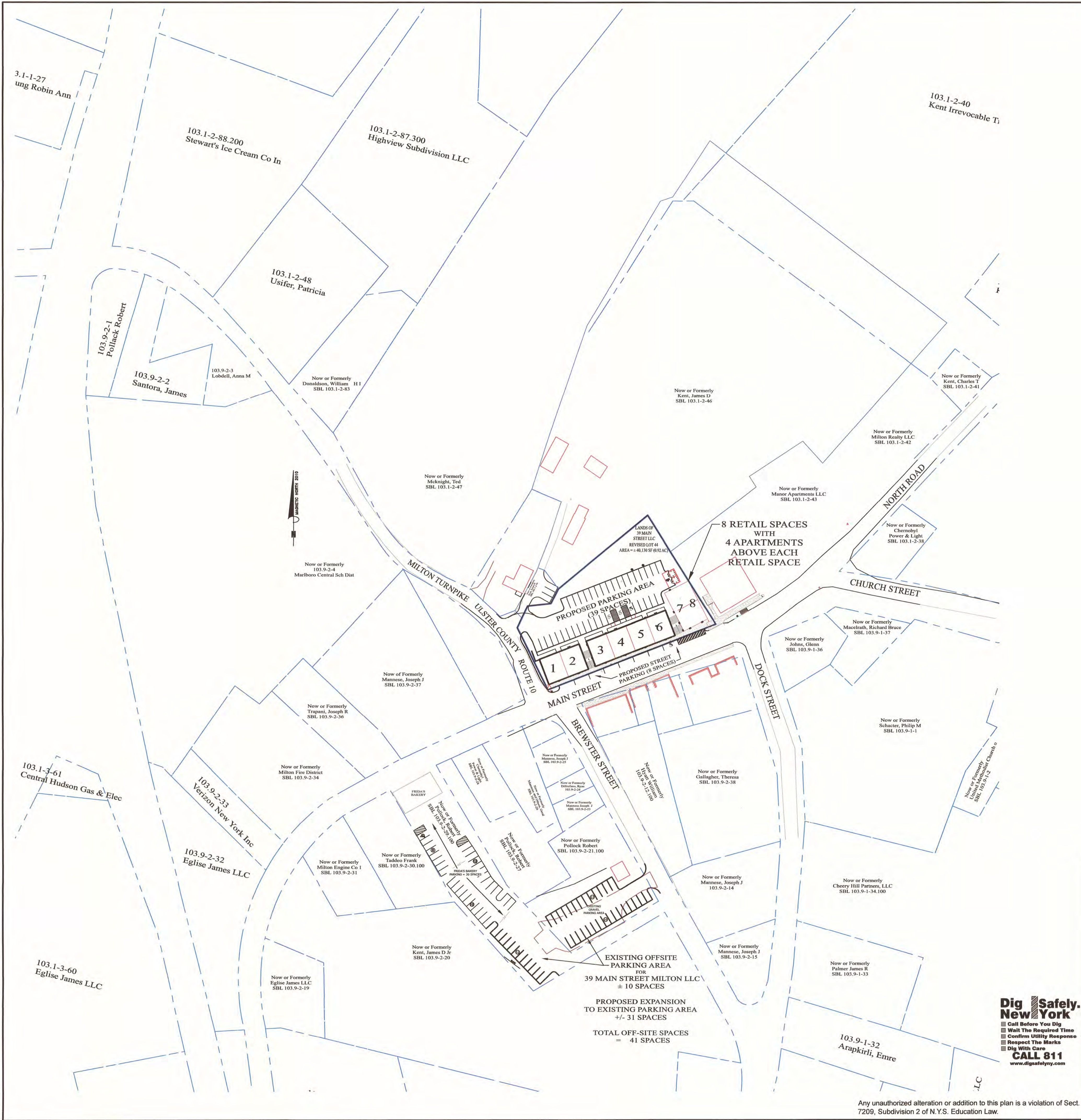




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SHEET INDEX

SHEET	TITLE	
I-1	INDEX	SHEET 1 OF 9
SP-1	SITE PLAN	SHEET 2 OF 9
S-1	SURVEY MAP	SHEET 3 OF 9
GP-1	GRADING AND UTILITIES PLAN	SHEET 4 OF 9
LLS-1	LIGHTING AND LANDSCAPING PLAN	SHEET 5 OF 9
D-1	SITE DETAILS	SHEET 6 OF 9
D-2	SITE DETAILS	SHEET 7 OF 9
D-3	DRAINAGE DETAILS	SHEET 8 OF 9
FT-1	FIRETRUCK MOVEMENT	SHEET 9 OF 9

MAP REVISION DATES

DATE	REVISION	BY
22 SEPT 2021	REVISED AS PER P.B. MEETING OF 20 SEPT 2021	TPFK
25 OCTOBER 2021	ADDED FIRETRUCK MOVEMENT SHEET	CC
13 DEC 2021	REVISED AS PER P.B. MEETING OF 06 DEC 2021	TPFK

LOCATION MAP: Town of Marborough Tax Map, Section 103.1

SCALE: 1" = 200'

ZONING REQUIREMENTS

FOR C-1 ZONE

	REQUIRED	PROVIDED
MINIMUM LOT AREA	5000 SQ.FT. (w/ PUBLIC W&S)	±40,100 SQ.FT.
MINIMUM YARD SETBACKS		
FRONT	5 FT.	7 FT.
SIDE	0 FT.	0 FT.
REAR	20 FT.	87 FT.
MAXIMUM BUILDING HEIGHT	35 FT.	32 FT.
MAXIMUM BUILDING COVERAGE	75%	± 25.6%

PARKING REQUIREMENTS

	REQUIRED	PROVIDED
COMMERCIAL (1 SPACE PER 300 SQ. FT.)	35 SPACES	
RESIDENTIAL (1.5 SPACE PER DWELLING UNIT)	24 SPACES	
SECOND FLOOR = 16 DWELLING UNITS	24 SPACES	
THIRD FLOOR = 16 DWELLING UNITS	24 SPACES	
HANDICAPPED SPACES (4%)	3 SPACES	3 SPACES
83 TOTAL *		47 TOTAL
*OFFSITE PARKING PROVIDED ON 12 BREWSTER STREET		= 41 SPACES
		88 TOTAL

DENSITY

PROPOSED: 8 RETAIL X 4 APARTMENTS = 32 UNITS (APARTMENTS)
TOTAL AREA REQUIRED: 40,000 SQ.FT.

APPROVED BY THE TOWN OF MARBOROUGH PLANNING BOARD

DATE: _____

CHAIRMAN: _____

MEMBER: _____

OWNERS ENDORSEMENT

I HEREBY GRANT MY APPROVAL TO THIS PLAT AND THE PLANS SHOWN HEREON

OWNER: _____ DATED: _____

OWNER: _____ DATED: _____

OWNER / DEVELOPER

39 Main Street Milton LLC
96 South Elliot Place
Brooklyn, NY 11217

TAX MAP ID#	LOT AREA
103.1-2-44	Total Area = 40,130 SF
103.1-2-45	

INDEX SHEET

PROPOSED MIXED USE BUILDING
8 RETAIL SPACES (10,520 SF) WITH 4 APARTMENTS
ABOVE EACH RETAIL SPACE FOR A TOTAL
OF 32 ONE BEDROOM APARTMENTS
FOR
39 MAIN STREET MILTON LLC
TOWN OF MARLBOROUGH
ULSTER COUNTY - NEW YORK

Scale: 1" = 50'
August 12, 2021

MEDENBACH & EGGERS
CIVIL ENGINEERING & LAND SURVEYING, P.C.
STONE RIDGE, NEW YORK (845) 687-0047

Randy Medenbach
BARRY MEDENBACH, P.E.
NEW YORK LIC. NO. 60142

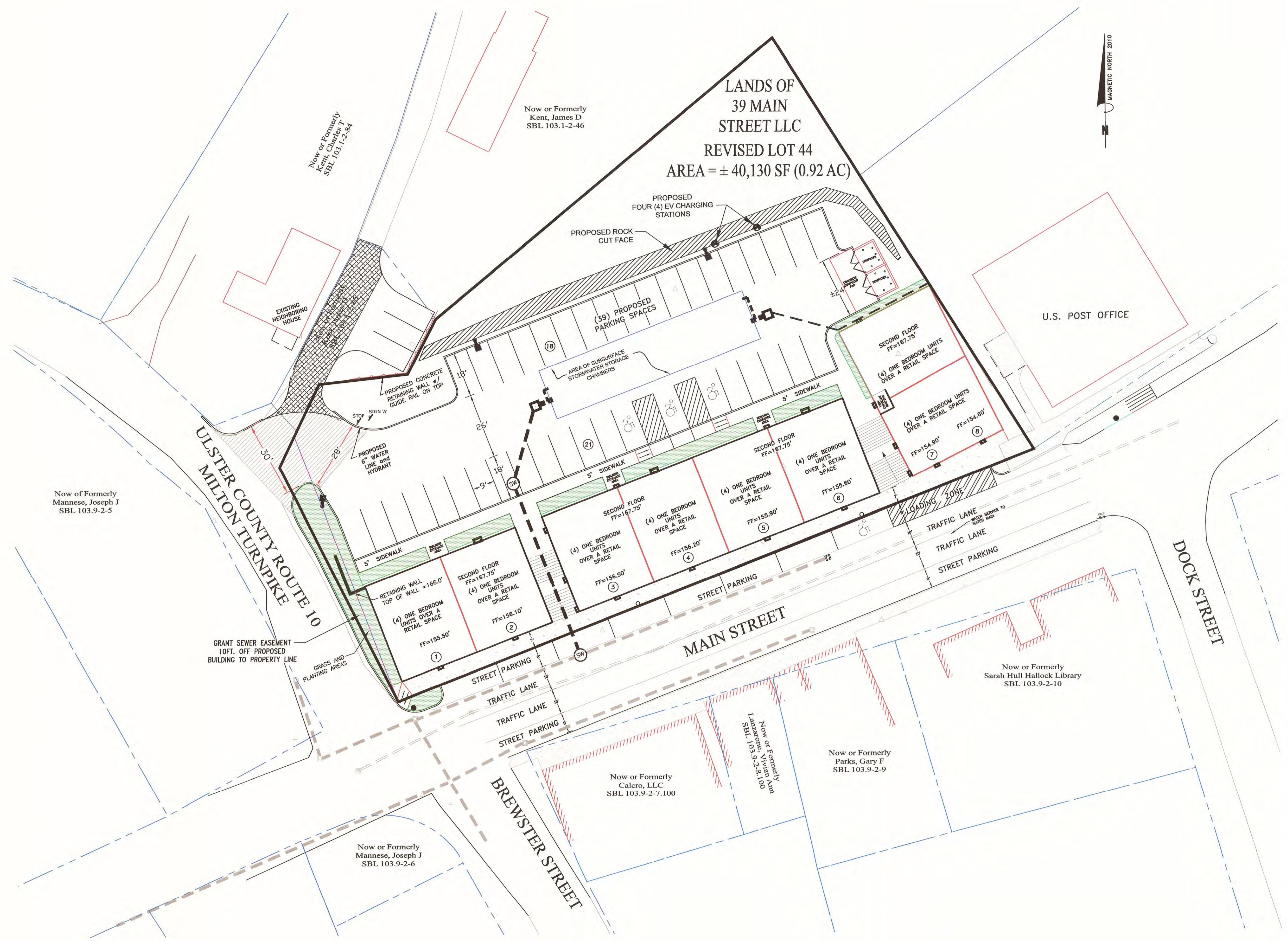
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CUSTOM SIGN - A

1 SIGN LEGEND
NOT TO SCALE



MAP REVISION DATES		
DATE	REVISION	BY
25 OCTOBER 2021	REVISED DRIVEWAY ENTRANCE	CC
13 DEC 2021	REVISED AS PER P.B. MEETING OF 06 DEC 2021	TPFK

PROPOSED SITE PLAN
FOR
PROPOSED MIXED USE BUILDING
8 RETAIL SPACES (10,520 SF) WITH 4 APARTMENTS
ABOVE EACH RETAIL SPACE FOR A TOTAL
OF 32 ONE BEDROOM APARTMENTS
FOR
39 MAIN STREET MILTON LLC
TOWN OF MARLBOROUGH
ULSTER COUNTY ~ NEW YORK

Scale: 1" = 20'
August 12, 2021

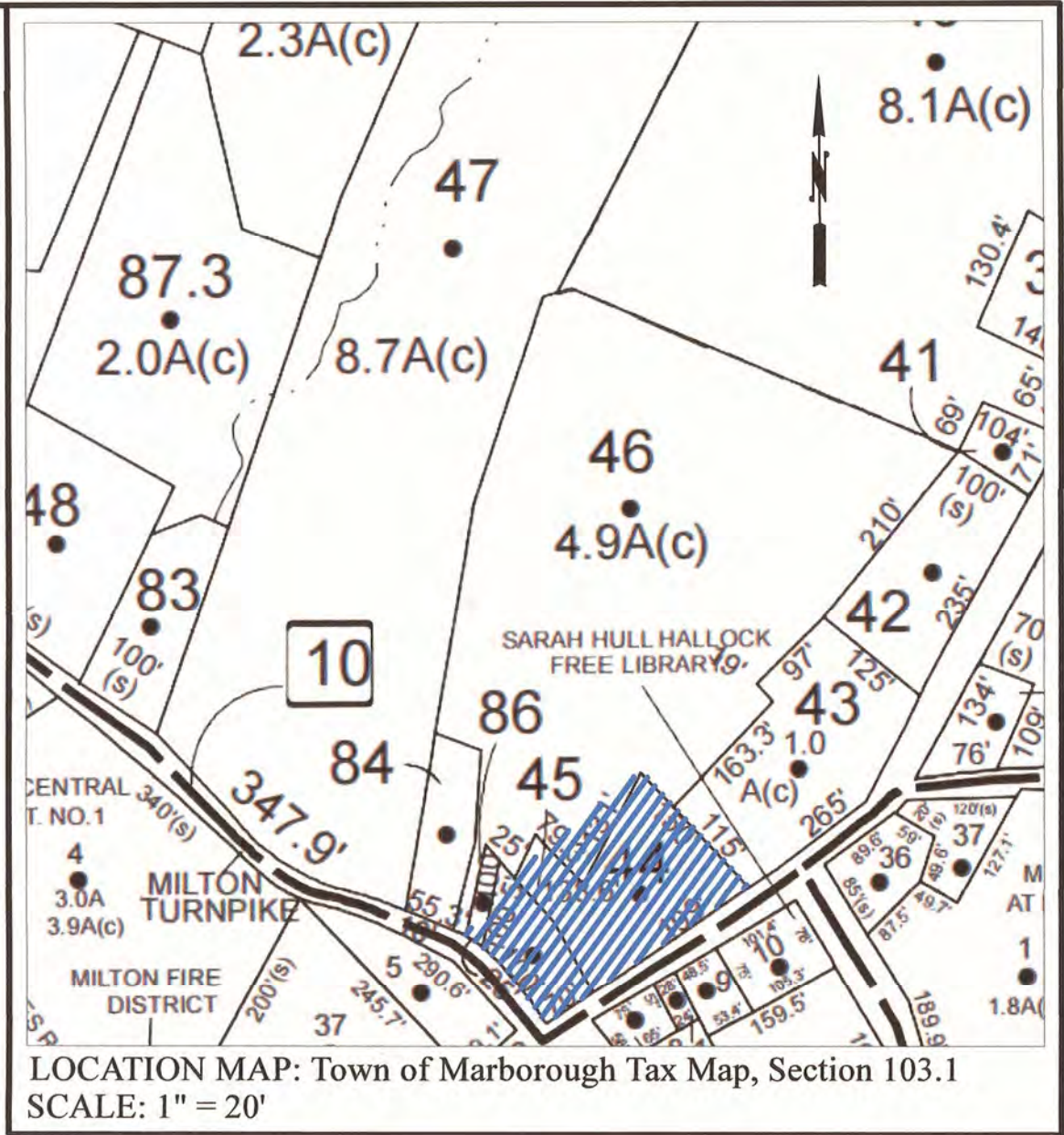
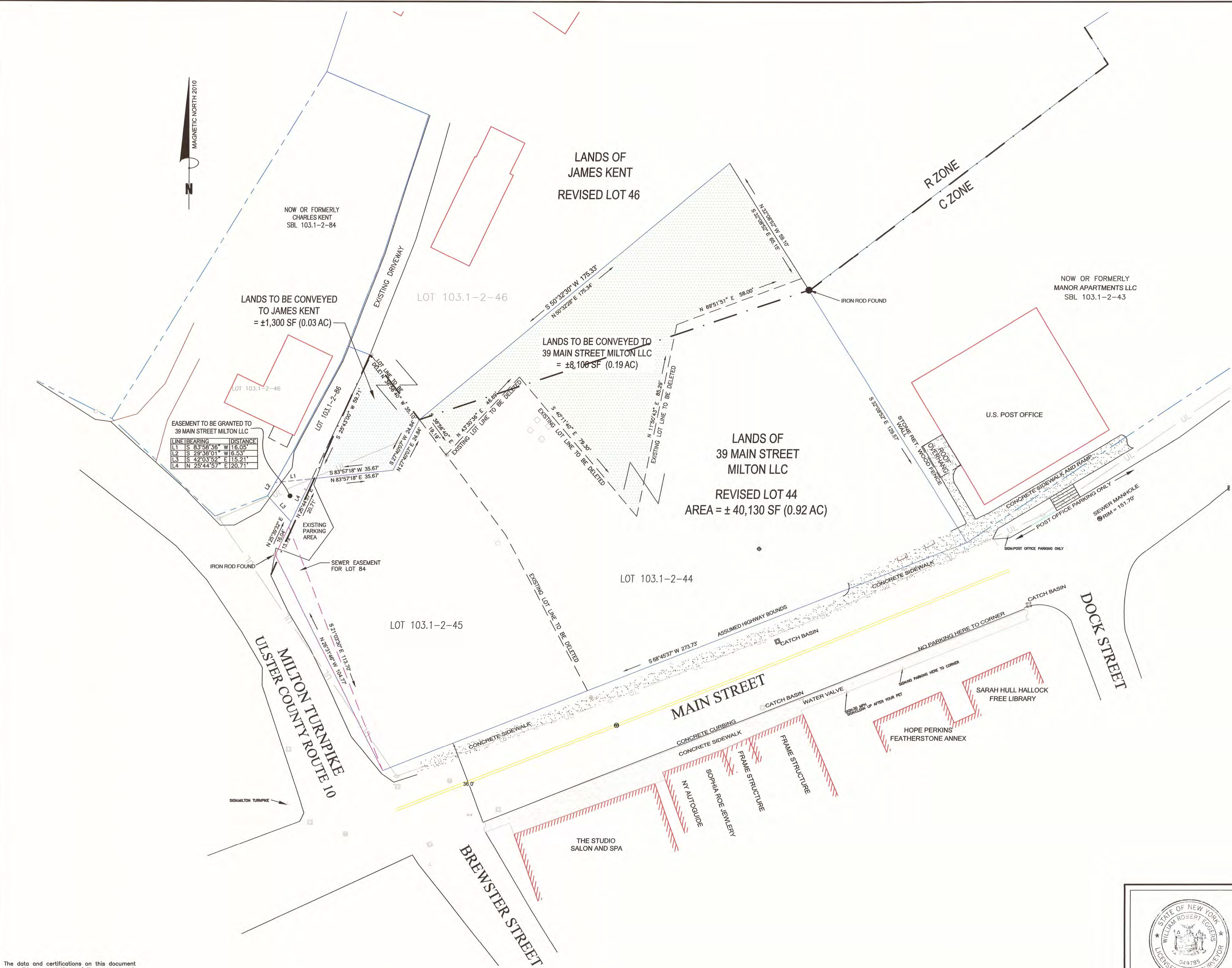
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Barry Medenbach
BARRY MEDENBACH, P.E.
NEW YORK LIC. NO. 60142

SP-1
2 OF 9
E16 065

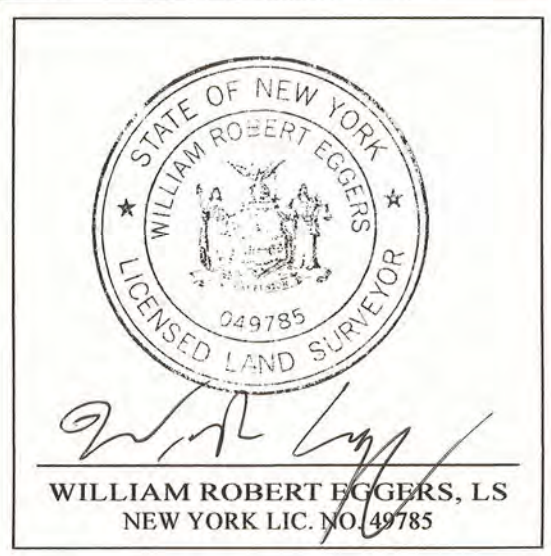
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The data and certifications on this document are valid representations of the surveyor only if the surveyor's signature and raised seal are affixed to this document and the document has not been altered in any manner.

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OWNER 39 Main Street Milton LLC c/o Robert Pollock 96 South Elliot Place Brooklyn, NY 11217	OWNER James D. Kent Jr. P.O. Box 424 Milton, NY 12547
TAX MAP ID# 103.1-2-44 103.1-2-45	TAX MAP ID# 103.1-2-46 103.1-2-86

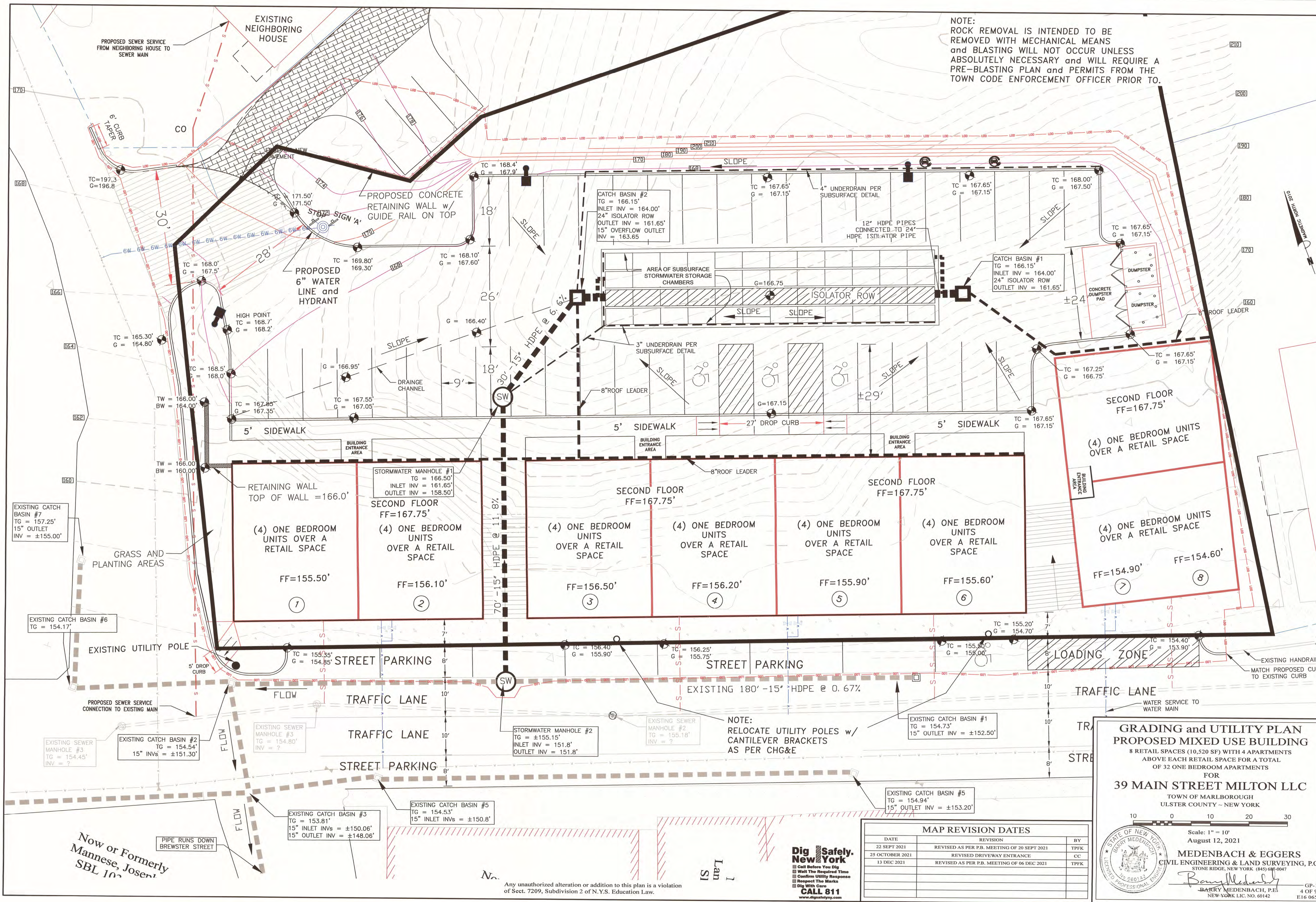
SURVEY MAP
SHOWING LOT LINE ADJUSTMENT FOR LANDS OF
**KENT &
39 MAIN STREET MILTON LLC**
TOWN OF MARLBOROUGH
ULSTER COUNTY - NEW YORK

Scale: 1" = 20'
August 12, 2021

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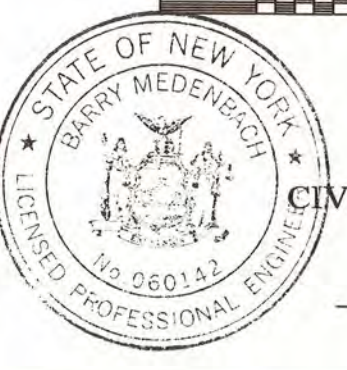
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3 OF 9
E16 065



NOTE:
ROCK REMOVAL IS INTENDED TO BE
REMOVED WITH MECHANICAL MEANS
and BLASTING WILL NOT OCCUR UNLESS
ABSOLUTELY NECESSARY and WILL REQUIRE A
PRE-BLASTING PLAN and PERMITS FROM THE
TOWN CODE ENFORCEMENT OFFICER PRIOR TO.

GRADING and UTILITY PLAN
PROPOSED MIXED USE BUILDING
8 RETAIL SPACES (10,520 SF) WITH 4 APARTMENTS
ABOVE EACH RETAIL SPACE FOR A TOTAL
OF 32 ONE BEDROOM APARTMENTS
FOR
39 MAIN STREET MILTON LLC
TOWN OF MARLBOROUGH
ULSTER COUNTY - NEW YORK



Scale: 1" = 10'
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Barry Medenbach
Barry Medenbach, P.E.
NEW YORK LIC. NO. 60142

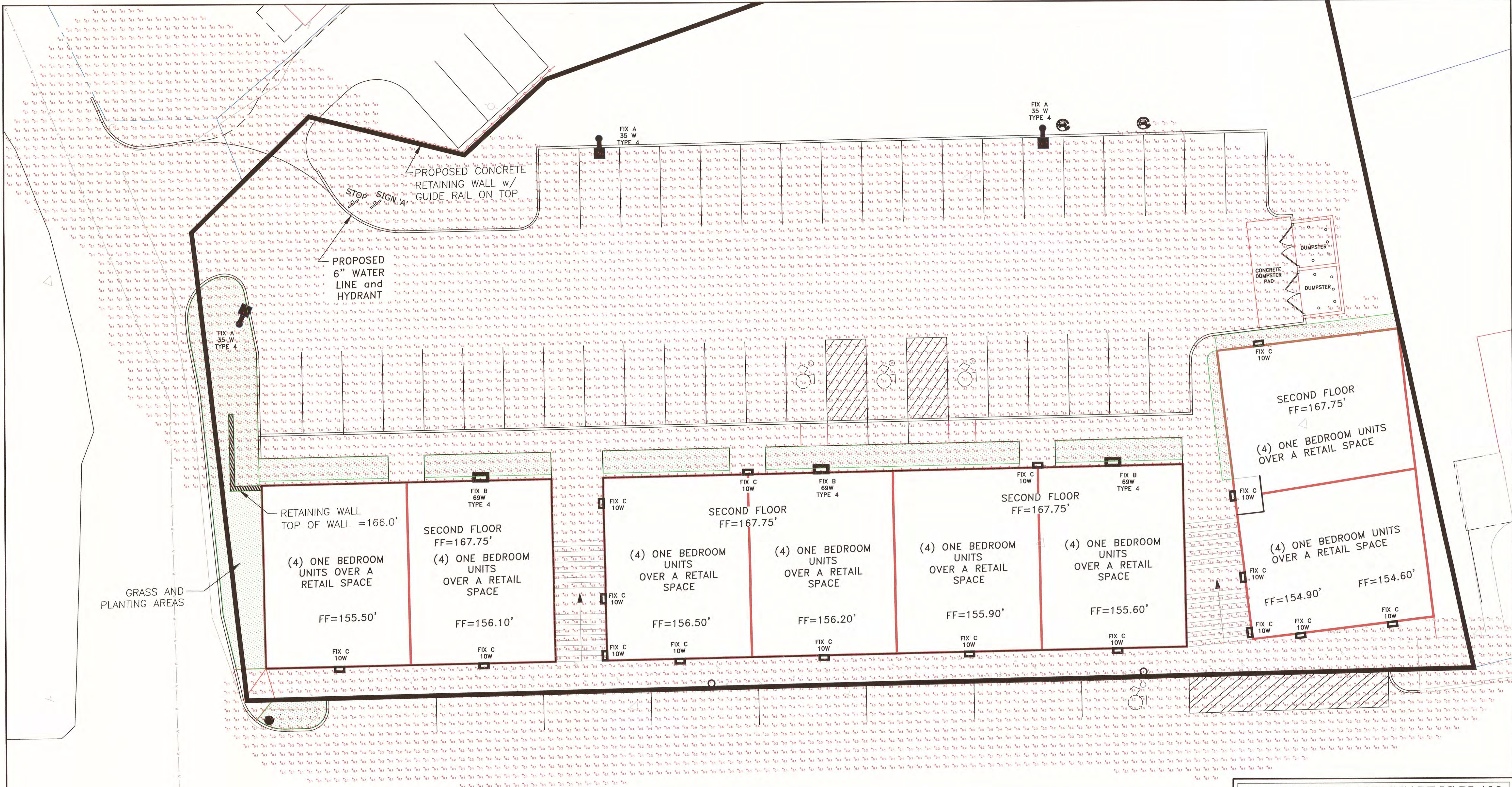
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MAP REVISION DATES		
DATE	REVISION	BY
22 SEPT 2021	REVISED AS PER P.B. MEETING OF 20 SEPT 2021	TPFK
25 OCTOBER 2021	REVISED DRIVEWAY ENTRANCE	CC
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Now or Formerly
Mannese, Joseph
SBL 102



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MAP REVISION DATES			
DATE	REVISION	BY	
25 OCTOBER 2021	REVISED DRIVEWAY ENTRANCE	CC	

LIGHTING LEGEND				
FIXTURE	Wattage (TYPE)	DENOTED BY	HEIGHT PLACEMENT	QYT.
A	35W (LED)		20'	3
B	69W (LED)		18'	3
C	10 W (LED)		±10'	17

NOTES:
1. REFERENCE ARCHITECTURAL DRAWINGS FOR ALL LIGHTS ATTACHED TO THE BUILDING.
2. ALL OUTSIDE LIGHTING IS TO BE FULLY SHIELDED DOWNLIGHTING.
3. SEE LIGHTING DETAILS ON DETAIL SHEETS.

LIGHTING & LANDSCAPING PLAN

PROPOSED MIXED USE BUILDING

8 RETAIL SPACES (10,520 SF) WITH 4 APARTMENTS
ABOVE EACH RETAIL SPACE FOR A TOTAL
OF 32 ONE BEDROOM APARTMENTS
FOR

39 MAIN STREET MILTON LLC

TOWN OF MARLBOROUGH
ULSTER COUNTY – NEW YORK

100 0 10 20 30

Scale: 1" = 10'

August 12, 2021

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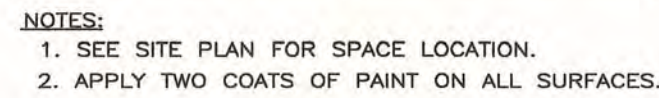
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BARRY MEDENBACH, P.E.

NEW YORK LIC. NO. 60142

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[illegible]

- NOTES:**
1. SEE SITE PLAN FOR ACCESSIBLE SPACE LOCATION AND DIMENSIONS.
 2. APPLY TWO COATS OF PAINT ON ALL SURFACES.
 3. ACCESSIBLE SYMBOL PER NEW YORK STATE.

The diagram illustrates the plan view of a crosswalk with ramps. Key components and dimensions include:

- 6' RAMP WIDTH TYP.**: The width of the ramps on either side of the crosswalk.
- 5' LANDING WIDTH TYP.**: The width of the landing area in the center of the crosswalk.
- 2% MAX PITCH**: The slope of the ramp surface.
- CURB**: The vertical edge of the sidewalk.
- DETECTABLE WARNING FIELD 2' TYP.**: A rectangular area in the center of the crosswalk, indicated by a grid of small circles.
- 5' LANDING TYP.**: The width of the landing area, also labeled.
- RAMP**: The sloped areas on either side of the landing.
- SIDEWALK AS PER PLAN**: The area outside the crosswalk, indicated by a vertical dimension line.
- TAPER 10x CURB HEIGHT**: The sloped transition from the ramp to the sidewalk.
- FULL LANDING WIDTH CURB/RAMP FLUSH TO PAVEMENT AT CROSSWALK**: The total width of the crosswalk area.
- CROSSWALK OR LOADING ZONE AS PER PLAN**: The area of the crosswalk.
- PLAN VIEW**: The overall view of the crosswalk from above.
- A**: A reference line indicating the cross-section line.

5' LANDING
TYP.

CROSSWALK
AS PER PLAN

CURB/RAMP FLUSH
TO PAVEMENT AT
CROSSWALK

2% MAX.

2% MAX.

Curb Ramp Notes:

1. A curb ramp is defined as the entire concrete surface which includes the ramp & flared sides. The minimum 5' wide center portion, including the detectable surface, shall have a sloped plane of 8.33% (1:12) maximum, and cross slope, not to exceed 2%. The "flared side" of the ramp shall lie on a slope of 10% (1:10) maximum measured across the curb. The curb ramp shall have a surface tolerance of 1/4" per 10 foot straight edge maximum.
2. The ramp center line and path of travel should be parallel to the sidewalk whenever possible. The full width of the ramp shall lie within the crosswalk area. It is desirable that the location of the ramp be as close as possible to the center of the crosswalk.
3. Existing utility boxes and covers shall be adjusted flush with the curb ramp surface and shall not straddle any change in plane or material. Existing utility box frames and covers shall have matching surface finish on the entire frame and cover. New utility boxes shall not be placed within the detectable border.
4. The surface of the curb ramp and detectable surface material shall be stable, firm and slip resistant. Detectable warning fields shall visually contrast with adjoining surfaces either light on dark or dark on light. The concrete curb ramp surface shall be broom finished transverse to the axis of the ramp and shall be slightly rougher than the finish of the adjacent sidewalk surface.
5. A level landing 5'-0" deep, with a 2% maximum slope in each direction shall be provided at the upper end of each curb ramp to allow safe egress from the ramp surfaces. The width of the level landing shall be at least as wide as the width of the ramp.
6. Seal all joints on sidewalk and ramps. Maximum width of expansion joint is 1/2"



12 ROWS OF 8" C.M.U.s

C.M.U. W/TRUSS TYPE REINF. EVERY 24" FINISH W/E.F.S.

#5 VERTICAL @ 2'-8" O.C. CONT. FULL HT. FILL CELLS SOLID W/CONC.

PITCH GRADE AWAY FROM STRUCTURE

CAST IN PLACE CONC. FOOTING W/ 2 #4'S

8'-0"

8'-0"

PROPOSED DUMPSTER AREA

4" CONC. SLAB W/ 6 X 6 W20 X W20 WWF

CEMENT CAP

8" C.M.U. U-BLK. W/ 2-#4'S CONT.

#5 VERTICAL @ 2'-8" O.C. CONT. FULL HT. FILL CELLS SOLID W/CONC.

C.M.U. W/TRUSS TYPE REINF. EVERY 24" FINISH W/E.F.S.

WATERPROOF COATING WHERE BELOW STRUCTURE ACTS AS A RETAINING WALL

Diagram illustrating a ramp cross-section. The ramp has a width of 5' (RAMP WIDTH TYP.). The ramp side widths are variable (RAMP SIDE VARIES). The ramp is flush to the pavement at the crosswalk (CURB/RAMP FLUSH TO PAVEMENT AT CROSSWALK). The ramp slope is indicated as RAMP 8% MAX.

6" Full Height Reveal

14" BELOW GRADE for TYPE BB
12" BELOW GRADE for TYPE AB

6" SUBBASE MATERIAL

6'-0" MIN.

12

GRADE (PAVED SURFACE)
● CURB FACE

6"

A detailed cross-section diagram of a concrete apron and slope pad. The diagram shows a horizontal concrete apron on the left, transitioning into a sloped concrete pad on the right. The apron has a width of 12" MIN. and is topped with a 1/2" PREMOULDED JOINT FILLER WITH SEALANT. The sloped pad has a 2' COVER and a 6" SLAB THICKNESS. The concrete is 4000 PSI CONC. with #4 BARS 16" O.C. EACH WAY. The sloped pad is topped with a 12" GRAVEL BASE. The bottom of the sloped pad is 12" MIN. from the bottom of the apron. The diagram is labeled with various components and dimensions.

- PAVEMENT
- 1/2" PREMOULDED JOINT FILLER WITH SEALANT
- TOOLED EDGES
- CONCRETE APRON 4000 PSI CONC. W/#4 BARS 16" O.C. EACH WAY
- SLOPE PAD TO MATCH GRADES PER GRADING PLAN
- 2' COVER
- 6" SLAB THICKNESS
- 12" MIN.
- 12" GRAVEL BASE
- 12" MIN.
- #4 BARS CONT.

3-1/2" X 3-1/2" X 1/4" THK STEEL DIAGONAL BRACING

6" STEEL GATE POST PAINTED

PROPOSED TRASH RECPT. AREA

E.F.S. ON C.M.U. TO MATCH BUILDING ON LOT

FRAME INSIDE OF METAL DOOR W/ 3-1/2" X 3-1/2" X 1/4" THICK STEEL GALV. ANG. PAINTED TO MATCH E.F.S.

LOCKABLE HASP

20. GA. METAL DECKING PAINTED

DROP ROD, 1" DIA. X 2'-0" LONG W/ 90° BEND

#3 BAR EACH WAY THRU 6" STEEL POST

PROVIDE CURB AND SIDEWALK WHERE INDICATED ON SITE PLAN

1-1/2" MIN TOP TYPE 6F

2-1/2" MIN TYPE 3 BINDER

3-0" MIN BASE ITEM #4

12" MIN APPROVED SUB-BASE

2" 8" 6" 1-1/2" RADIUS 1-1/2" RADIUS 1-1/2" EXPANSION JOINT MATERIAL 4" 6" 20" 3,500 PSI CONCRETE COMPACTED GRAVEL 6"

VARIABLES

1/2" PREMOLDED EXPANSION JOINT MATERIAL WITH JOINT SEALANT TO MATCH CONCRETE COLOR

CURBING NOTES:

1. 3500 PSI PRE-FORM EVERY 20'
2. SEE HIGH-DRAWING INSIDE T

SIDEWALK NOTES:

1. SIDEWALK TO HAVE MEDIUM BROOM FINISH PERPENDICULAR TO DIRECTION OF PEDESTRIAN
2. CONSTRUCT IN ACCORDANCE WITH PROJECT SPECIFICATIONS
3. SEE SITE PLAN FOR SIDEWALK LOCATION
4. PROVIDE ACCESSIBLE RAMPS IN ACCORDANCE WITH STANDARD RAMP DETAIL
5. SIDEWALKS ARE TO BE HAVE RUNNING SLOPE

- CURBING NOTES:**
1. 3500 PSI CONCRETE - PROVIDE 1/2" PRE-FORMED EXPANSION JOINTS EVERY 20 FT.
 2. SEE HIGHWAY IMPROVEMENT DRAWINGS FOR CURBING DETAILS INSIDE THE NYSDOT RIGHT OF WAY.

- SIDEWALK NOTES:**
1. SIDEWALK TO HAVE MEDIUM BROOM FINISH PERPENDICULAR TO DIRECTION OF PEDESTRIAN TRAFFIC CONSTRUCT IN ACCORDANCE WITH PROJECT SPECIFICATIONS
 2. SEE SITE PLAN FOR SIDEWALK LOCATION.
 3. PROVIDE ACCESSIBLE RAMPS IN ACCORDANCE WITH STANDARD RAMP DETAIL.
 4. SIDEWALKS ARE TO BE HAVE RUNNING SLOPE NO GREATER THAN 2%.
 5. PLACE 6x6-W2.0xW2.0 WWF IN CENTER OF SLAB
 6. PLACE EXPANSION JOINTS @ 20' MAX.
 7. PLACE CONTROL JOINTS AT 4' TO 10' MAX.
 8. AT OTHER SIDE OF SIDEWALK SHALL BE CONSTRUCTED USING THE MATERIALS AND DEPTHS INDICATED ABOVE.

MAP REVISION DATES		
DATE	REVISION	BY

8 RETAIL SPACES (10,520 SF) WITH 4 APARTMENTS
ABOVE EACH RETAIL SPACE FOR A TOTAL
OF 32 ONE BEDROOM APARTMENTS

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ENGINEERING & LAND SURVEYING, P.C.

STONE RIDGE, NEW YORK (845) 687-0047

Barry Medersky

BARRY MEDENBACH, P.E. D-1
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NEW YORK LIC. NO. 60142 E16 065

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KAD LED
LED Area Luminaire

Specifications
EPA: 1.2 B
Length: 17'-1/2"
Width: 17'-1/2"
Height: 7'-1/8"
Weight (each): 36 lbs.

Capable Luminaire
This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.
• All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency.
• This luminaire is A+ Certified when ordered with DTL controls marked by a shaded background.
• This luminaire is A+ Certified when ordered with DTL DLI equipped luminaires meet the A+ specification for luminaires to be photometrically interoperable.
• This luminaire is part of an A+ Certified solution for RCMPT2 or XPoint™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a shaded background.
To learn more about A+, visit www.acuitybrands.com/a-plus.
1. See ordering tree for details.
2. A+ Certified Solutions for RCMPT2 require the order of one RCMPT2 node per luminaire. Sold Separately. Link to RCMPT2 node PDF: [Link to RCMPT2 node PDF](#).

Ordering Information
EXAMPLE: KAD LED 40C 1000 40K R4 MVOLT SPD04 D0BXD

1 POLE MOUNTED LIGHT DETAIL (FIXTURE A)
35 WATT KAD LED 20C 530 40K R4 MVOLT HS (TYPE 4 OPTICS) OR EQUAL

CSXW LED
LED Wall Luminaire

Specifications
Height: 1'-6 1/2"
Width: 16'-5 1/2"
Depth: 16'-5 1/2"
Weight (max): 20 lbs.

Introduction
The Contour® Series luminaires offer traditional square fixtures with tapered edges for a versatile look that complements many applications.
The CSXW LED combines the latest in LED technology with the familiar aesthetic of the Contour® Series for stylish, high-performance illumination that lasts. It is ideal for replacing 100-400W metal halide in wall-mounted applications with typical energy savings of 50% and expected service life of over 100,000 hours.

Ordering Information
EXAMPLE: CSXW LED 30C 700 40K T3M MVOLT D0BXD

2 WALL MOUNTED LIGHT DETAIL (FIXTURE B)
MODEL: CSXW LED 30C 700 40K T4M R4 MVOLT HS OR EQUAL
REFERENCE ARCHITECTURAL PLANS FOR FINAL LIGHT FIXTURES

WDGE1 LED
Architectural Wall Sconce

Specifications
Depth (DT): 3-1/2"
Depth (DT): 1-1/2"
Height: 8"
Width: 8"
Weight (each): 9 lbs.

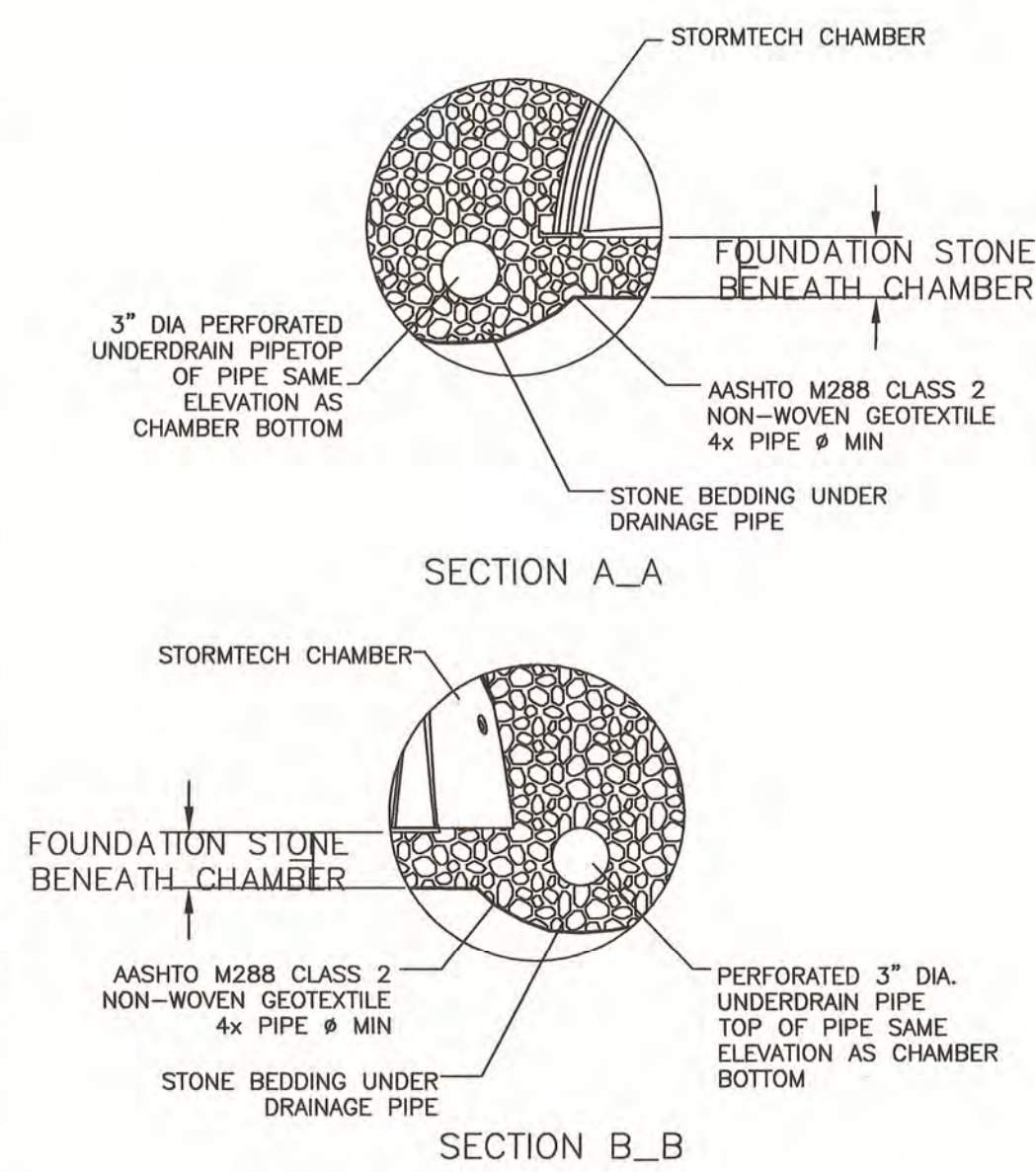
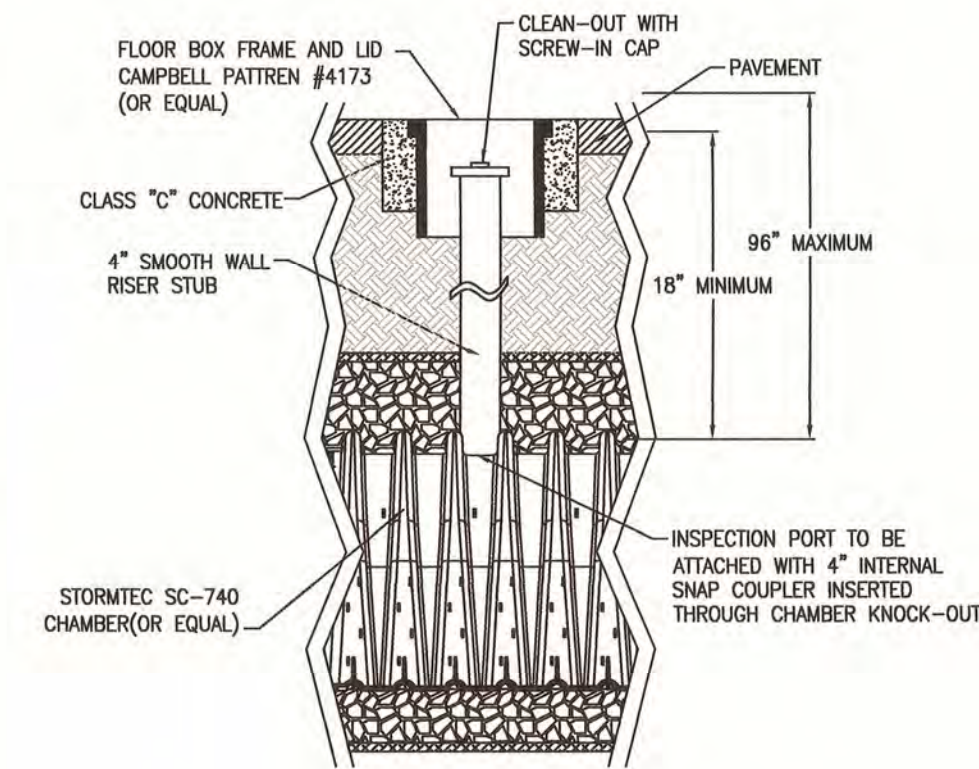
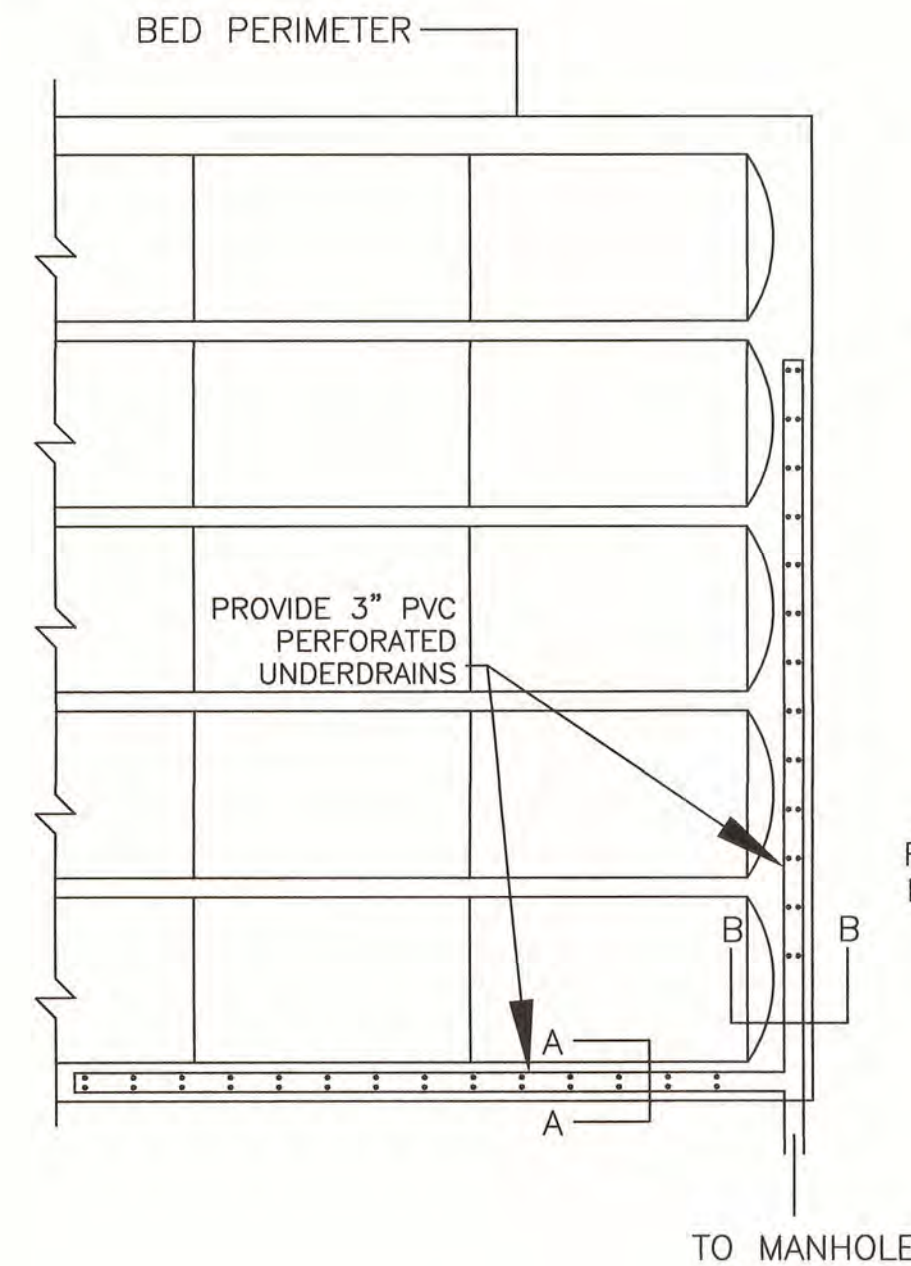
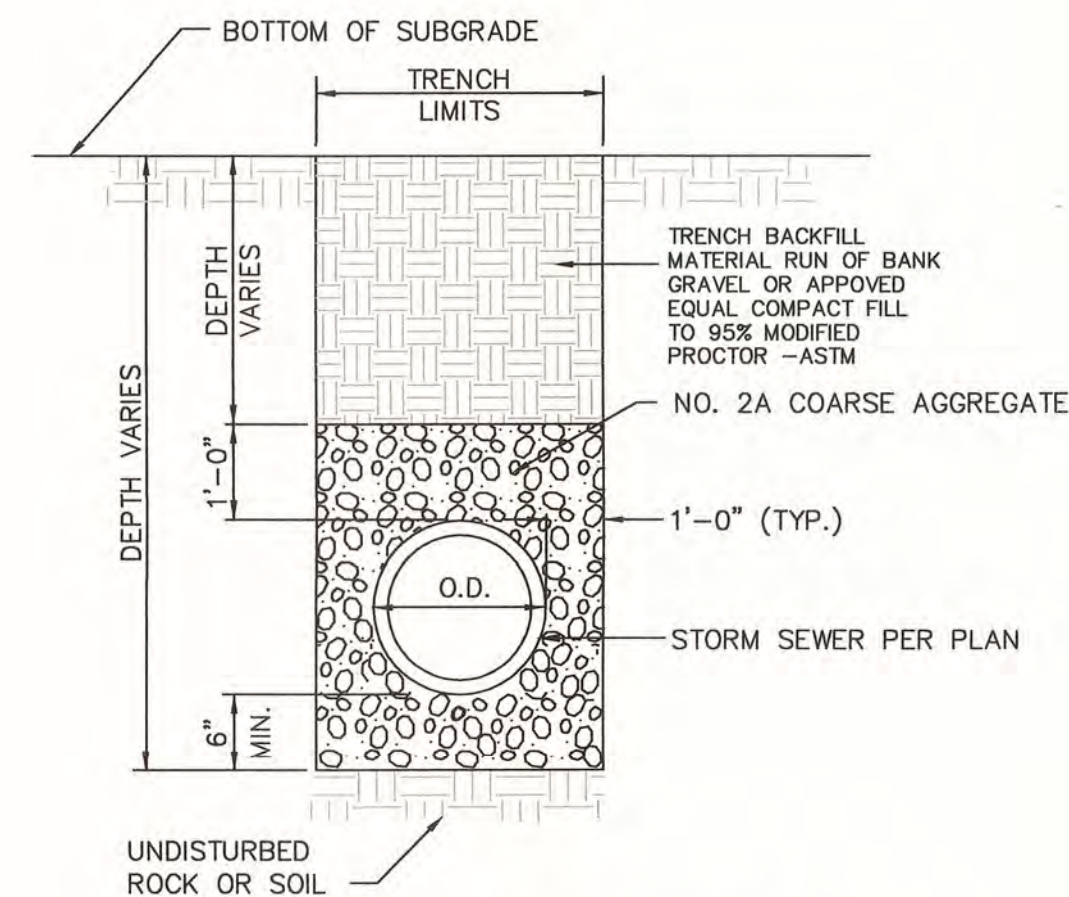
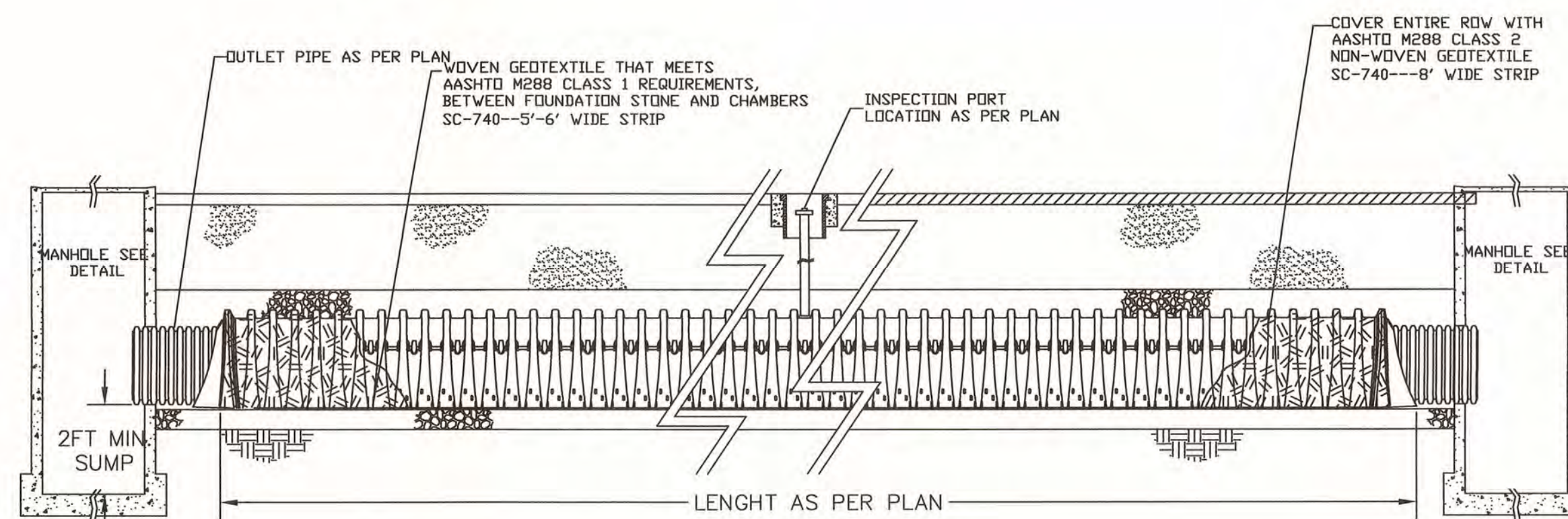
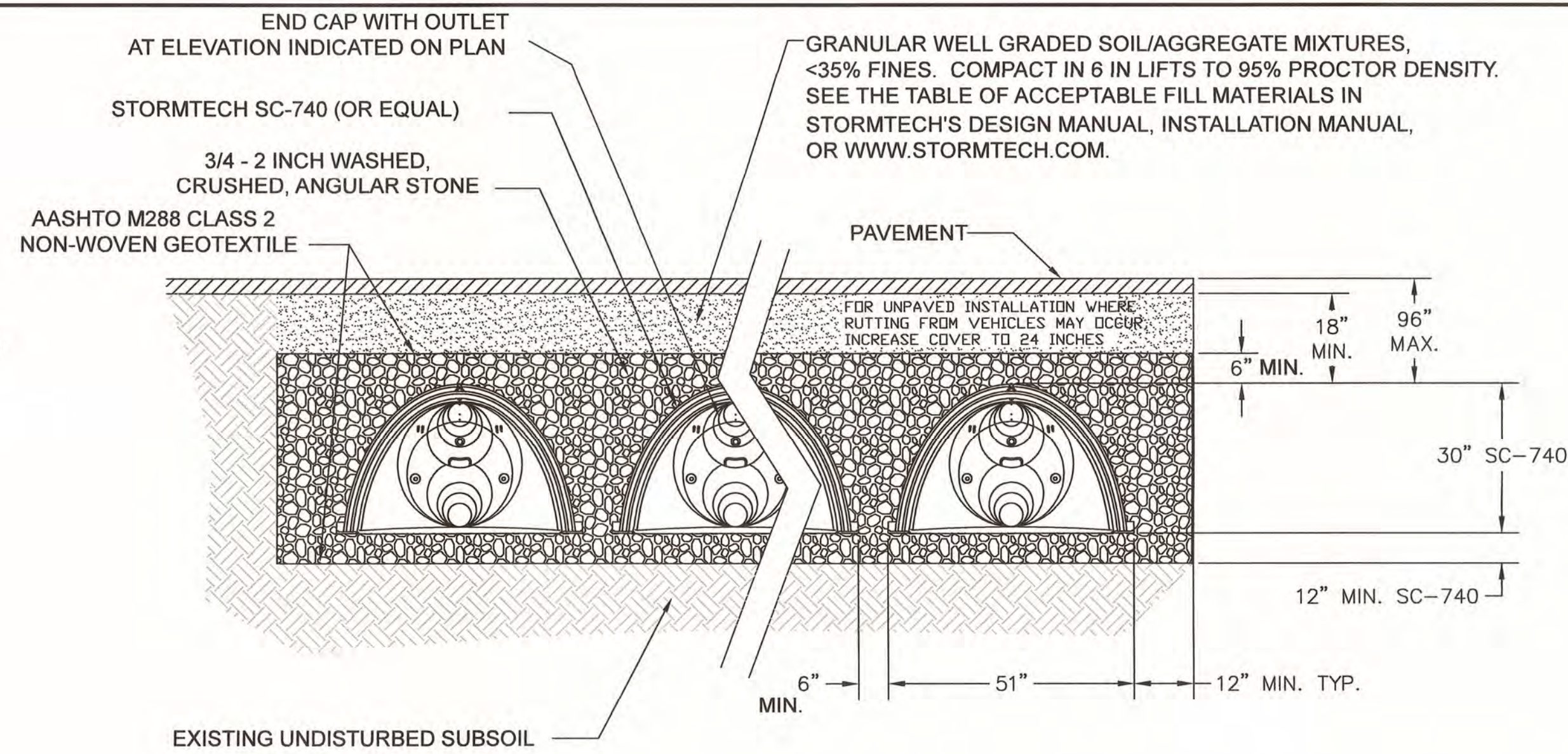
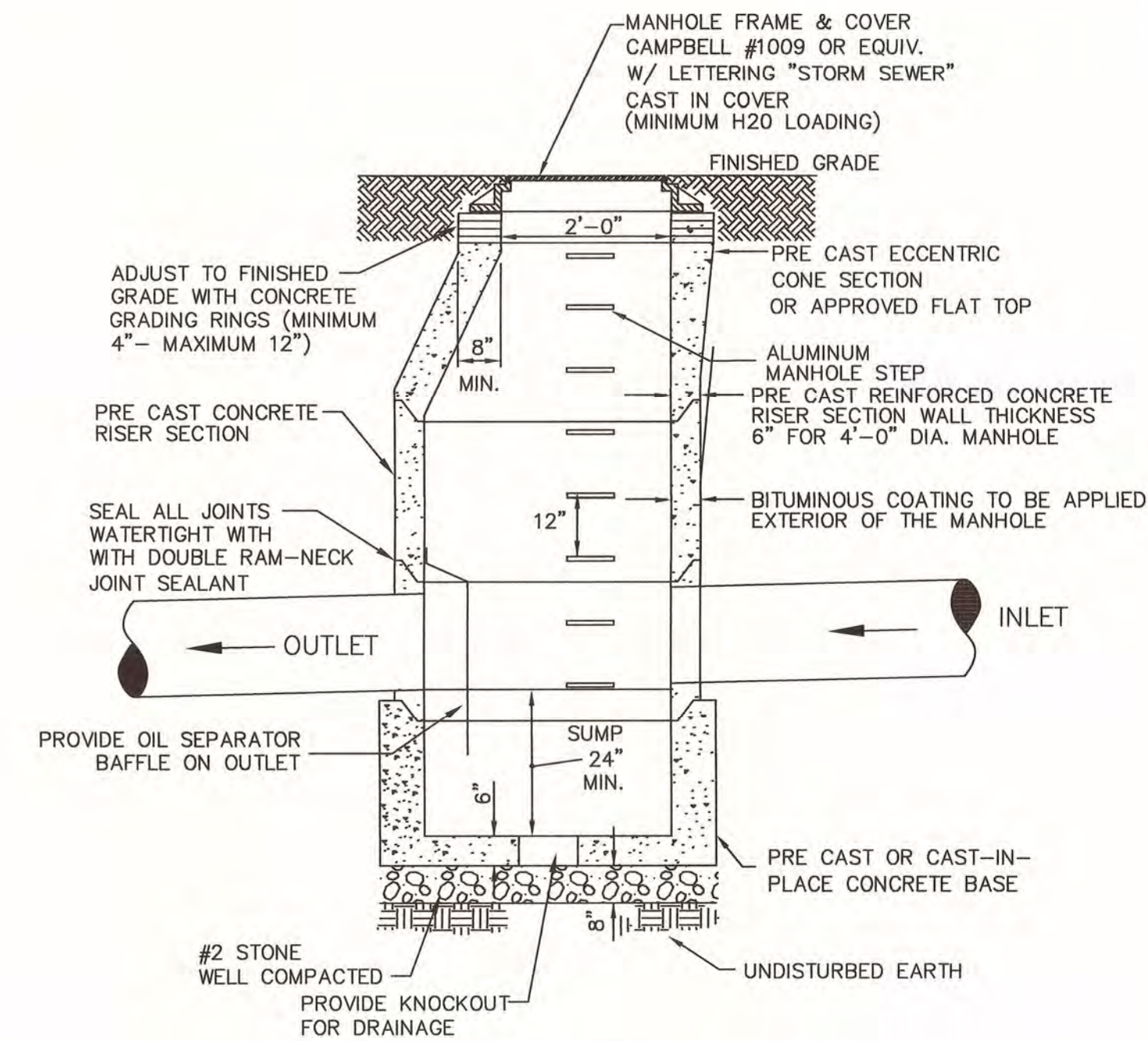
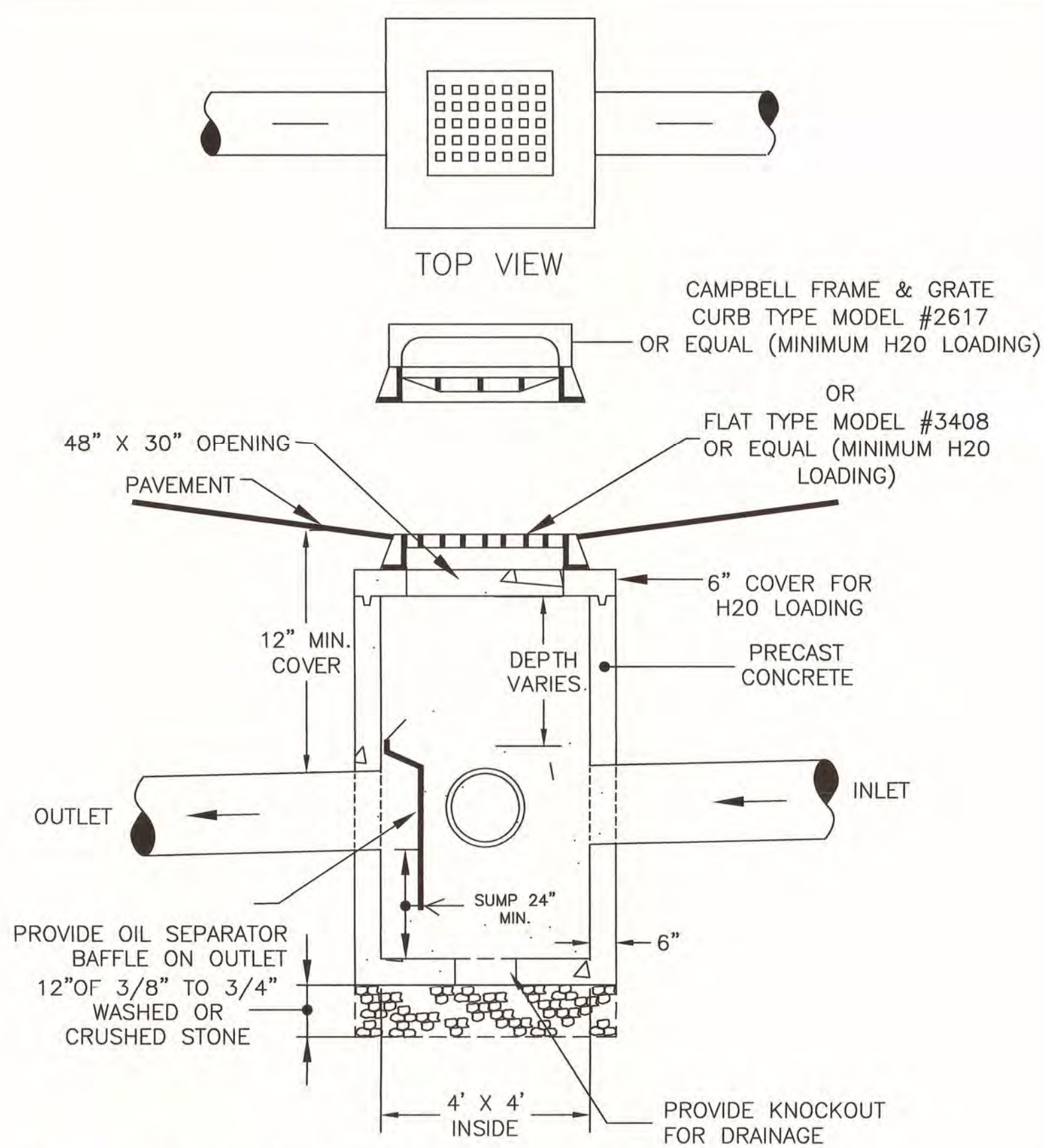
Introduction
The WDGE1 LED family is designed to meet specifiers' every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectangular design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing true site-wide solution.
WDGE1 delivers up to 2,000 lumens with a soft, non-glare light source, creating a visually comfortable environment. The compact size of WDGE1, with its integrated emergency battery backup option, makes it an ideal over-the-door wall-mounted lighting solution.

WDGE1 LED Family Overview

Model	Depth (DT)	Depth (DT)	Height	Width	Weight (each)	Light Output (lm)
WDGE1-120	3-1/2"	1-1/2"	8"	8"	9 lbs.	1,200
WDGE1-250	3-1/2"	1-1/2"	8"	8"	9 lbs.	2,500
WDGE1-500	3-1/2"	1-1/2"	8"	8"	9 lbs.	5,000
WDGE1-1000	3-1/2"	1-1/2"	8"	8"	9 lbs.	10,000
WDGE1-2000	3-1/2"	1-1/2"	8"	8"	9 lbs.	20,000
WDGE1-25000	3-1/2"	1-1/2"	8"	8"	9 lbs.	25,000

Ordering Information
EXAMPLE: WDGE1 LED P2 40K R0CH V1 MVOLT SRM PE D0BXD

3 WALL MOUNTED LIGHT DETAIL (FIXTURE C)
LITHONIA WDGE1 ARCHITECTURAL WALL MOUNTED LIGHT
MODEL: 10 WATT LED LITHONIA MODEL WDGE1 LED P2 40K R0CH V1 MVOLT SRM PE D0BXD OR V1 OR V2 OR V3 OR V4 OR V5 OR V6 OR V7 OR V8 OR V9 OR V10 OR V11 OR V12 OR V13 OR V14 OR V15 OR V16 OR V17 OR V18 OR V19 OR V20 OR V21 OR V22 OR V23 OR V24 OR V25 OR V26 OR V27 OR V28 OR V29 OR V30 OR V31 OR V32 OR V33 OR V34 OR V35 OR V36 OR V37 OR V38 OR V39 OR V40 OR V41 OR V42 OR V43 OR V44 OR V45 OR V46 OR V47 OR V48 OR V49 OR V50 OR V51 OR V52 OR V53 OR V54 OR V55 OR V56 OR V57 OR V58 OR V59 OR V60 OR V61 OR V62 OR V63 OR V64 OR V65 OR V66 OR V67 OR V68 OR V69 OR V70 OR V71 OR V72 OR V73 OR V74 OR V75 OR V76 OR V77 OR V78 OR V79 OR V80 OR V81 OR V82 OR V83 OR V84 OR V85 OR V86 OR V87 OR V88 OR V89 OR V90 OR V91 OR V92 OR V93 OR V94 OR V95 OR V96 OR V97 OR V98 OR V99 OR V100 OR V101 OR V102 OR V103 OR V104 OR V105 OR V106 OR V107 OR V108 OR V109 OR V110 OR V111 OR V112 OR V113 OR V114 OR V115 OR V116 OR V117 OR V118 OR V119 OR V120 OR V121 OR V122 OR V123 OR V124 OR V125 OR V126 OR V127 OR V128 OR 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General Utility Notes and Specifications:

General Provisions:

- All construction activities shall be in compliance with municipal, county state and federal regulations.
- The protection of adjacent properties or areas on site that are not to be disturbed during construction, shall be the responsibility of the contractor.
- Any conditions encountered in the field differing from those shown hereon, shall be reported to the design engineer before construction is to proceed.
- Exploratory excavations shall be performed as needed at all utility connection locations by the contractor to verify existing conditions prior to work. Before connecting to existing utilities, verify existing utility inverts and notify the engineer if any deviation from the plan is required.
- Where underground or overhead obstructions are encountered in the work, the contractor shall assume all costs for direct or indirect injury to them. Any valve box, valve pit, water service, water main, catch basin, manhole etc. whether or not shown on the drawings shall be protected from damage.
- The contractor shall maintain service for all existing utilities until no longer necessary.
- All trenching and shoring shall adhere to OSHA guidelines.

Excavation and Earthwork:

- Prior to site disturbance the contractor shall install required erosion & sediment control measures.
- Strip all topsoil prior to commencing earthwork operations. Topsoil may be stored and reused in lawn and planting areas only.
- Excavation shall be carried to the lines, grades and slopes shown on the approved plans. All final earthwork shall be smoothly and evenly blended into existing conditions.
- Remove all vegetation, trees, stumps, grasses, organic soils, debris and deleterious materials from excavated soils to be reused as fill onsite.
- Where unstable or unsuitable material is encountered at the prescribed bottom grade of the trenches it shall be removed.
- Contractor shall be responsible for dewatering utility trenches and excavations and for the maintenance of surface drainage during the course of the work.
- After final grading the contractor shall reapply stockpiled top soil on all lawn and planting areas. Topsoil shall be evenly spread a minimum of 4 (four) inches over all planting areas seeded and mulched in lawn areas or planted as per landscaping plan in planting beds. The contractor shall restore lawns, driveways and other disturbed areas to at least as good a condition as before being disturbed.

Utility Bedding and Backfill:

- Selected bedding (as specified on the utility typical trench sections heron) shall be provided for the construction of pipe foundations at those locations where the foundations or excavated material, or any portion thereof deemed to be unsuitable for supporting the pipe or structure, or for back filling the cover portion of the trenches to a level one foot above the pipe, or where excavated material consist of a predominance of large stone, boulders or rock which is not suitable for placing in the trench. Certified sieve analysis shall be submitted from the supplier for the engineer's review prior to use.
- All suitable back fill material shall be placed in layers not exceeding twelve (12) inches in depth, (loose measure), and shall be thoroughly tamped and compacted to a minimum density of 95% standard AASHTO-T99 (ASTM-D698, as amended) compacting test. Compacting equipment shall be of a suitable type for the various back filling operations.

Drainage:

- All storm sewer pipe shall be smooth interior HDPE pipe unless noted otherwise.
- HDPE end sections shall be provided on all drainage pipe inlets or outlets not connected to catch basins or other drainage structures. All outlets shall also be stabilized with rip-rap as per plans.
- All concrete chambers shall be pre cast concrete to the specifications and dimensions shown hereon. Frames and grates shall be gray iron or ductile iron. Gray iron shall conform with ASTM A 48, Class 30b and ductile iron shall conform with ASTM A 536 and be of a grade appropriate to its intended use to the dimensions and specifications as shown hereon. Any structures subject to vehicle loads shall be able to withstand an H20 loading. Shop drawings shall be submitted to the design engineer for approval prior to construction.
- The gutters and ditches shall be kept open at all times for surface drainage. No damming or ponding of water, in gutters or other waterways will be permitted except where the engineer shall consider it necessary.
- The transport of soils to the drainage system shall be avoided during and after construction.
- All exposed soils shall be stabilized with vegetation, stone or as directed by the engineer.
- Methods used to control soil erosion and sediment control shall be in accordance with the approved soil erosion and sediment control plan or as directed by the engineer. Contractor is responsible for conducting daily stormwater inspections.

MAP REVISION DATES		
DATE	REVISION	BY

DRAINAGE DETAILS PROPOSED MIXED USE BUILDING

8 RETAIL SPACES (10,520 SF) WITH 4 APARTMENTS
ABOVE EACH RETAIL SPACE FOR A TOTAL
OF 32 ONE BEDROOM APARTMENTS
FOR

39 MAIN STREET MILTON LLC
TOWN OF MARLBOROUGH
ULSTER COUNTY ~ NEW YORK



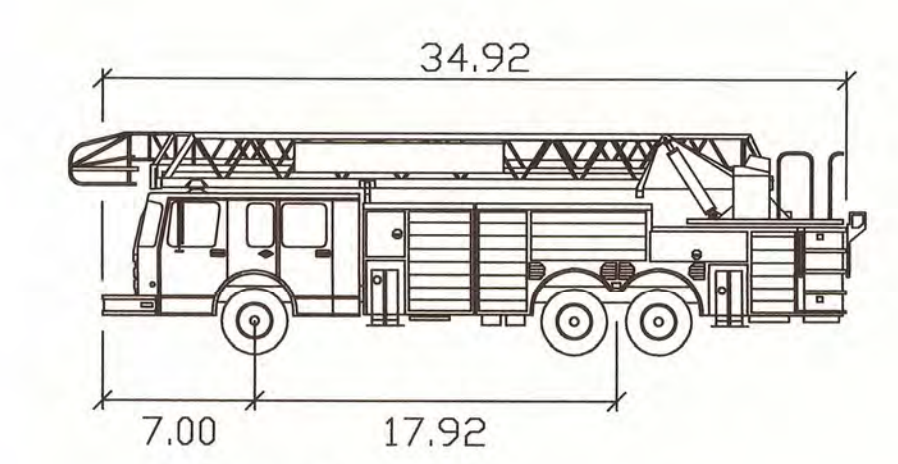
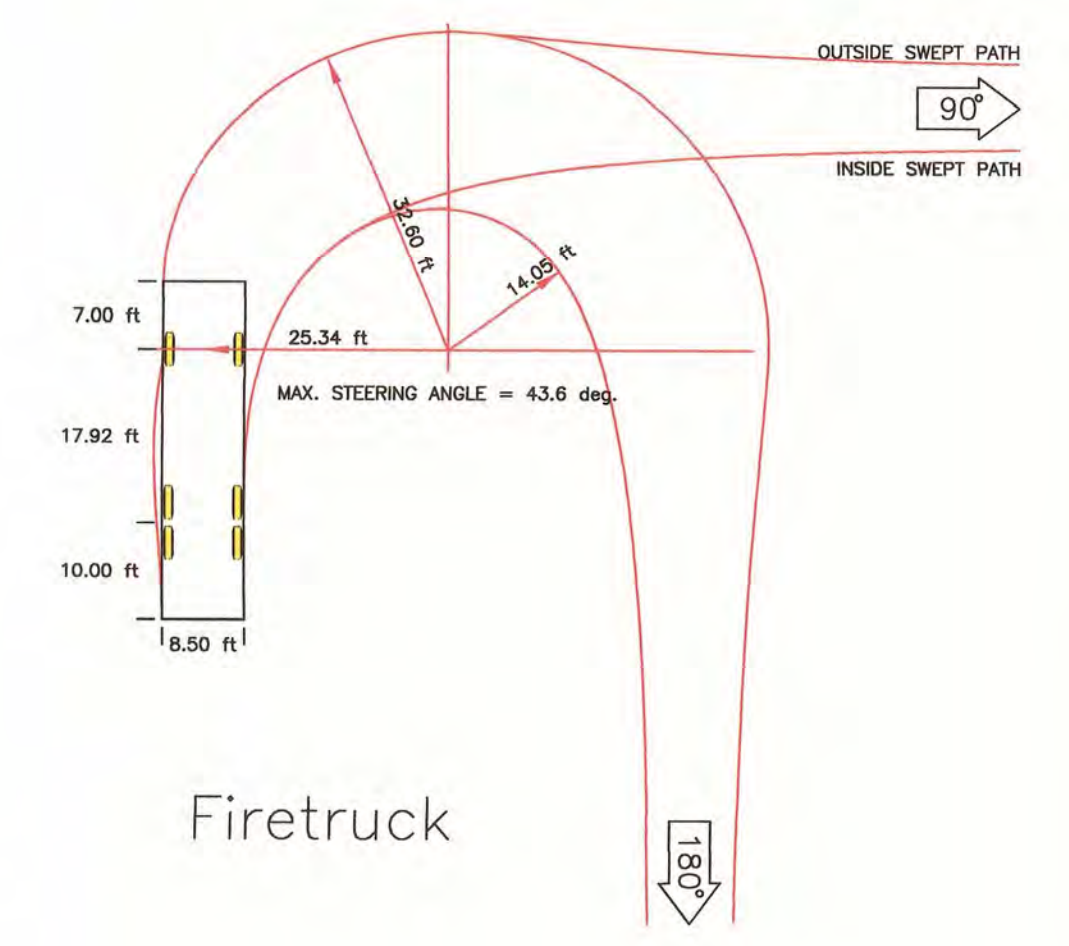
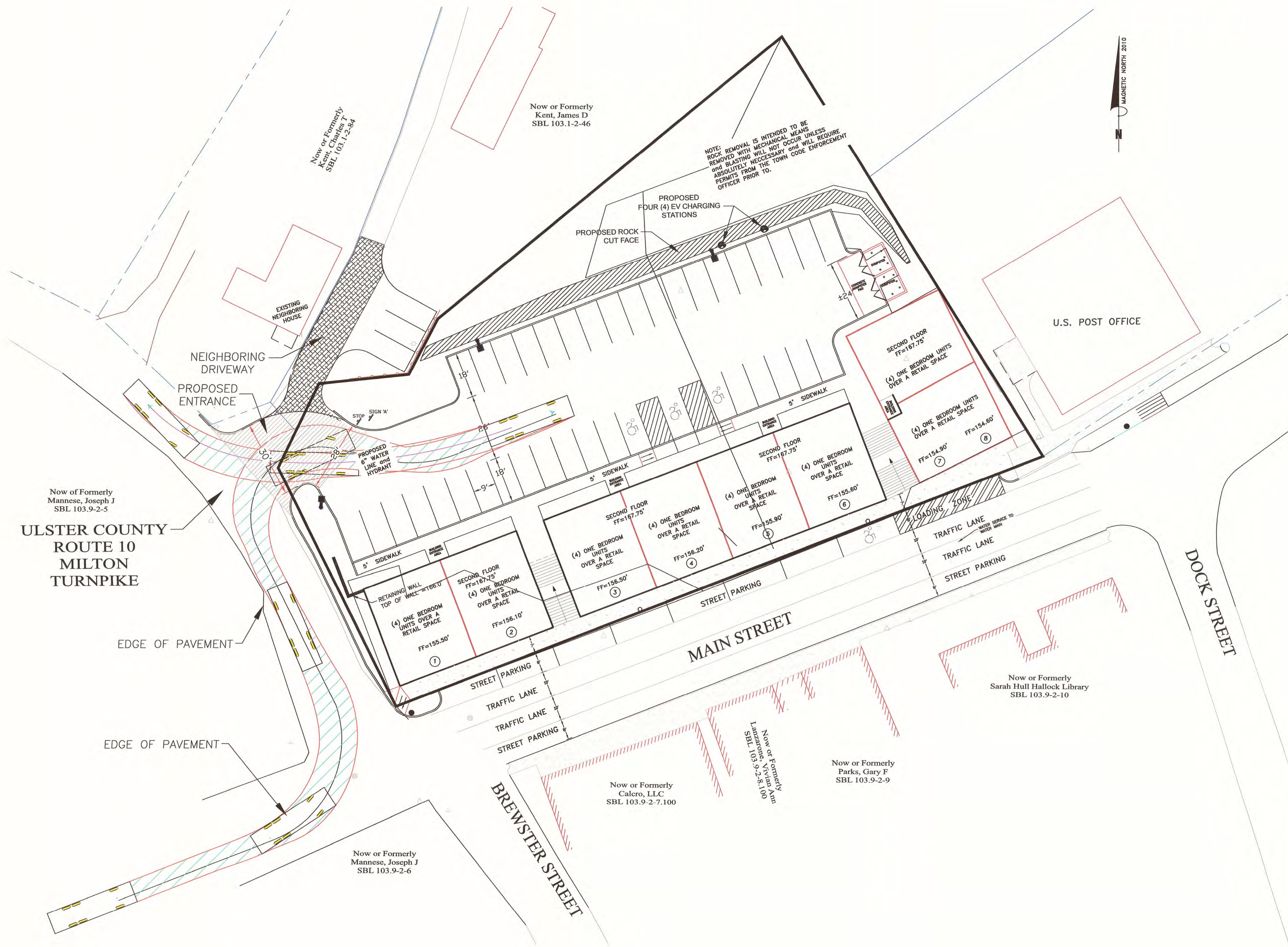
August 12, 2021

MEDENBACH & EGGERS
CIVIL ENGINEERING & LAND SURVEYING, P.C.
STONE RIDGE, NEW YORK (845) 687-0047

Barry Medenbach
BARRY MEDENBACH, P.E.
NEW YORK LIC. NO. 60142

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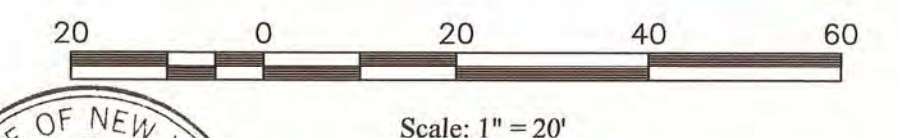
Any unauthorized alteration or addition to this plan is a violation of Sect. 7209, Subdivision 2 of N.Y.S. Education Law.



Firetruck	feet
Width	: 8.50
Track	: 8.00
Lock to Lock Time	: 6.00
Steering Angle	: 45.00

MAP REVISION DATES		
DATE	REVISION	BY

FIRETRUCK MOVEMENT
FOR
PROPOSED MIXED USE BUILDING
8 RETAIL SPACES (10,520 SF) WITH 4 APARTMENTS
ABOVE EACH RETAIL SPACE FOR A TOTAL
OF 32 ONE BEDROOM APARTMENTS
FOR
39 MAIN STREET MILTON LLC
TOWN OF MARLBOROUGH
ULSTER COUNTY ~ NEW YORK



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