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Richard Miller Architect

RICHARDMILLERARCHITECT.COM
845.389.3244

Structural & MEP Engineer:
STSHORE DESIGN ENGINEERS
GREAT OAKS BLVD. SUITE 115
ALBANY, NY 12203
(518) 313-7153

REVISION: **021** PLANNING BD SET (NFC)
021 PRELIMINARY LIGHTING
021 REVS. #210613 & #210614
021 B-CAD OVERLAY & SEATING
21 BASE PLANS
21 RECTIFIED- EXIST - PRELIM
21 KITCHEN DOORS
21 BASEMENT WALL ADJUST
021 UPDATED ELEVATIONS
21 KITCHEN/PLAN REV.
2020 PLANS TO ENG- IN PROG.
020 EAST DECK AREA
020 REDESIGN
020 REVISED STRUCTURE
20 REVISED STRUCTURE
19 ELEVATOR
18 ELEVATOR
018 DEVELOPED/LIGHTING
018 PLANS
2018 RETAINING/TOPO
2018 EXTERIOR VIEWS
2018 UPLOADED KITCHEN-2
2018 UPLOADED KITCHEN
2008 PRELIMINARY DWGS
010 OWNER'S REVISIONS
010 B-RESTAURANT PLAN

Addition to Henry's Farm to 220 NORTH ROAD, MILTON, N.

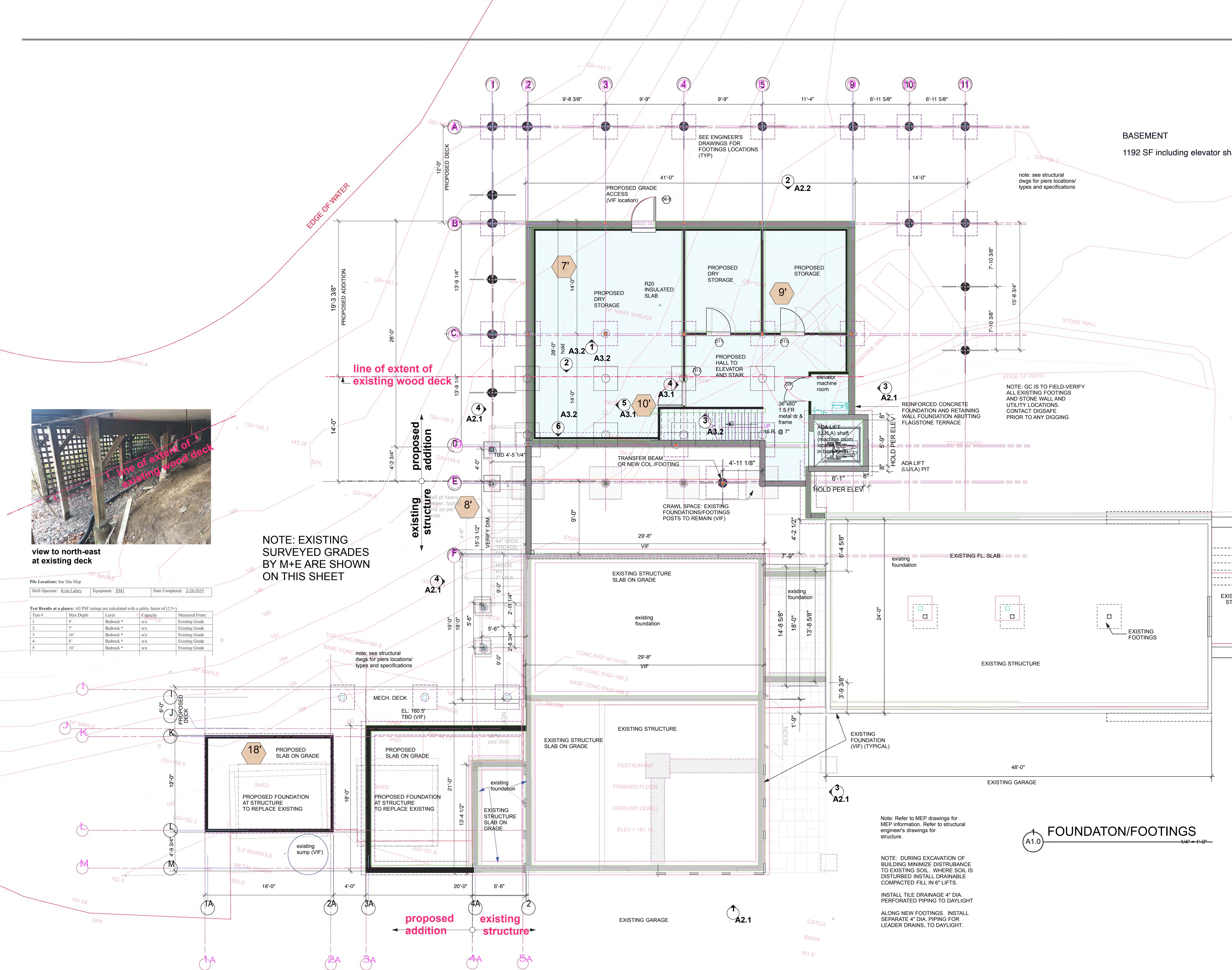


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DRAWING ARE THE PROPERTY OF THE
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THE GC. PRIOR TO CONSTRUCTION.

SCALE: 3/16" = 1'-0"

BASEMENT, FOUNDATION

A1.0



Henry's Farm to Table

220 NORTH ROAD, MILTON, NY



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DESCRIPTION

1ST FL PLAN

PAGE NO.

A1.1

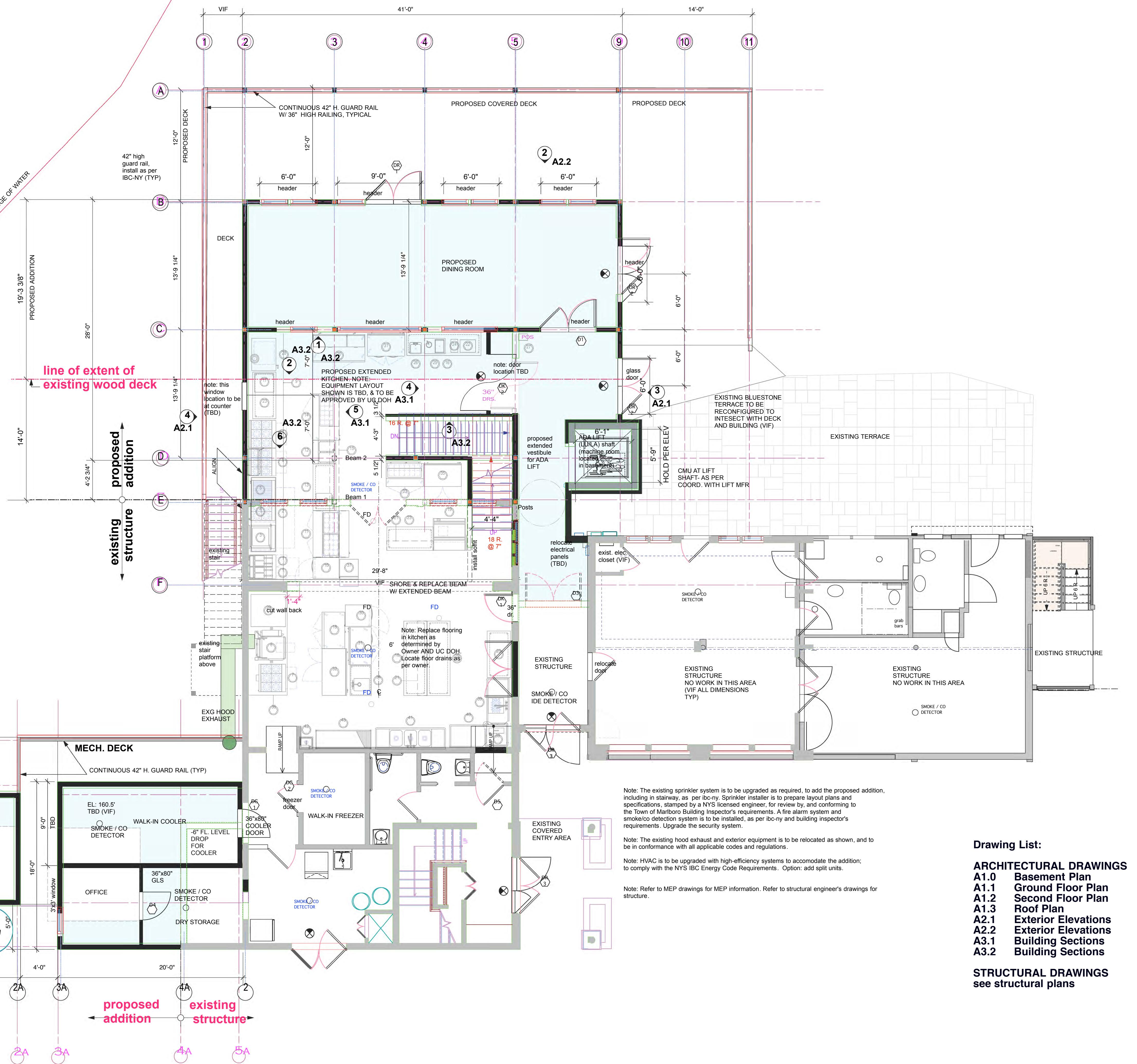
kitchen notes:

- 1.) equipment is existing in place with some new proposed equipment, TBD, and is to be located and installed by the owner and in accordance with ulster county DOH requirements.
- 2.) all floors, walls and ceilings to be smooth, easily cleanable, and nonabsorbent. cove base/tile is required in all areas.
- 3.) all lighting to be shielded and shatterproof.
- 4.) coolers and freezers to have thermometers +/- 2 deg. f.
- 5.) food prep sink is to be installed with an indirect drain and to be located a min. of 12' from the 3 bay sink, or a splash guard installed between the sinks, an indirect drain is required at the prep and 3-bay sinks.
- 6.) all shelving and Dunnage racks to have a bottom shelf set at minimum of 6" above finished floor level.
- 7.) hood system to be approved by the local building department as per requirements of all applicable codes and regulations.
- 8.) dishwasher to be large enough to accommodate the largest pot or utensil and is to comply with doh code.
- 9.) the mop sink is to have an anti-siphon faucet or a 3/4" thread, hose bibb vacuum breaker (watts#8) installed.
- 10.) a final rinse of 180 deg. for 50 p.p.m. chlorine is required for the dish machine.
- 11.) the kitchen and storage area hand wash sinks are to have soap and paper towel dispensers.
- 12.) the 3 compartment sink plumbing must pass through the grease trap, all sinks and dw used for washing of kitchen equipment/utensils must pass through the grease trap. the grease trap is to be sized as per the requirements of the building department/town and the doh-uc.

note: gc is to schedule an inspection with Cory Kassler of the UC DOH when plumbing is roughed in, for review & approval of locations and configurations of fixtures and piping, including grease trap, and indirect drain(s). (tel. 340-3010)

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NOTE: COORDINATE WITH SITE ENGINEER AND OWNER AS TO ANY UPGRADE OR RECONFIGURATION REQUIRED AT EXISTING SUMP PIT/PUMP ASSEMBLY VIF LOCATION OF EXISTING PIPING, ETC. (TBD)



Drawing List:

ARCHITECTURAL DRAWINGS
A1.0 Basement Plan
A1.1 Ground Floor Plan
A1.2 Second Floor Plan
A1.3 Roof Plan
A2.1 Exterior Elevations
A2.2 Exterior Elevations
A3.1 Building Sections
A3.2 Building Sections

STRUCTURAL DRAWINGS
see structural plans

Note: The existing sprinkler system is to be upgraded as required, to add the proposed addition, including in stairways, as per locality. Sprinkler installer is to prepare layout plans and specifications, stamped by a NYS licensed engineer, for review by, and conforming to the Town of Marlboro Building Inspector's requirements. A fire alarm system and smoke/CO detection system is to be installed, as per IBC-ny and building inspector's requirements. Upgrade the security system.

Note: The existing hood exhaust and exterior equipment is to be relocated as shown, and to be in conformance with all applicable codes and regulations.

Note: HVAC is to be upgraded with high-efficiency systems to accomodate the addition; to comply with the NYS IBC Energy Code Requirements. Option: add split units.

Note: Refer to MEP drawings for MEP information. Refer to structural engineer's drawings for structure.

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186'

Henry's Farm to Table

220 NORTH ROAD, MILTON, NY

2220 NORTH ROAD, MILLTON, NY

220 NORIH ROAD, MILLION, NY

The image features a yellow background with a faint, perspective-style grid pattern of thin, light-yellow lines. Overlaid on this grid are several lines of text in a bold, sans-serif font. At the top, the words 'INNOVATIVE SUSTAINABLE DESIGN' are written in a smaller, dark blue font. Below this, the company name 'Richard Miller Architect' is displayed in a large, dark blue font. At the bottom, the website 'RICHARDMILLERARCHITECT.COM' and the phone number '845.389.3244' are provided in a dark blue font.

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DATE	DESCRIPTION
4.2021	PLANNING BD SET (NFC)
6.2021	PRELIMINARY LIGHTING
8.2021	REVS. #210613 & #210614
10.2021	B-CAD OVERLAY & SEATING BASE PLANS
12.2021	RECTIFIED- EXIST - PRELIM KITCHEN DOORS
1.2022	BASEMENT WALL ADJUST
4.2021	UPDATED ELEVATIONS
10.2021	KITCHEN/PLAN REV.
7.2020	PLANS TO ENG- IN PROG.
5.2020	EAST DECK AREA
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3.2020	REVISED STRUCTURE
2.2020	REVISED STRUCTURE
2019	ELEVATOR
2018	ELEVATOR
3.2018	DEVELOPED/LIGHTING PLANS
5.2018	RETAINING/TOPO
6.2018	EXTERIOR VIEWS
8.2018	UPGRADED KITCHEN-2
9.2018	UPGRADED KITCHEN
10.2018	PRELIMINARY DWGS
10.2008	OWNER'S REVISIONS
5.2010	ONE-MEAL RESTAURANT PLAN
6.2010	

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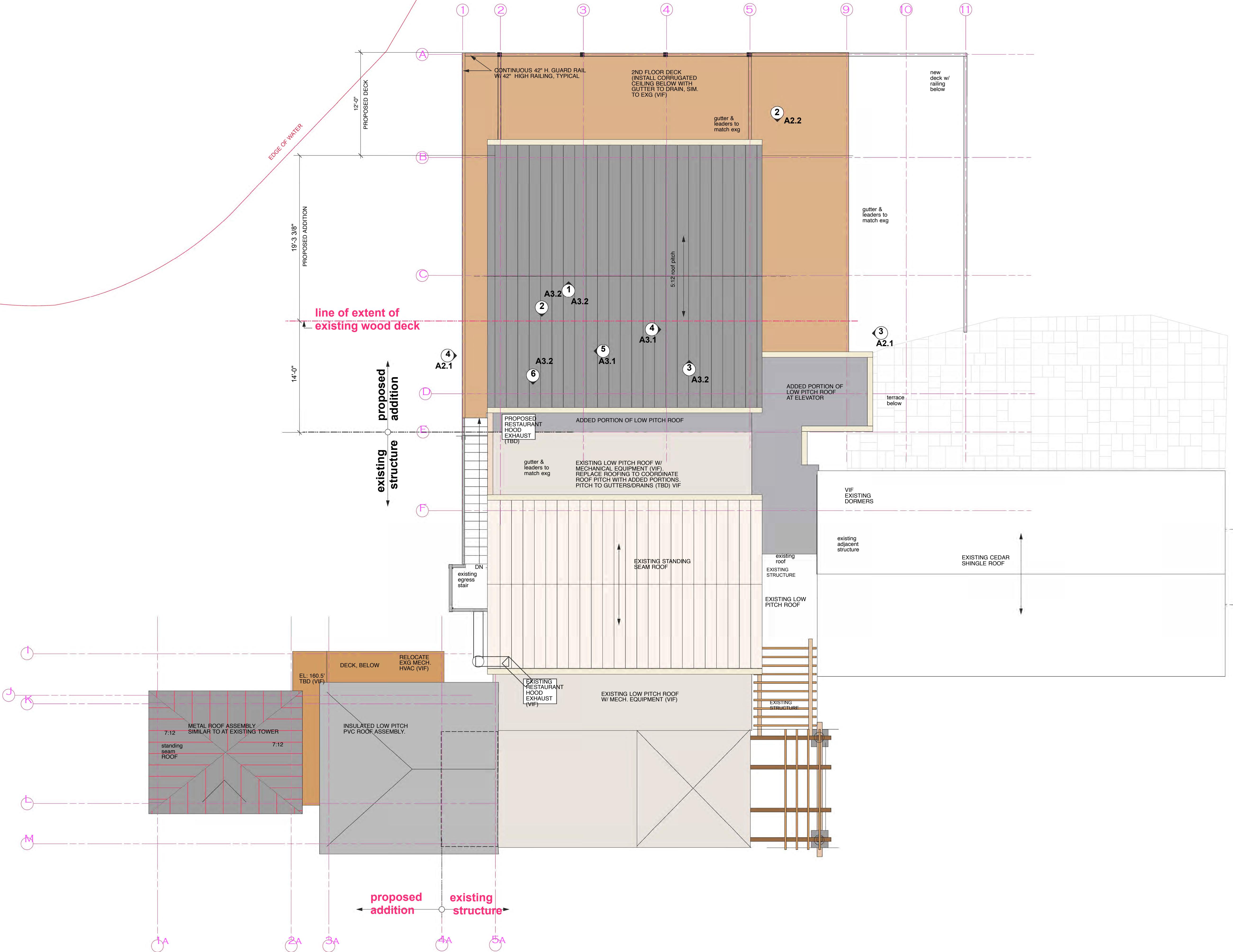
DESCRIPTION

ROOF PLAN

PAGE NO.

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A1.3





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EXISTING

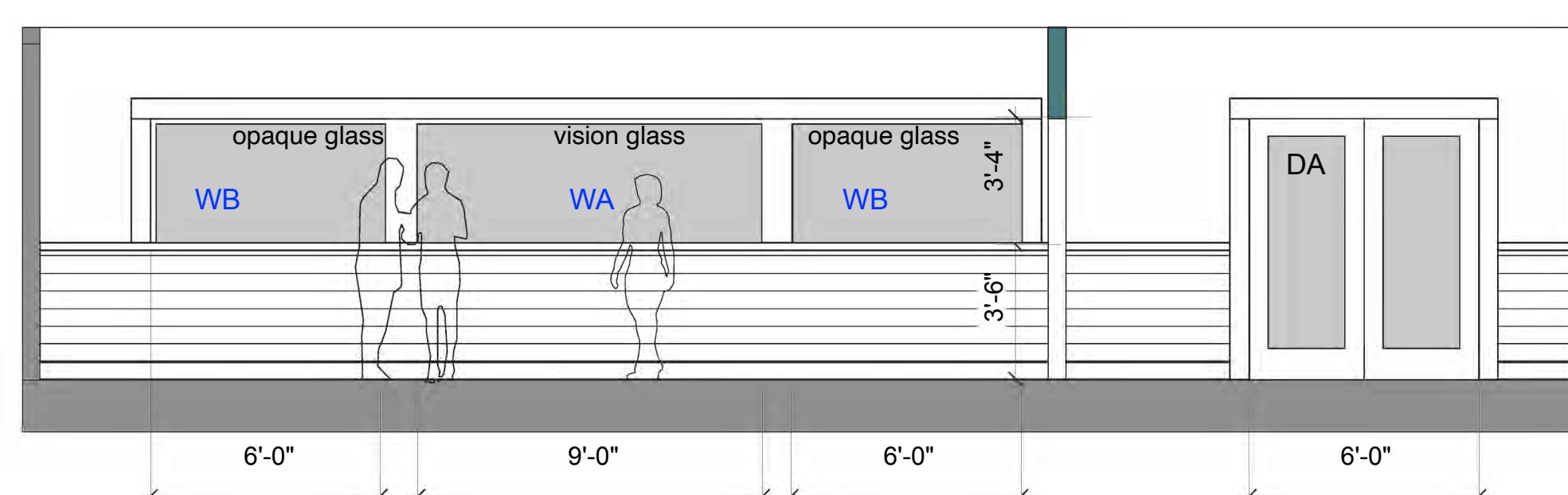
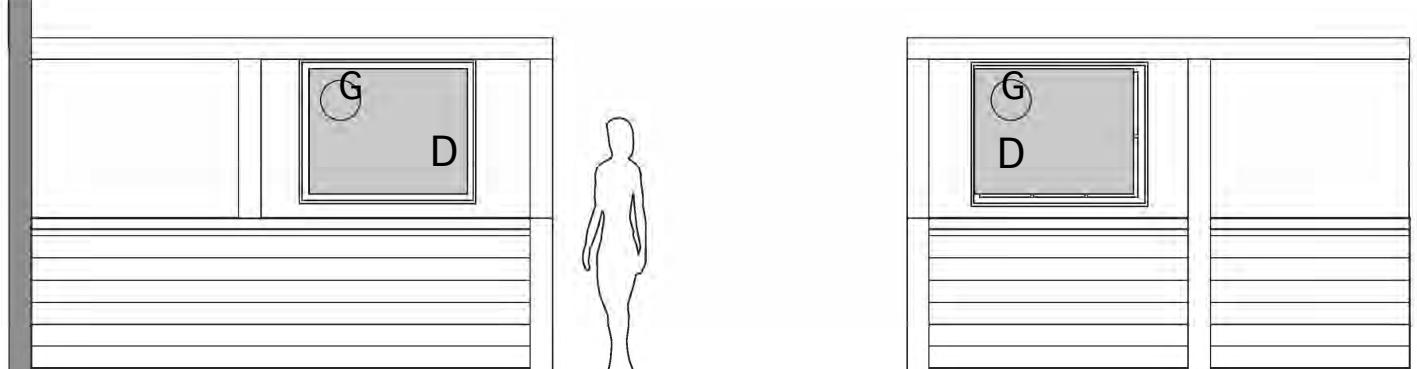
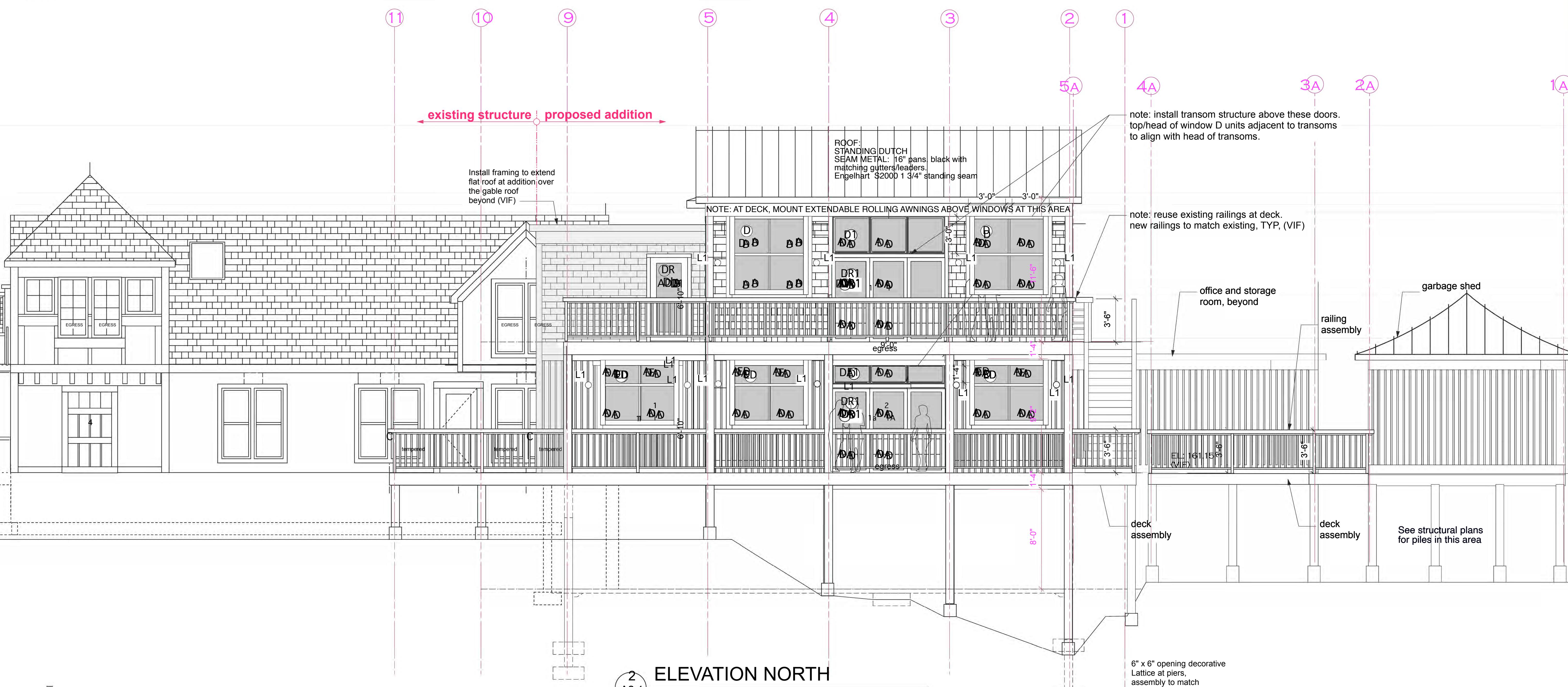
SCALE: 1/4" = 1'-0"

DESCRIPTION

EXTERIOR ELEVATIONS

PAGE NO.

A2.2



INTERIOR GLASS AT KITCHEN

A2.1 1/4" = 1'-0"

INTERIOR ACOUSTICAL WINDOW WALL (40 DB MIN)

NOTE: INSTALL SAFETY GLASS AT ALL WINDOWS AND DOORS AS PER IBC-NY FOR COMMERCIAL KITCHEN AND RESTAURANTS

NOTE: INSTALL KICK PLATES AT DOORS USED BY RESTAURANT STAFF

40 dB min.

ref. size type rough opening qty

WA 9'-0" x 3'-0" fixed, double glazed clear glass laminated for sound attenuation

WB 6'-0" x 3'-0" fixed, double glazed frosted glass laminated for sound attenuation

G 4'-0" x 3'-0" fixed, double glazed frosted glass

NOTE: INSTALL SAFETY GLASS AT ALL WINDOWS AND DOORS AS PER IBC-NY FOR COMMERCIAL KITCHEN AND RESTAURANTS

WINDOWS: Highest performance triple glazed, fixed, low-e, argon, .13U preferred.

ref. size type rough opening qty

D (6) FIXED QUAD UNITS 6' x 6' ganged as shown, or as finalized. Surface muntin to divide in four units

E/D (3) FIXED UNITS 6' x 4'-4"

D' (3) 3' x 3' TILT- TURN AT BATHROOM (SAFETY GLASS), OFFICE, & HALL. 2RH/1LH

E1 (1) TRANSOM OVER DOORS 108" x 16"

D1 (1) TRANSOM OVER DOORS 108" x 36"

E2 (2) TRANSOM OVER DOORS 72" x 16"

EXTERIOR DOORS: Commercial - Highest performance triple glazed where possible, low-e, argon, black metal saddle, (VIF existing)

ref.	size	type	rough opening	qty.
DR1	-	outswing pair with fixed sidelite (glass)	108" x 84" TBD	2 units three panel - XOXO ADA
DR2	-	outswing pair (glass)	72" x 84" TBD	2 units FR doors unit ADA - EGRESS
DR3	-	outswing pair (glass) wider right leaf for 3' clear	72" x 82" TBD	2 units FR doors unit ADA - EGRESS to replace existing front DRS
DR ADD	-	inswing (glass)	3'-4" x 82" TBD	TO UPPER DECK- TO IN LIEU OF D' WINDOW



Henry's Farm to Table
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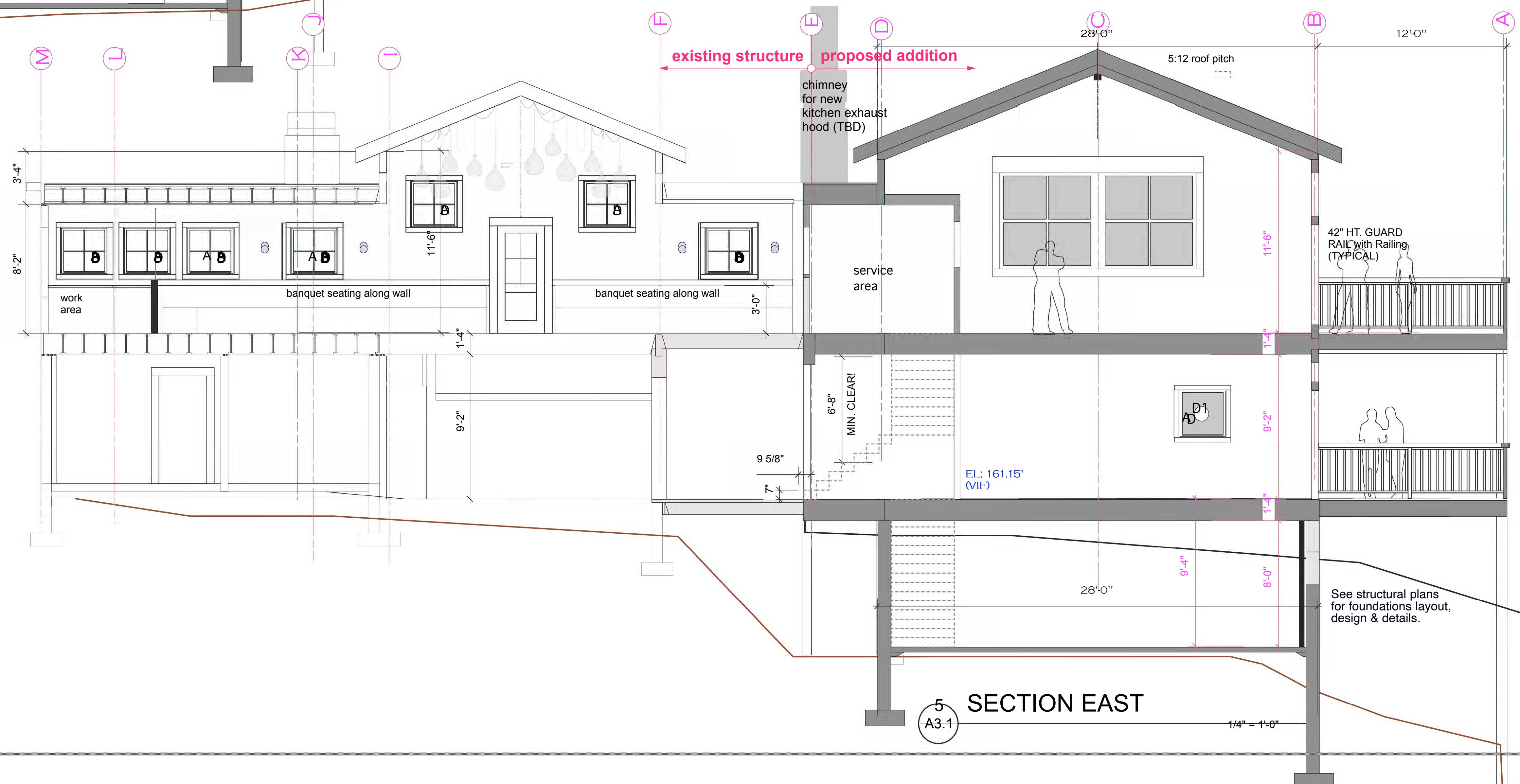
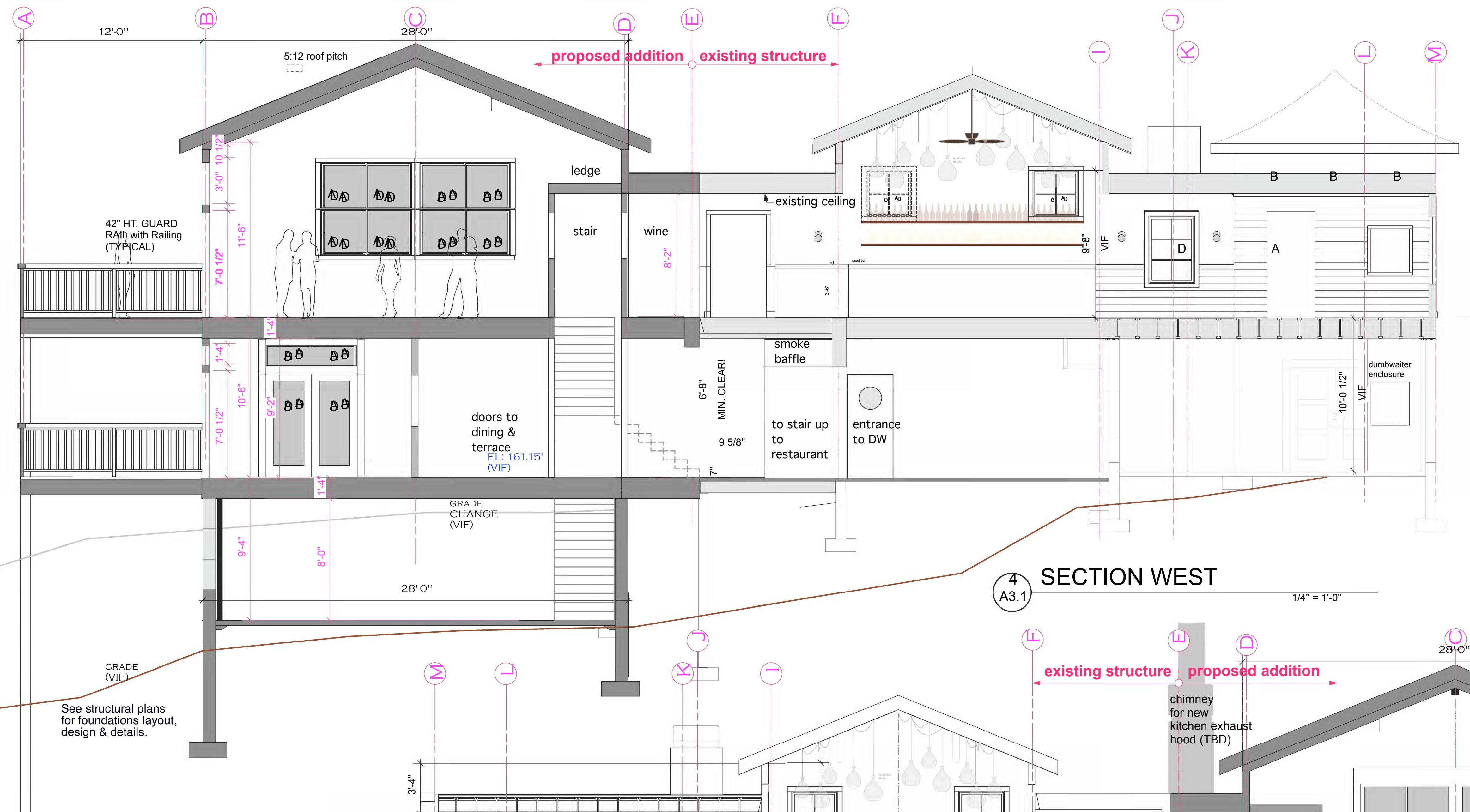
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SCALE: 1/4" = 1'-0"

DESCRIPTION

SECTIONS

A3.1



Henry's Farm to Table

220 NORTH ROAD, MILTON, NY

220 NORTH ROAD, MILTON, NY

220 INCUBATION, MELON, NI

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AI E: 1/4" = 1'-0"

DESCRIPTION

PAGE NO.

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A3.2

existing structure proposed addition

pitch low pitch roof to gutters (VIF)

INTERIOR WINDOW WALL- VIEW SOUTH (1/4" = 1'-0")

SECTION NORTH (1/4" = 1'-0")

INTERIOR WINDOW WALL- VIEW SOUTH (1/4" = 1'-0")

INTERIOR WINDOW WALL- VIEW NORTH (1/4" = 1'-0")

ROOF AT ADDITION TO ALIGN W/ EXIST. FLAT ROOF (VIF). PITCH TO GUTTER (VIF- TBD)