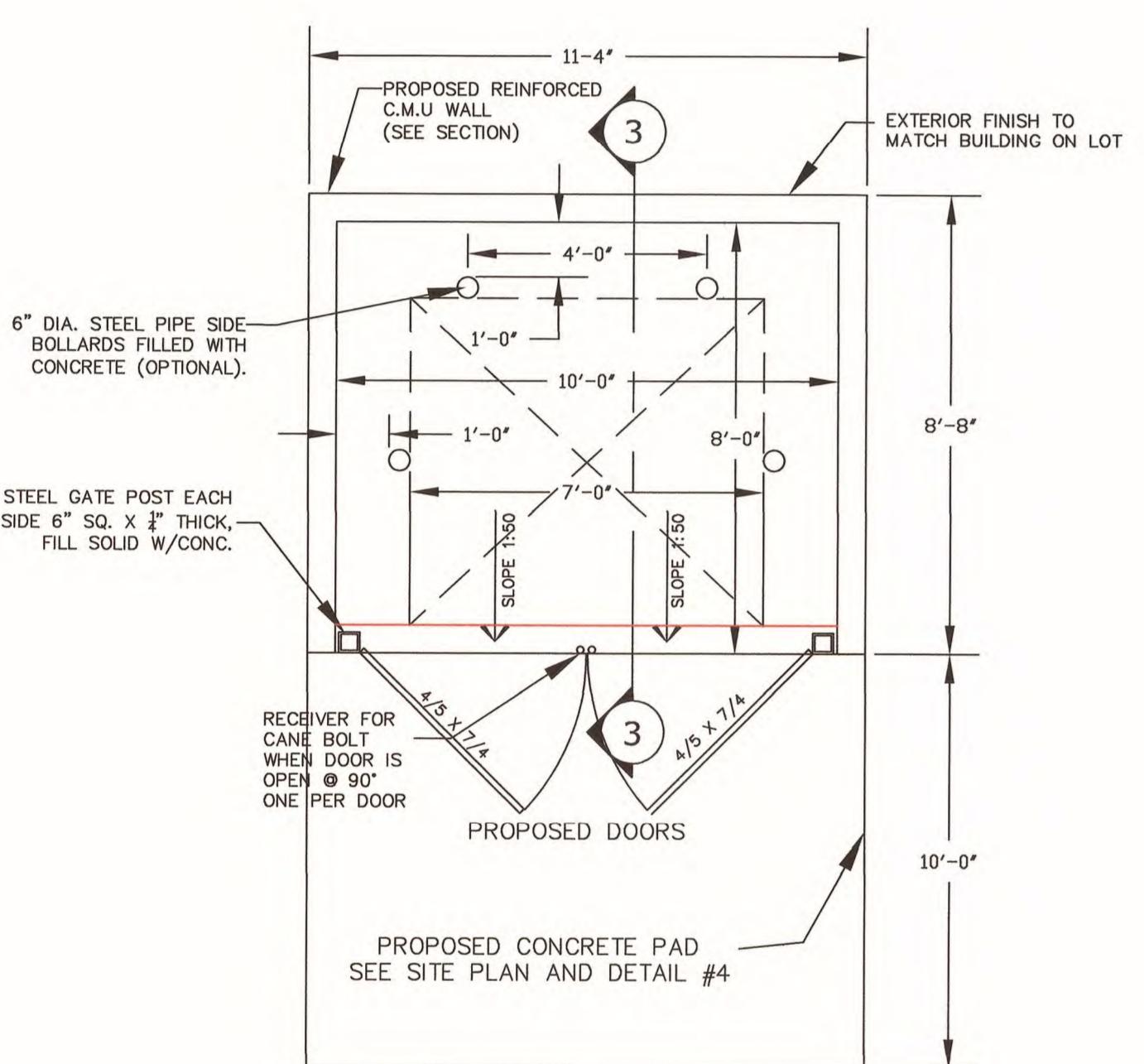
NOTES:  
1. REFERENCE ARCHITECTURAL DRAWINGS FOR ALL LIGHTS ATTACHED TO THE BUILDING.  
2. ALL OUTSIDE LIGHTING IS TO BE FULLY SHIELDED DOWNLIGHTING.  
3. SEE LIGHTING DETAILS ON DETAIL SHEETS.



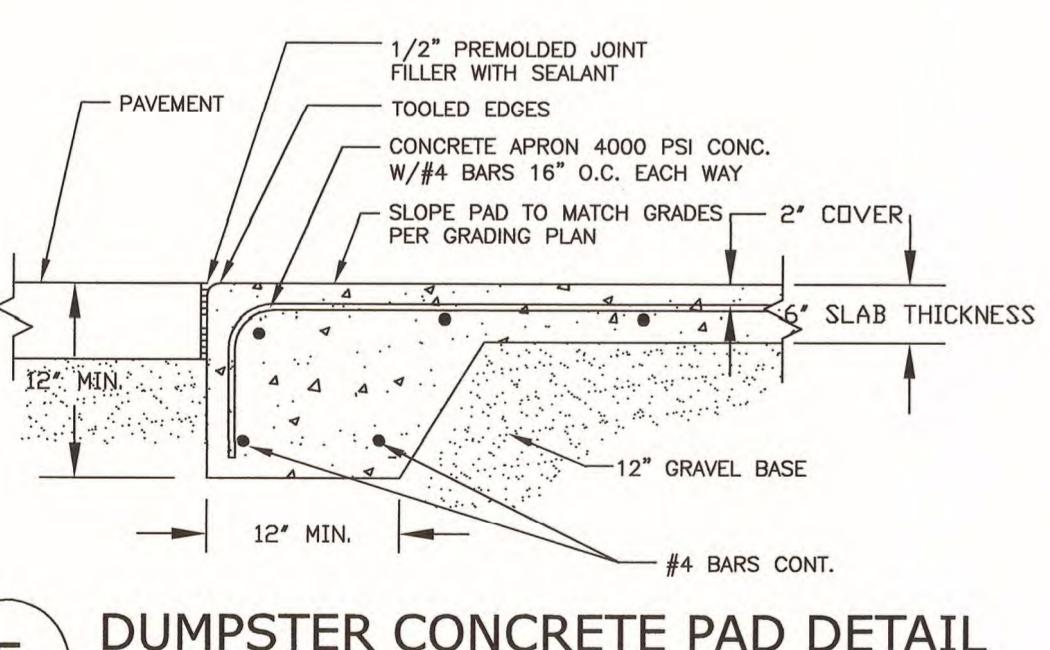
### 1 TYPICAL PARKING SPACE DETAIL NOT TO SCALE



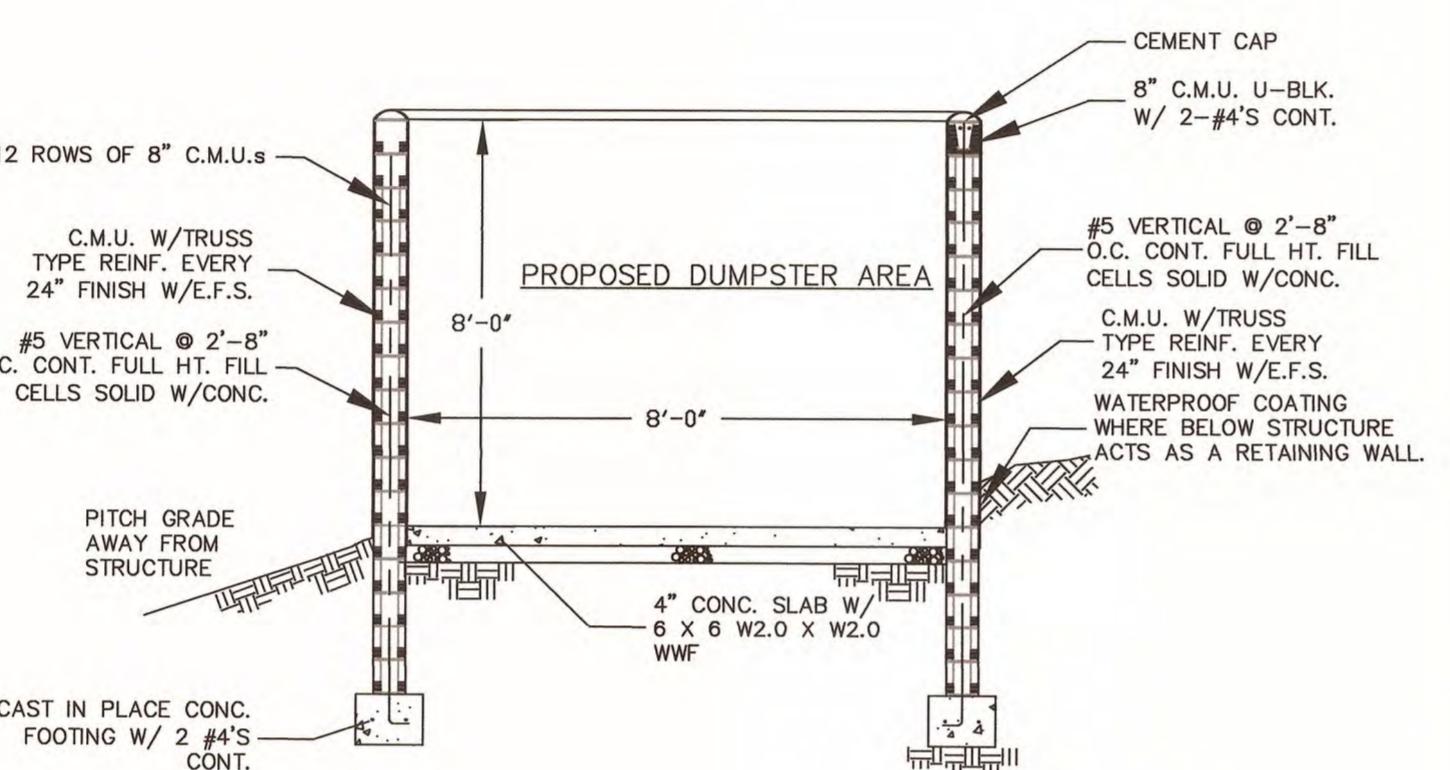
### 2 ACCESSIBLE PARKING SPACE DETAIL NOT TO SCALE



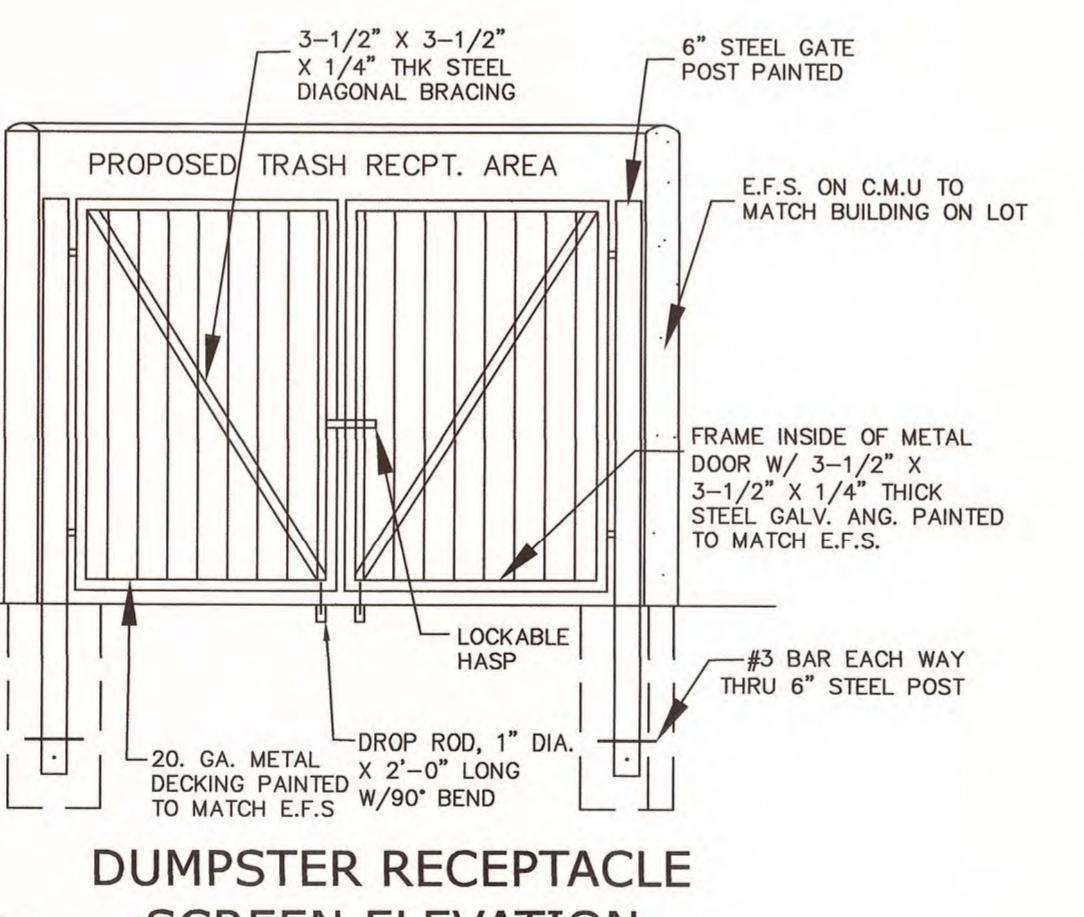
### 3 DUMPSTER RECEPTACLE SCREEN PLAN SCALE: NOT TO SCALE



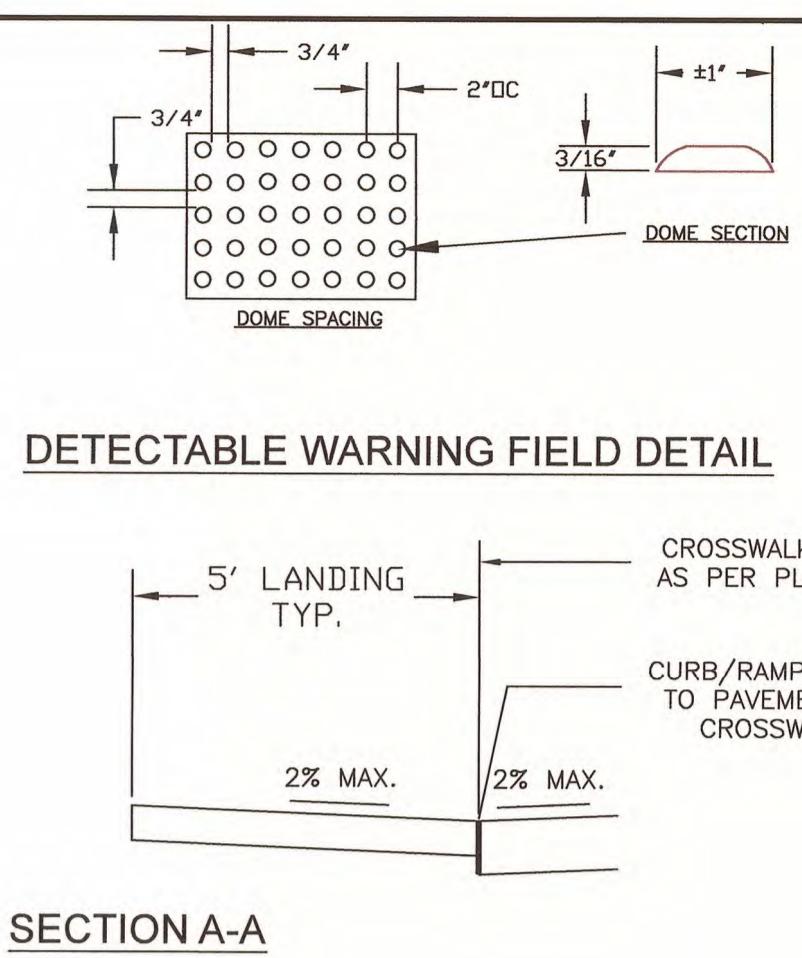
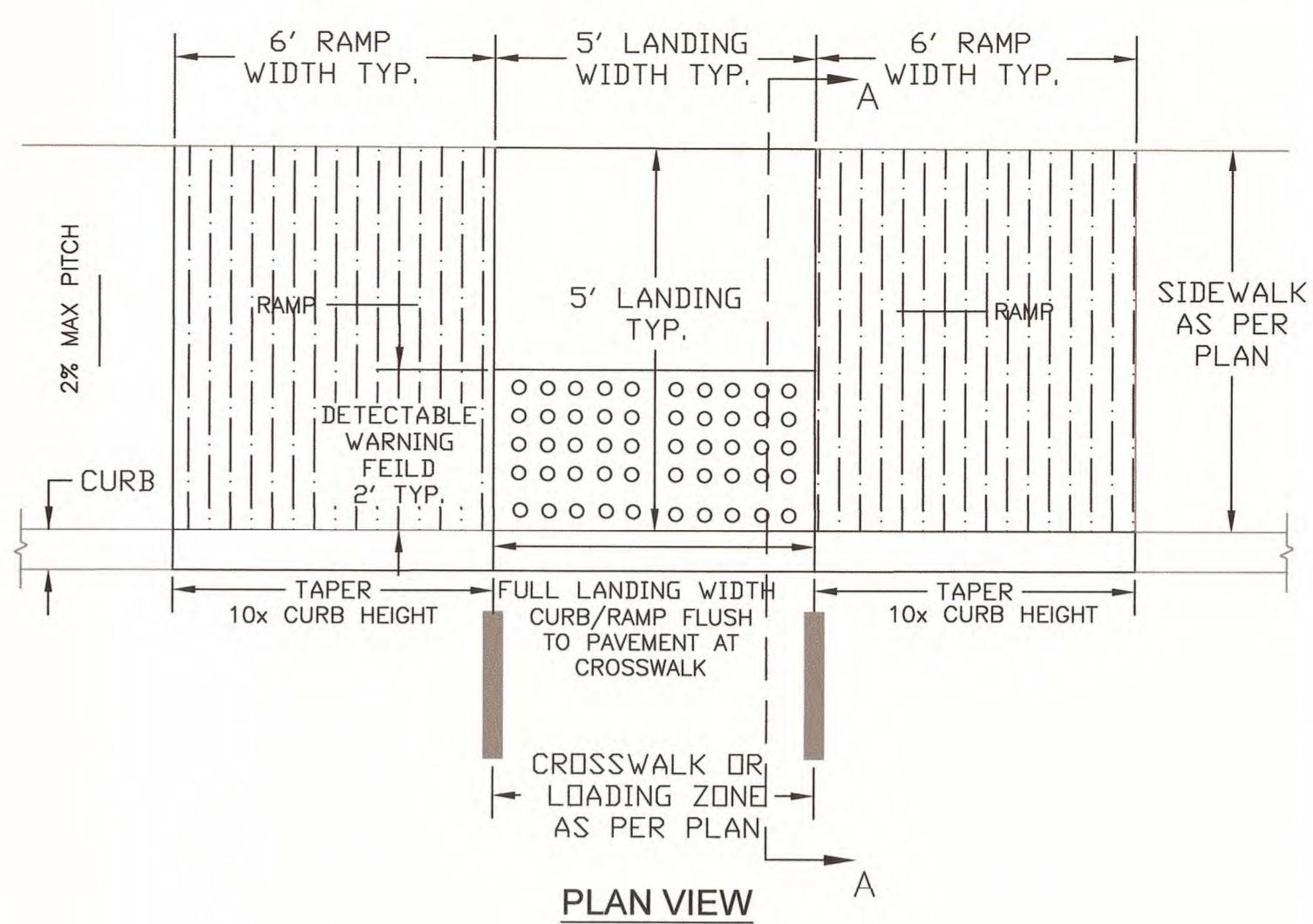
### 5 DUMPSTER CONCRETE PAD DETAIL NOT TO SCALE



### 4 DUMPSTER RECEPTACLE SCREEN SECTION SCALE: NOT TO SCALE

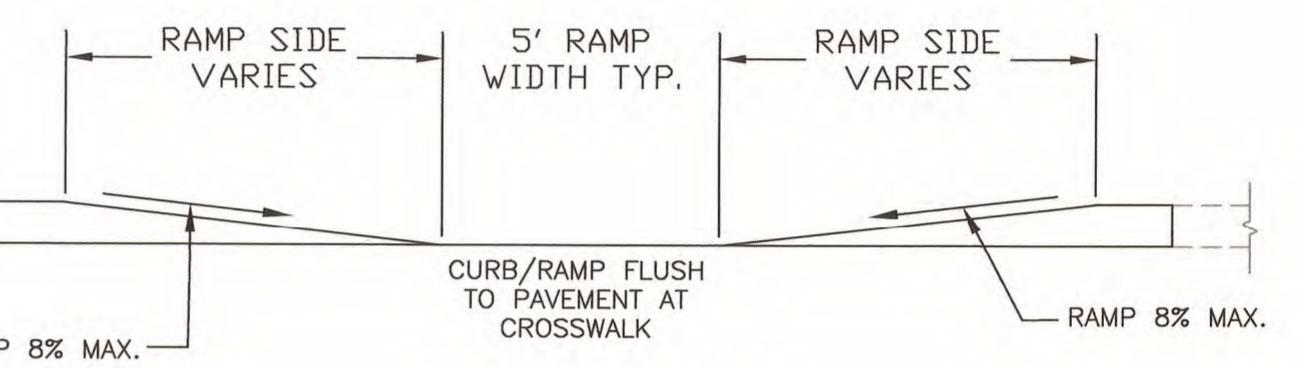


### 6 DUMPSTER RECEPTACLE SCREEN ELEVATION SCALE: NOT TO SCALE



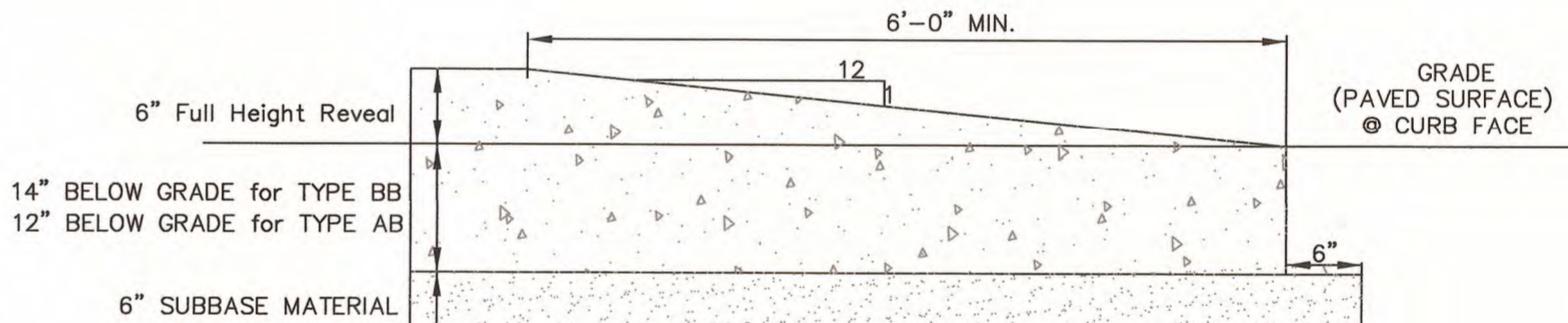
### SECTION A-A

- Curb Ramp Notes:**
- A curb ramp is defined as the entire concrete surface which includes the ramp & flared sides. The minimum 5' wide center portion, including the detectable surface, shall have a sloped plane of 8.33% (1:12) maximum, and cross slope, not to exceed 2%.
  - The "flared side" of the ramp shall lie on a slope of 10% (1:10) maximum measured along the curb. The curb ramp shall have a surface tolerance of 1/4" per 10 foot straight edge maximum.
  - The ramp center line and path of travel should be parallel to the sidewalk whenever possible. The full width of the ramp shall lie within the crosswalk area. It is desirable that the location of the ramp be as close as possible to the center of the crosswalk.
  - Existing utility boxes and covers shall be adjusted flush with the curb ramp surface and shall not straddle any change in plane or material. Existing utility box frames and covers shall have matching surface finish on the entire frame and cover. New utility boxes shall not be placed within the detectable border.
  - The surface of the curb ramp and detectable surface material shall be stable, firm and slip resistant. Detectable warning fields shall visually contrast with adjoining surfaces either light on dark or dark on light. The concrete curb ramp surface shall be broom finished transverse to the axis of the ramp and shall be slightly rougher than the finish of the adjacent sidewalk surface.
  - A level landing 5'-0" deep, with a 2% maximum slope in each direction shall be provided at the upper end of each curb ramp to allow safe egress from the ramp surfaces. The width of the level landing shall be at least as wide as the width of the ramp.
  - Seal all joints on sidewalk and ramps. Maximum width of expansion joint is 1/2".

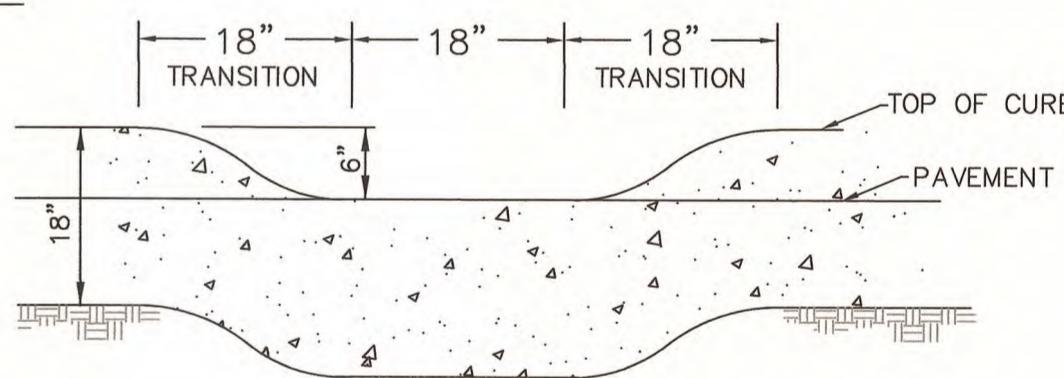


### ELEVATION VIEW

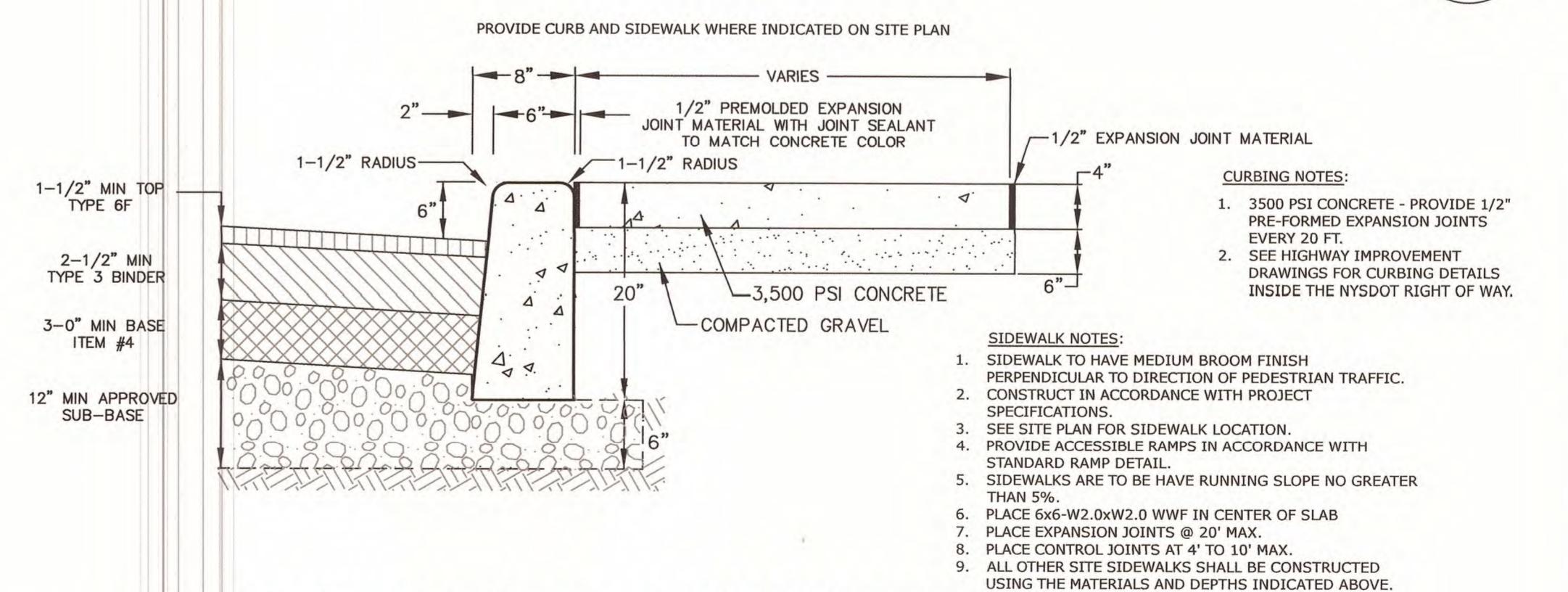
### 7 DEPRESSED RAMP/DETECTABLE WARNING DETAIL NOT TO SCALE



### 8 CURB TERMINAL: SECTION VIEW NOT TO SCALE



### 9 TYPICAL DROP CURB DETAIL NOT TO SCALE



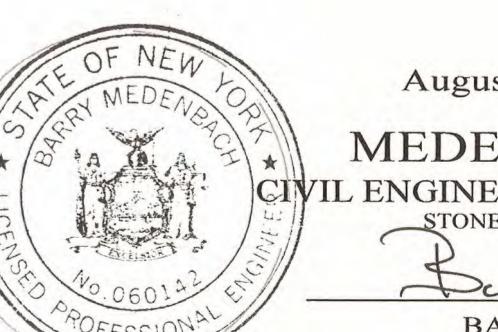
### 10 SITE PAVEMENT & CONCRETE CURB DETAIL NOT TO SCALE

DATE	REVISION	BY

### MAP REVISION DATES

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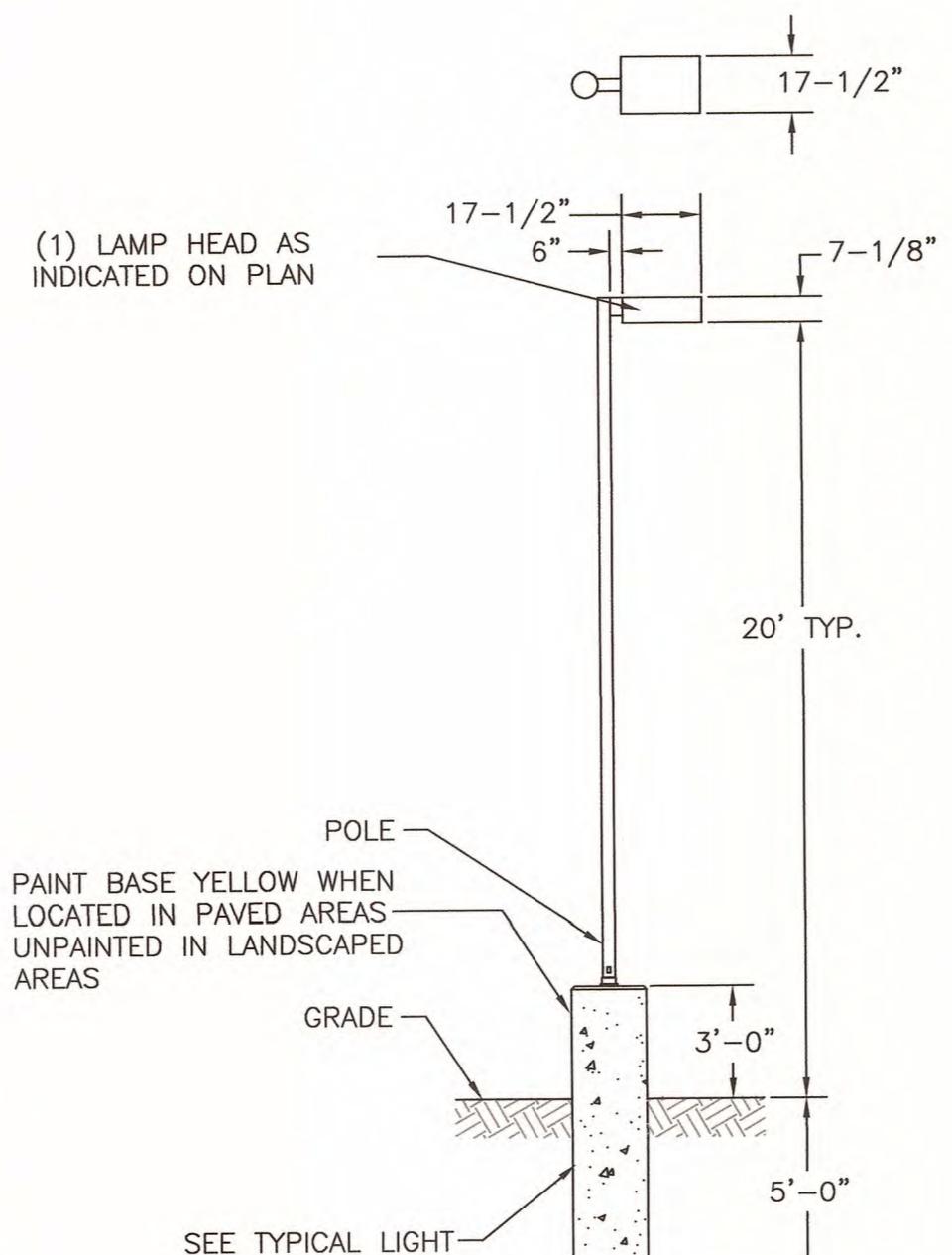
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BARRY MEDENBACH, P.E.  
NEW YORK LIC. NO. 60142  
6 OF 8  
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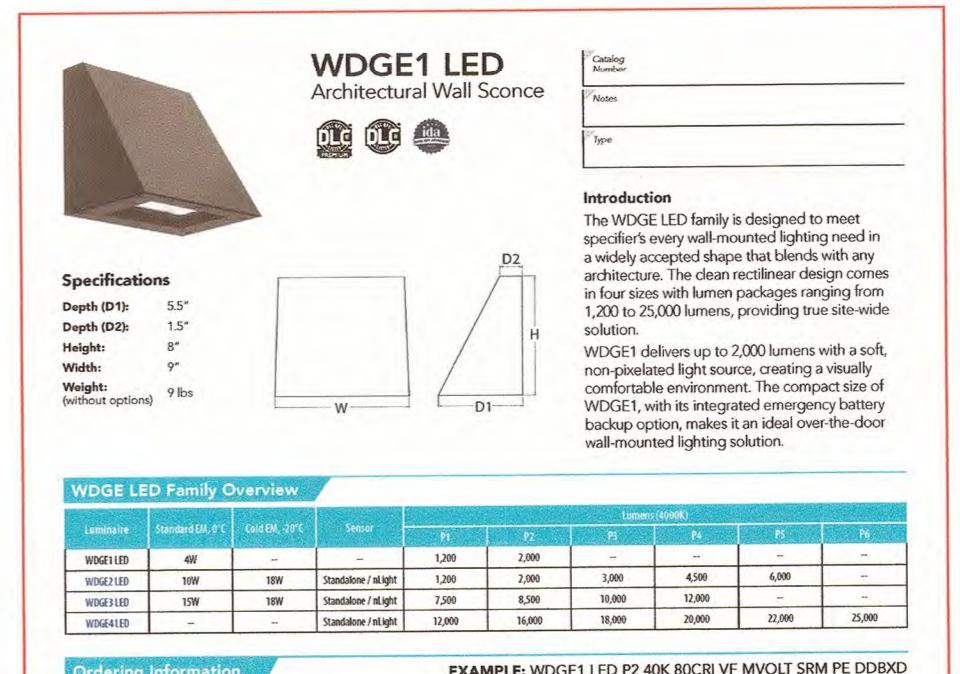
**1** POLE MOUNTED LIGHT DETAIL (Fixture A)  
35 WATT KAD LED 20C 530 40K R4 MVOLT HS (TYPE 4 OPTICS) OR EQUAL



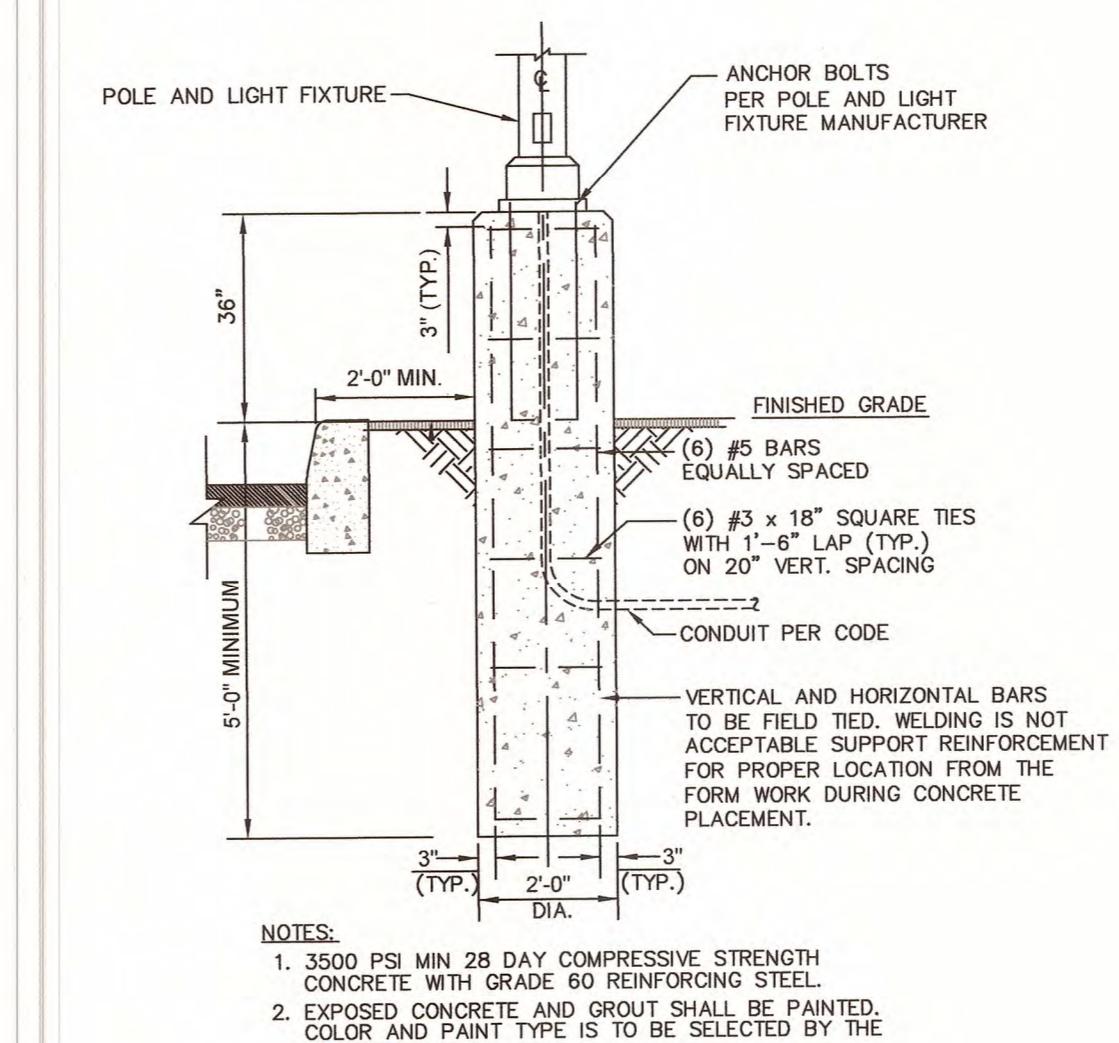
**2** WALL MOUNTED LIGHT DETAIL (Fixture B)  
MODEL: CSXW LED 30C 700 40K T4M 60 WATTS OR EQUAL  
REFERENCE ARCHITECTURAL PLANS FOR FINAL LIGHT FIXTURES



**4** POLE MOUNTED LIGHT DETAIL  
35 WATT KAD LED 20C 530 40K R4 MVOLT HS  
(TYPE 4 OPTICS) OR EQUAL



**3** WALL MOUNTED LIGHT DETAIL (Fixture C)  
LITHONIA WDGE1 ARCHITECTURAL WALL MOUNTED LIGHT:  
MODEL: 10 WATT LED LITHONIA WDGE1 LED PI 5SK 80 GR VF OR EQUAL  
REFERENCE ARCHITECTURAL PLANS FOR FINAL LIGHT FIXTURES



**5** TYPICAL LIGHT BASE

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## SITE DETAILS FOR PROPOSED MIXED USE BUILDING

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