

Structural & MEP Engineer:  
WESTSHORE DESIGN ENGINEERS  
100 GREAT OAKS BLVD., SUITE 115  
ALBANY, NY 12203  
(518) 313-7153

DATE:	REVISION:
8.24.2021	PLANNING BD SET (NFO)
6.16.2021	PRELIMINARY LIGHTING
6.13.2021	REVS. #210613 & #210614
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8.26.2010	EXISTING RESTAURANT PLAN

# Addition to Henry's Farm to Table

220 NORTH ROAD, MILTON, NY



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SCALE: 3/16" = 1'-0"

DESCRIPTION  
**BASEMENT,  
FOUNDATION**

PAGE NO.

# A1.0

BASEMENT  
1192 SF including elevator shaft.



view to north-east at existing deck

Pile Locations: See Site Map  
Drill Operator: Kyle Lafary Equipment: EML Date Completed: 2-28-2019

Test #	Max Depth	Layer	Capacity	Measured From:
1	9"	Bedrock *	n/a	Existing Grade
2	7"	Bedrock *	n/a	Existing Grade
3	10"	Bedrock *	n/a	Existing Grade
4	8"	Bedrock *	n/a	Existing Grade
5	18"	Bedrock *	n/a	Existing Grade

Test Results at a glance: All PSF ratings are calculated with a safety factor of (2.5+).

NOTE: EXISTING SURVEYED GRADES BY M+E ARE SHOWN ON THIS SHEET

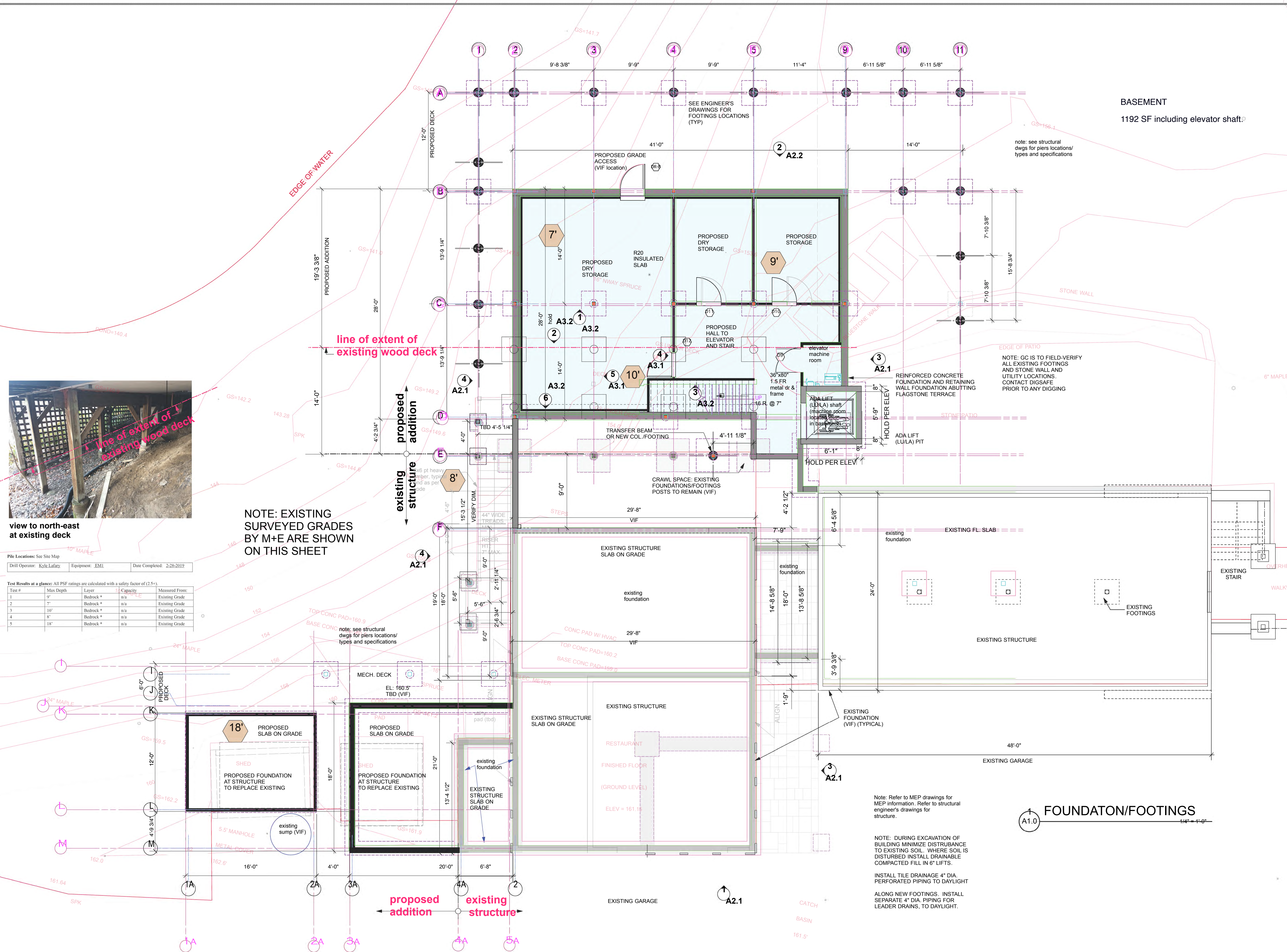
Note: Refer to MEP drawings for MEP information. Refer to structural engineer's drawings for structure.

NOTE: DURING EXCAVATION OF BUILDING MINIMIZE DISTURBANCE TO EXISTING SOIL. WHERE SOIL IS DISTURBED INSTALL DRAINABLE COMPACTED FILL IN 6" LIFTS.

INSTALL TILE DRAINAGE 4" DIA. PERFORATED PIPING TO DAYLIGHT

ALONG NEW FOOTINGS. INSTALL SEPARATE 4" DIA. PIPING FOR LEADER DRAINS, TO DAYLIGHT.

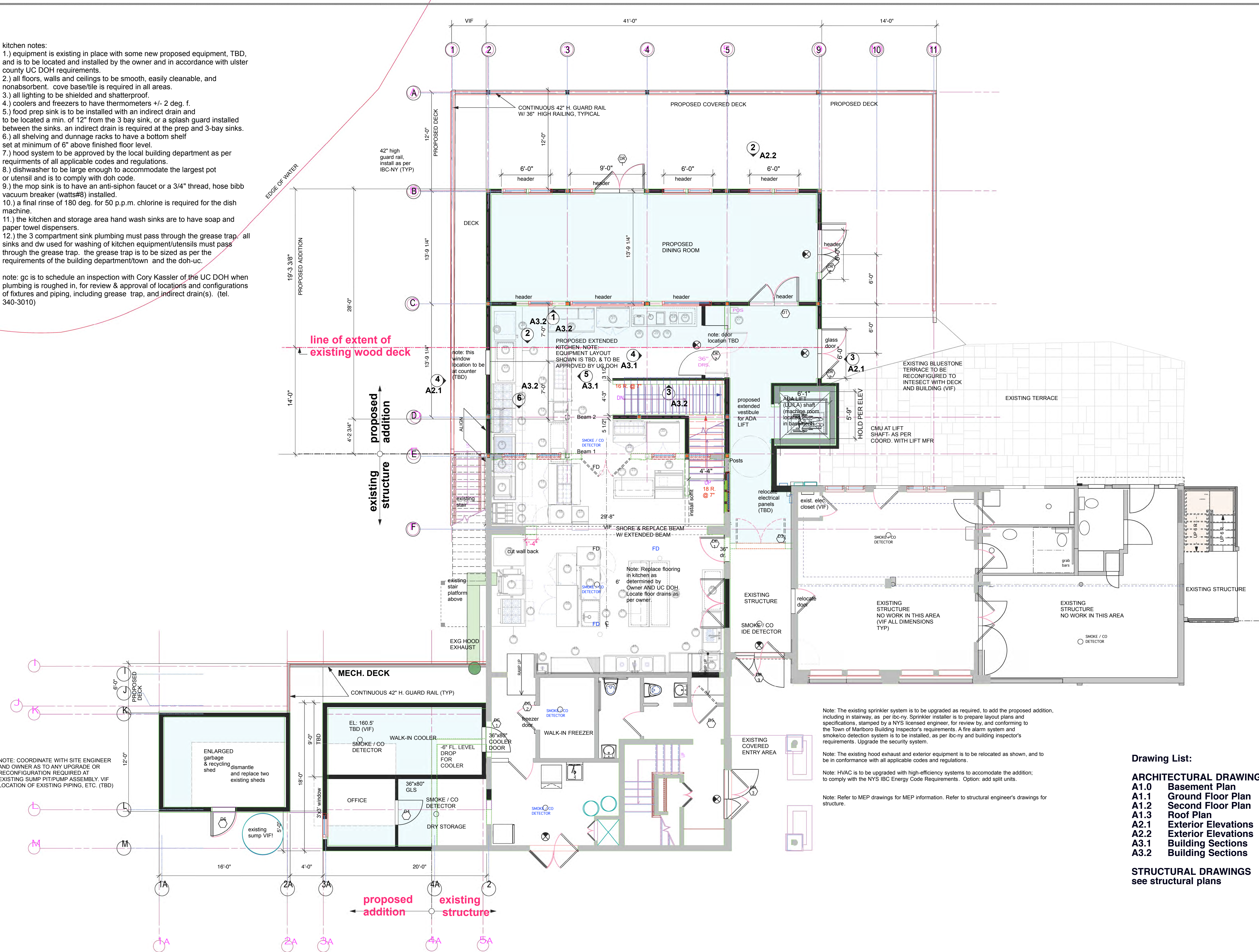
FOUNDATION/FOOTINGS  
1/4" = 1'-0"





kitchen notes:  
1.) equipment is existing in place with some new proposed equipment, TBD, and is to be located and installed by the owner and in accordance with ulster county UC DOH requirements.  
2.) all floors, walls and ceilings to be smooth, easily cleanable, and nonabsorbent. cove base/tile is required in all areas.  
3.) all lighting to be shielded and shatterproof.  
4.) coolers and freezers to have thermometers +/- 2 deg. f.  
5.) food prep sink is to be installed with an indirect drain and to be located a min. of 12" from the 3 bay sink, or a splash guard installed between the sinks. an indirect drain is required at the prep and 3-bay sinks.  
6.) all shelving and dunnage racks to have a bottom shelf set at minimum of 6" above finished floor level.  
7.) hood system to be approved by the local building department as per requirements of all applicable codes and regulations.  
8.) dishwasher to be large enough to accommodate the largest pot or utensil and is to comply with doh code.  
9.) the mop sink is to have an anti-siphon faucet or a 3/4" thread, hose bibb vacuum breaker (watts#8) installed.  
10.) a final rinse of 180 deg. for 50 p.p.m. chlorine is required for the dish machine.  
11.) the kitchen and storage area hand wash sinks are to have soap and paper towel dispensers.  
12.) the 3 compartment sink plumbing must pass through the grease trap. all sinks and dw used for washing of kitchen equipment/utensils must pass through the grease trap. the grease trap is to be sized as per the requirements of the building department/town and the doh-uc.

note: gc is to schedule an inspection with Cory Kassler of the UC DOH when plumbing is roughed in, for review & approval of locations and configurations of fixtures and piping, including grease trap, and indirect drain(s). (tel. 340-3010)



Note: The existing sprinkler system is to be upgraded as required, to add the proposed addition, including in stairway, as per i-b-c-n-y. Sprinkler installer is to prepare layout plans and specifications, stamped by a NYS licensed engineer, for review by, and conforming to the Town of Marlboro Building Inspector's requirements. A fire alarm system and smoke/co detection system is to be installed, as per i-b-c-n-y and building inspector's requirements. Upgrade the security system.

Note: The existing hood exhaust and exterior equipment is to be relocated as shown, and to be in conformance with all applicable codes and regulations.

Note: HVAC is to be upgraded with high-efficiency systems to accommodate the addition; to comply with the NYS IBC Energy Code Requirements. Option: add split units.

Note: Refer to MEP drawings for MEP information. Refer to structural engineer's drawings for structure.

Drawing List:

- ARCHITECTURAL DRAWINGS**  
A1.0 Basement Plan  
A1.1 Ground Floor Plan  
A1.2 Second Floor Plan  
A1.3 Roof Plan  
A2.1 Exterior Elevations  
A2.2 Exterior Elevations  
A3.1 Building Sections  
A3.2 Building Sections

**STRUCTURAL DRAWINGS**  
see structural plans

INNOVATIVE SUSTAINABLE DESIGN

**Richard Miller Architect**

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845.389.3244

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Addition to  
**Henry's Farm to Table**  
220 NORTH ROAD, MILTON, NY

REGISTERED ARCHITECT  
STATE OF NEW YORK  
201652

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SCALE: 3/16" = 1'-0"

DESCRIPTION

**1ST FL PLAN**



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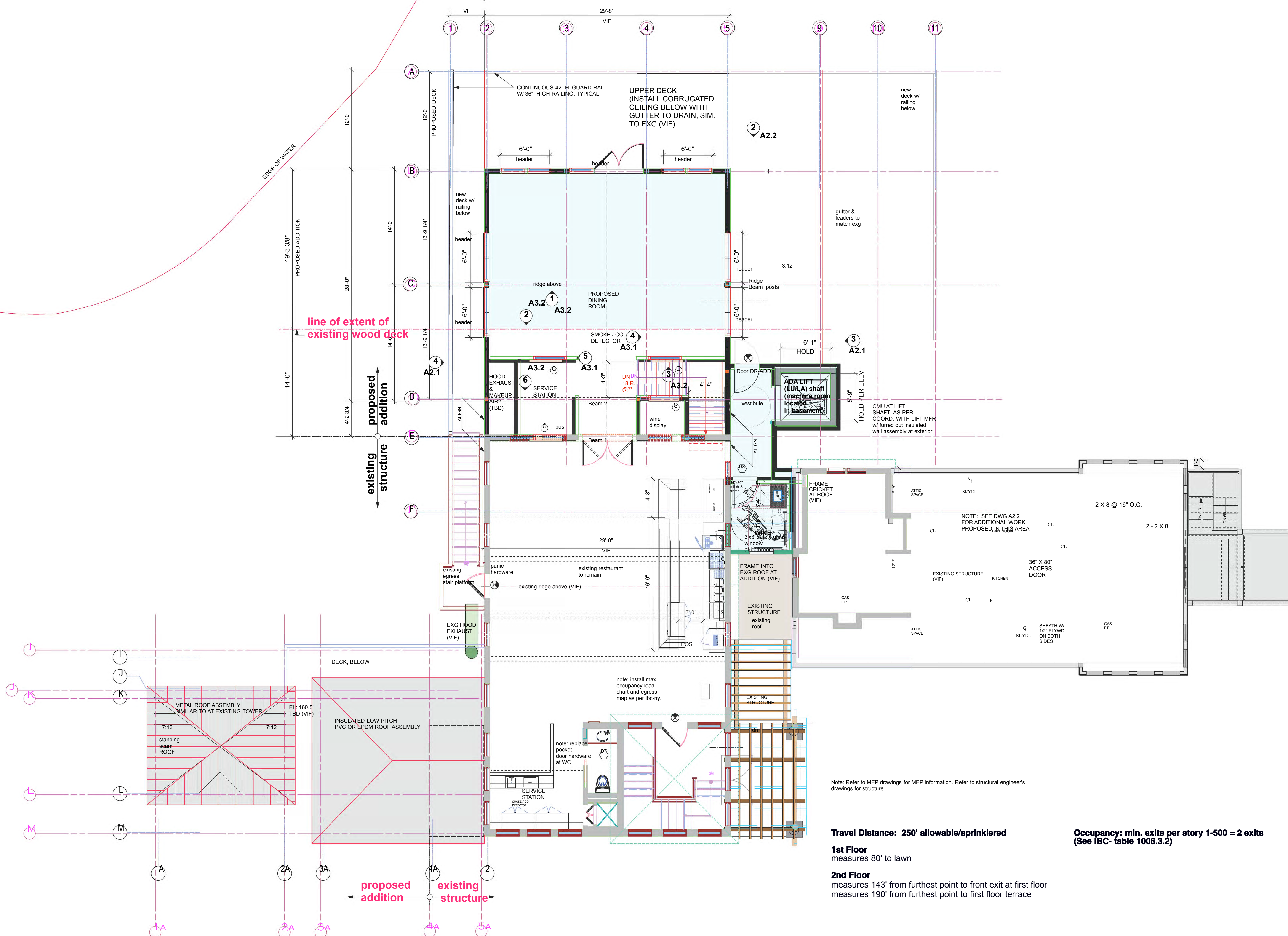
SCALE: 3/16" = 1'-0"

DESCRIPTION

**2ND FL PLAN**

PAGE NO.

**A1.2**



Note: Refer to MEP drawings for MEP information. Refer to structural engineer's drawings for structure.

**Travel Distance: 250' allowable/sprinklered**

**1st Floor**  
measures 80' to lawn

**2nd Floor**  
measures 143' from furthest point to front exit at first floor  
measures 190' from furthest point to first floor terrace

**Occupancy: min. exits per story 1-500 = 2 exits**  
(See IBC- table 1006.3.2)



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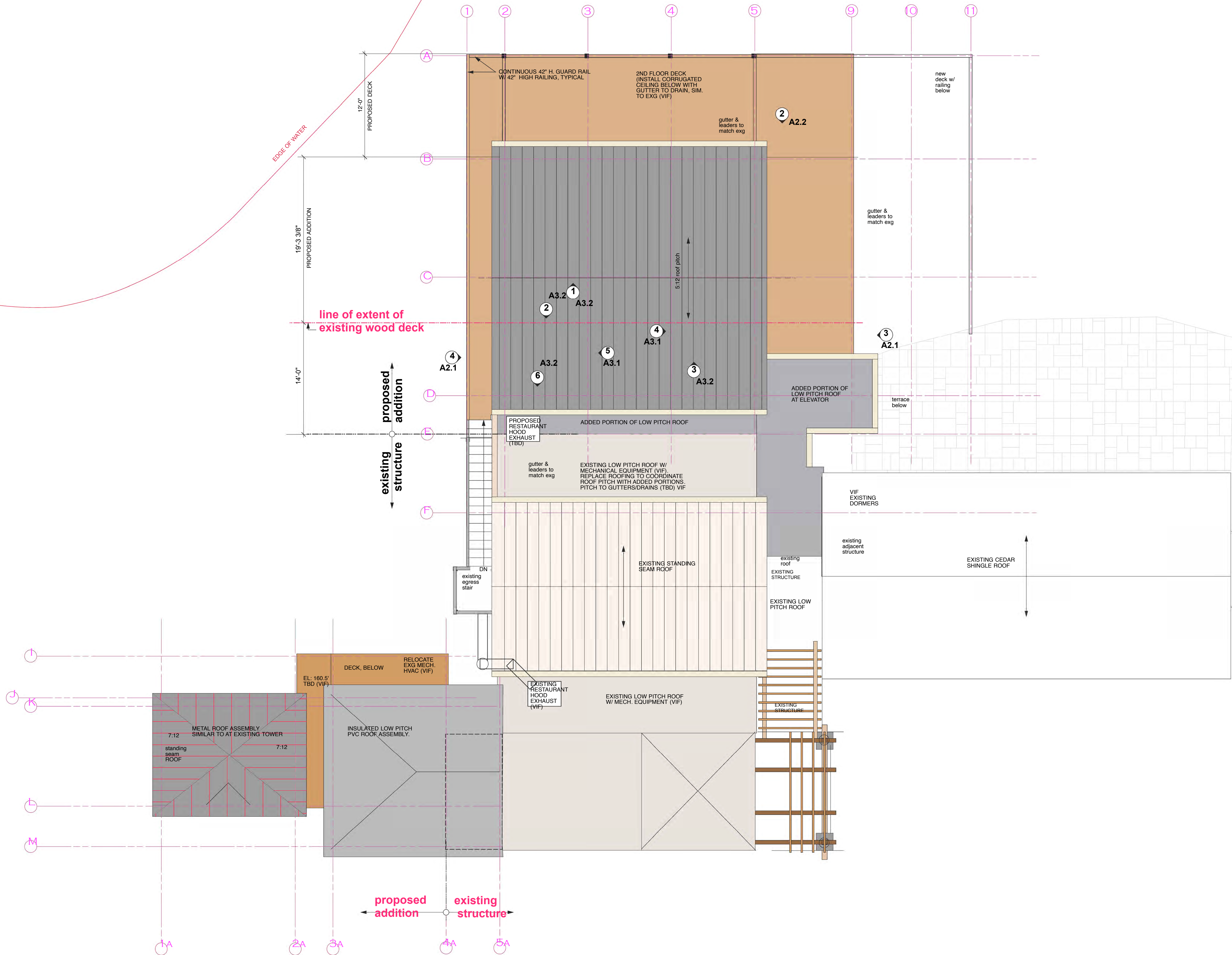
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DESCRIPTION

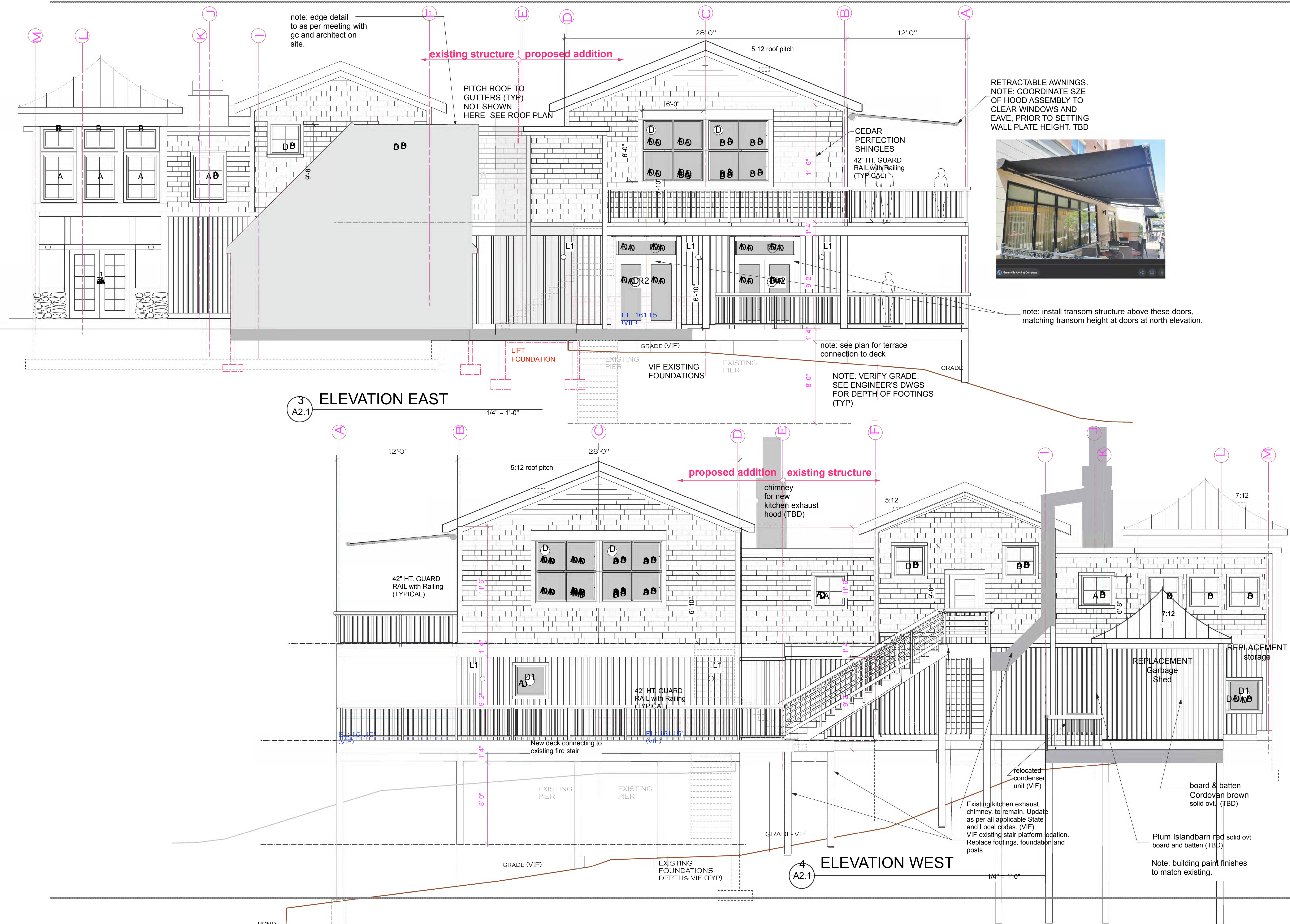
ROOF PLAN

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A1.3







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DESCRIPTION  
**EXTERIOR ELEVATIONS**

PAGE NO.:

# A2.1



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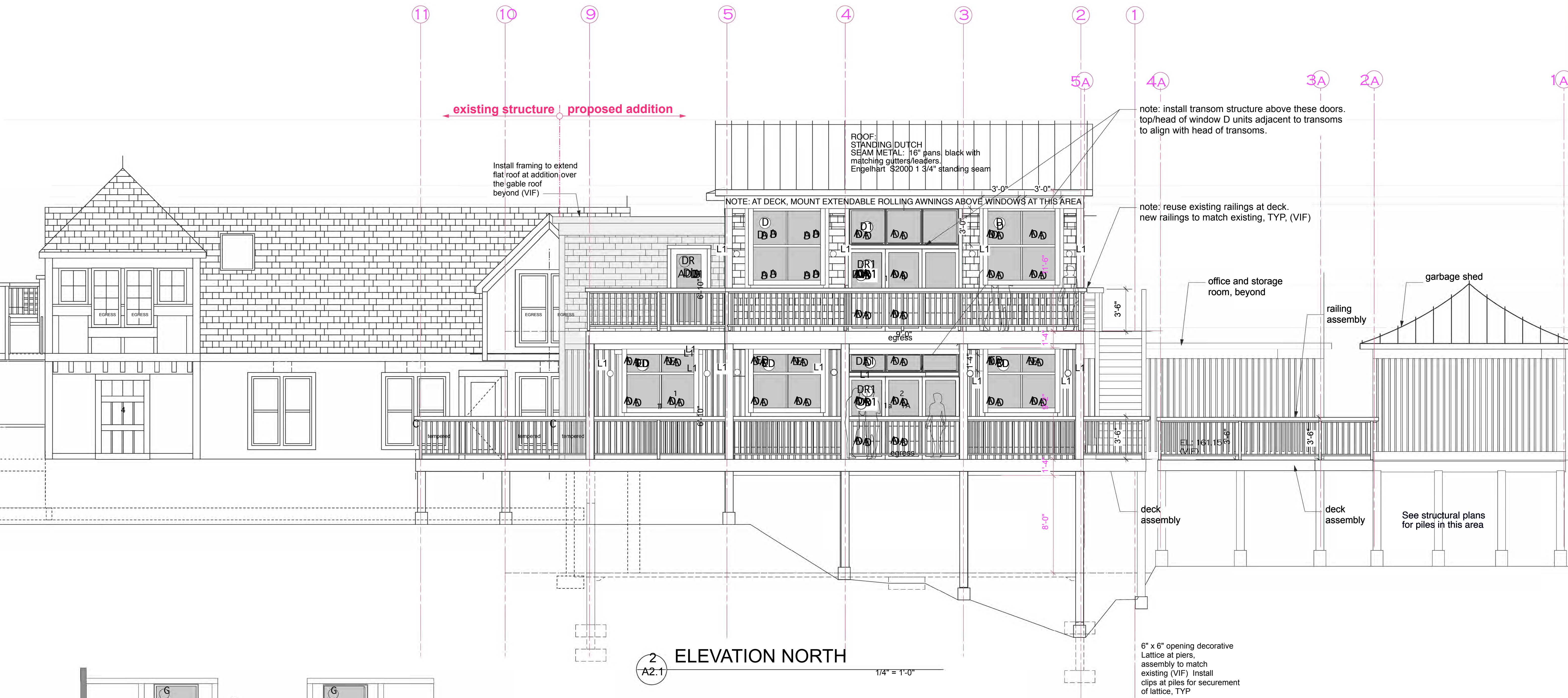
SCALE: 1/4" = 1'-0"  
EXISTING

DESCRIPTION

**EXTERIOR  
ELEVATIONS**

PAGE NO.

**A2.2**



**2  
A2.1** ELEVATION NORTH

INTERIOR ACOUSTICAL WINDOW WALL (40 DB MIN)  
NOTE: INSTALL SAFETY GLASS AT ALL WINDOWS  
AND DOORS AS PER IBC-NY FOR  
COMMERICAL KITCHEN AND RESTAURANTS  
NOTE: INSTALL KICK PLATES AT DOORS USED  
BY RESTAURANT STAFF

ref.	size	type	rough opening	qty.
40 dB min.				
WA	9'-0" x 3'-0"	fixed, double glazed clear glass laminated for sound attenuation	-	1
WB	6'-0" x 3'-0"	fixed, double glazed frosted glass laminated for sound attenuation	-	2
G	4'-0" x 3'-0"	fixed, double glazed frosted glass	-	4

NOTE: INSTALL SAFETY GLASS AT ALL WINDOWS AND DOORS AS PER IBC-NY FOR  
COMMERICAL KITCHEN AND RESTAURANTS

WINDOWS: Highest performance triple glazed, fixed, low-e, argon, .13U preferred.

ref.	size	type	rough opening	qty.
------	------	------	---------------	------

D (6) FIXED QUAD UNITS 6' x 6' ganged as shown, or as finalized. Surface muntin to divide in four units

E/D (3) FIXED UNITS 6' x 4'-4"

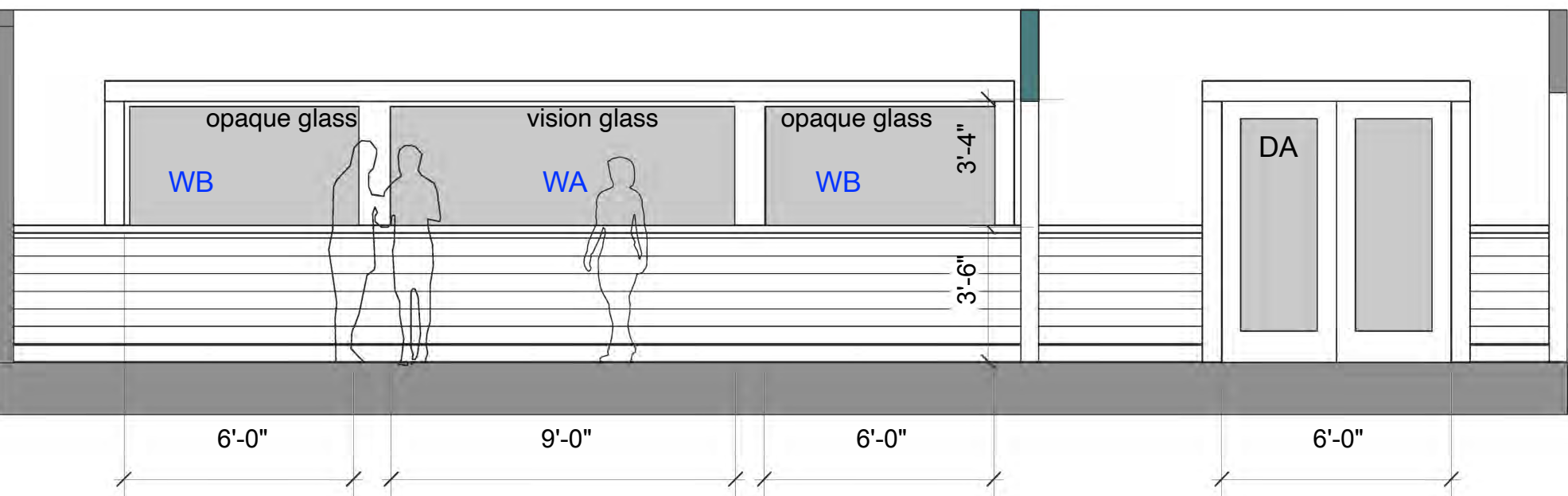
D' (3) 3' X 3' TILT-TURN AT BATHROOM (SAFETY GLASS), OFFICE , & HALL. 2RH/1LH

E1 (1) TRANSOM OVER DOORS 108" x 16"  
D1 (1) TRANSOM OVER DOORS 108" x 36"  
E2 (2) TRANSOM OVER DOORS 72" x 16"

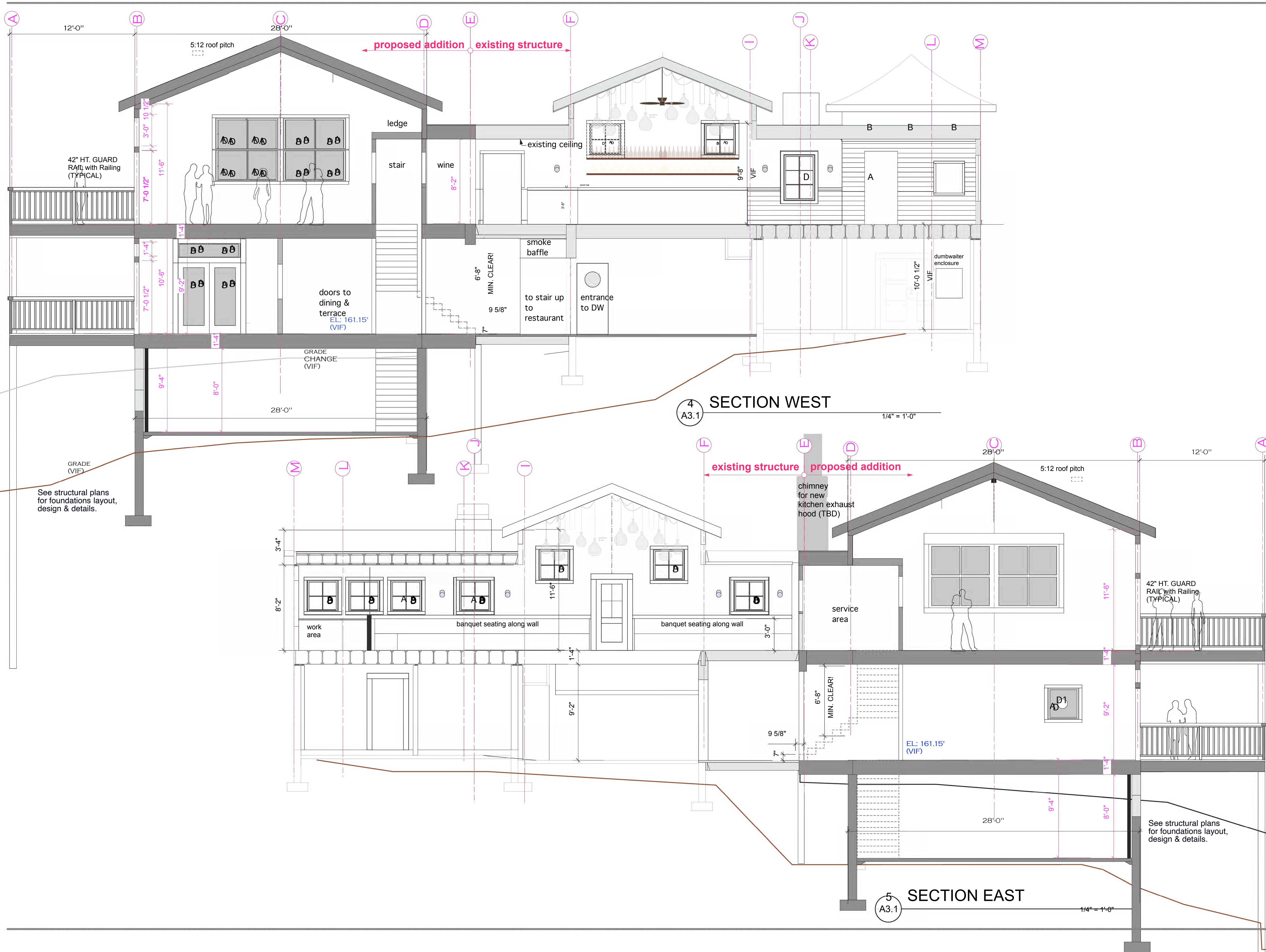
EXTERIOR DOORS: Commercial - Highest performance triple glazed where possible, low-e, argon,  
black metal saddle, (VIF existing)

ref.	size	type	rough opening	qty.
DR1	-	outswing pair with fixed sidelite (glass)	108" x 84" TBD	2 units three panel - XXO ADA
DR2	-	outswing pair (glass)	72" x 84" TBD	2 units FR doors unitADA - EGRESS
DR3	-	outswing pair (glass) wider right leaf for 3' clear	72" x 82" TBD	2 units FR doors unitADA - EGRESS to replace existing front DRS
DR4	-	inswing (glass)	3'-4" x 82" TBD	TO UPPER DECK- TO IN LIEU OF D' WINDOW

**WW  
A2.1** INTERIOR GLASS AT KITCHEN







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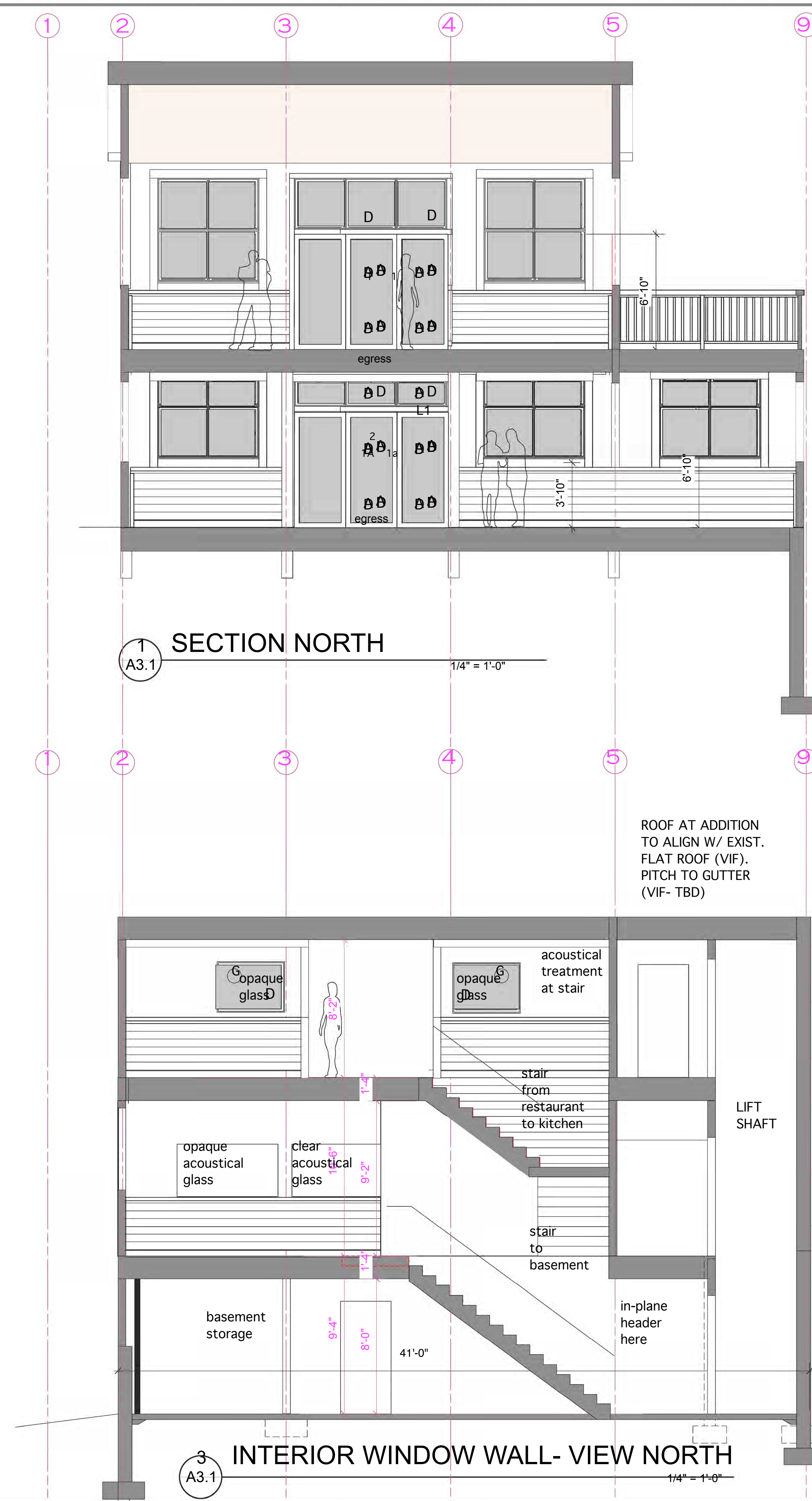
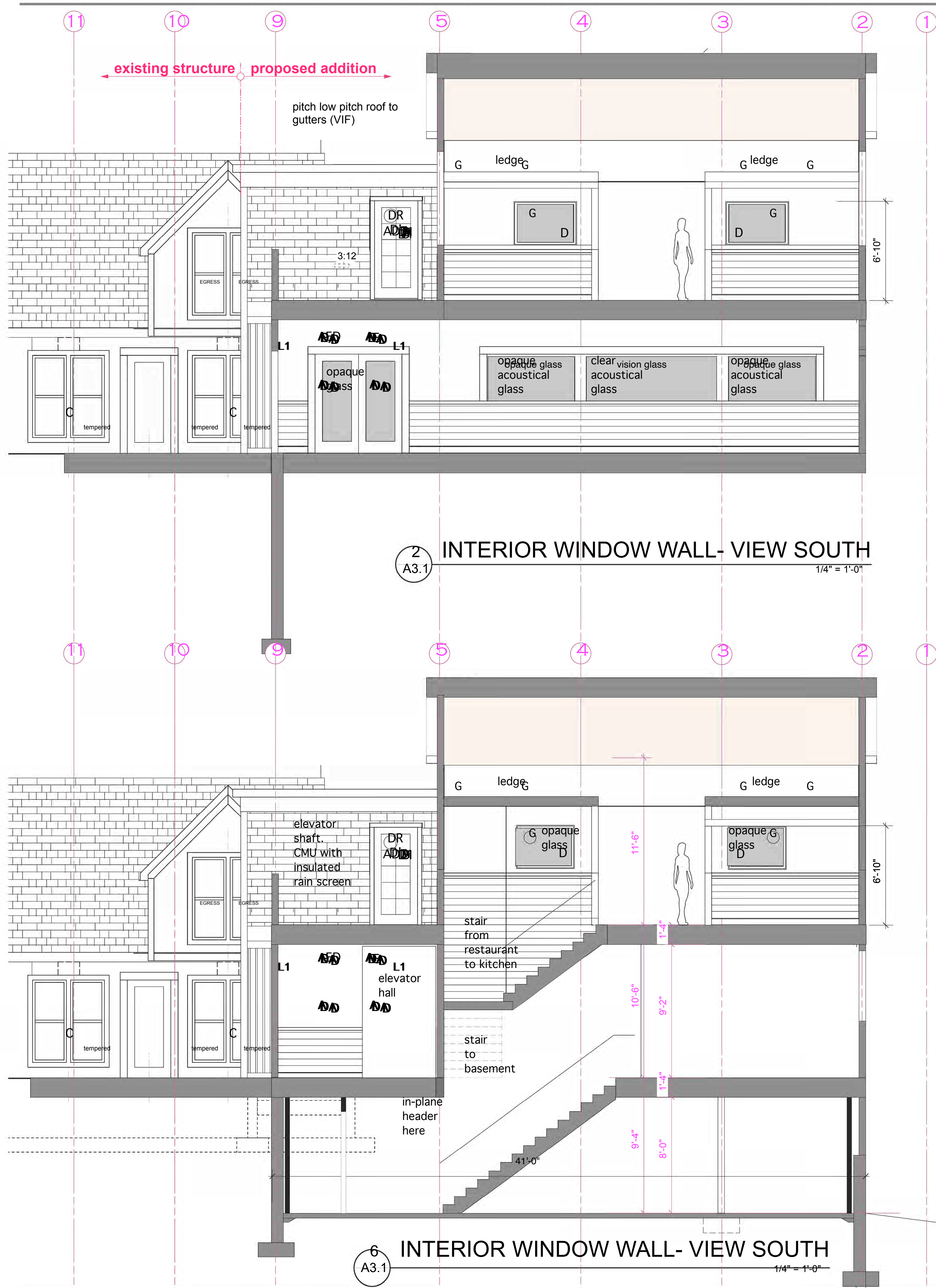
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**SECTIONS**

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**A3.1**





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