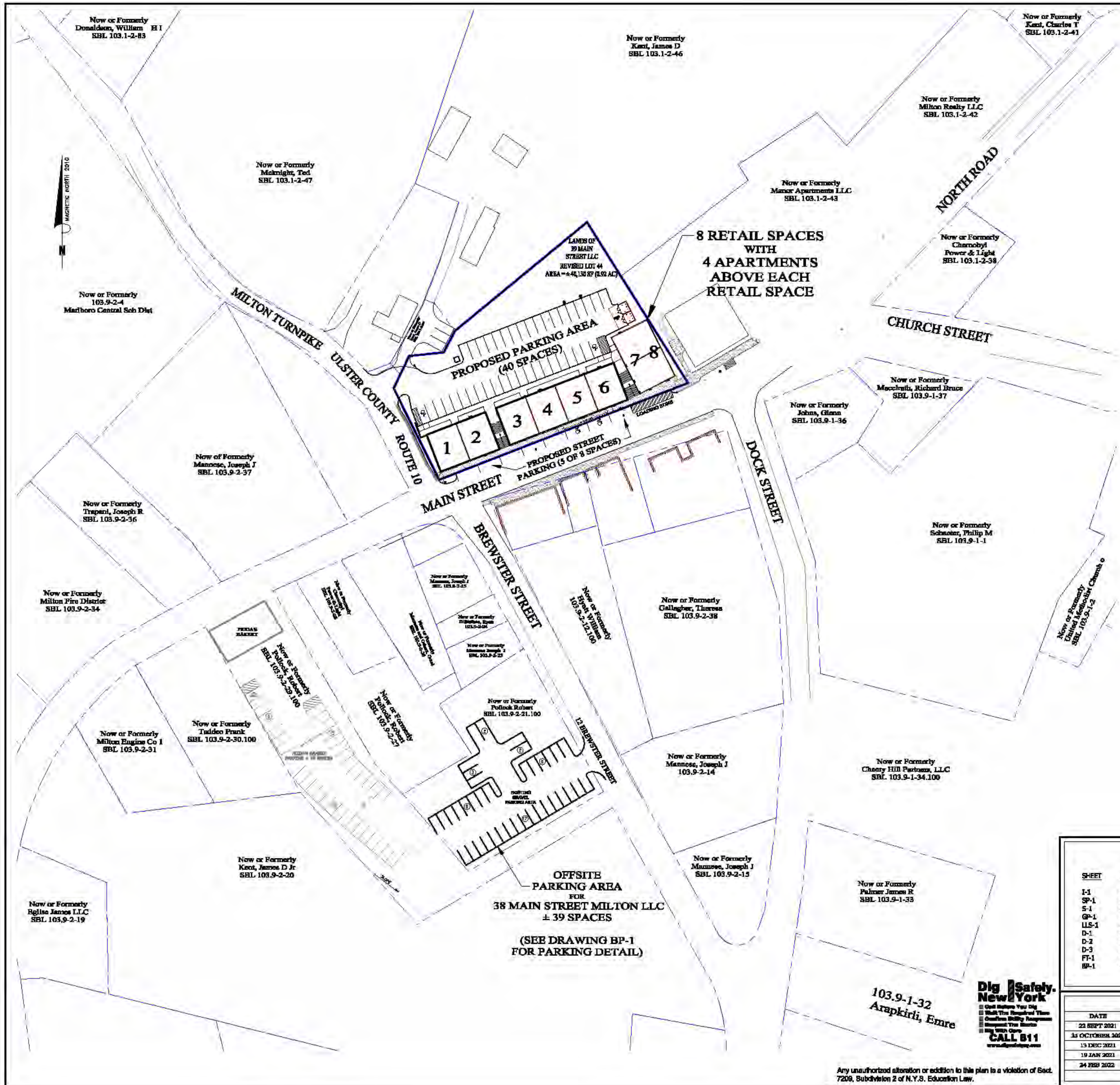




LOCATION MAP: Town of Marlborough Tax Map, Section 103.1
SCALE: 1" = 200'

ZONING REQUIREMENTS

FOR C-1 ZONE		
	REQUIRED	PROVIDED
MINIMUM LOT AREA	3000 SQ. FT. (w/ PUBLIC WAY)	±40,100 SQ. FT.
MINIMUM YARD SETBACKS		
FRONT	5 FT.	7 FT.
SIDE	0 FT.	0 FT.
REAR	20 FT.	87 FT.
MAXIMUM BUILDING HEIGHT	35 FT.	32 FT.
MAXIMUM BUILDING COVERAGE	75%	±25.0%
PARKING REQUIREMENTS		
COMMERCIAL		
(1 SPACE PER 300 SQ. FT.)		
STREET LEVEL - 10,520 SQ. FT.	35 SPACES	5 SPACES
RESIDENTIAL		
(1.5 SPACE PER DWELLING UNIT)		
SECOND FLOOR - 16 DWELLING UNITS	24 SPACES	39 SPACES
THIRD FLOOR - 16 DWELLING UNITS	24 SPACES	39 SPACES
83 TOTAL *		44 TOTAL
*OFFSITE PARKING PROVIDED ON 12 BREWSTER STREET = 39 SPACES		
83 TOTAL		83 TOTAL
HANDICAPPED SPACES (4%) (INCLUDED IN TOTAL)	4 SPACES	4 SPACES
DENSITY		
PROPOSED: 8 RETAIL X 4 APARTMENTS = 32 UNITS (APARTMENTS)		
TOTAL AREA REQUIRED: 40,000 SQ. FT.		

APPROVED BY THE TOWN OF MARLBOROUGH PLANNING BOARD

DATE _____

CHAIRMAN _____

MEMBER _____

OWNERS ENDORSEMENT

I HEREBY GRANT MY APPROVAL TO THIS PLAN AND THE PLANS SHOWN HEREON.

OWNER: _____ DATED: _____

OWNER: _____ DATED: _____

OWNER / DEVELOPER

39 Main Street Milton LLC
96 South Elliot Place
Brooklyn, NY 11217

TAX MAP ID#

103.1-2-44
103.1-2-45

LOT AREA

Total Area = 40,130 SF

SHEET INDEX

SHEET	TITLE
I-1	INDEX
SP-1	SITE PLAN
S-1	SURVEY MAP
GP-1	GRADING AND UTILITIES PLAN
LLS-1	LIGHTING AND LANDSCAPING PLAN
D-1	SITE DETAILS
D-2	SITE DETAILS
D-3	DRAINAGE DETAILS
FT-1	FIRETRUCK MOVEMENT
BP-1	12 BREWSTER PARKING

SHEET 1 OF 10
SHEET 2 OF 10
SHEET 3 OF 10
SHEET 4 OF 10
SHEET 5 OF 10
SHEET 6 OF 10
SHEET 7 OF 10
SHEET 8 OF 10
SHEET 9 OF 10
SHEET 10 OF 10

MAP REVISION DATES

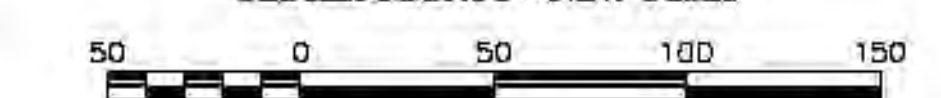
DATE	REVISION	BY
22 SEPT 2021	REVISED AS PER P.B. MEETING OF 20 SEPT 2021	TYPE
25 OCTOBER 2021	ADDED FIRETRUCK MOVEMENT SHEET	CC
13 DEC 2021	REVISED AS PER P.B. MEETING OF 06 DEC 2021	TYPE
19 JAN 2022	REVISED AS PER P.B. MEETING OF 17 JAN 2022	TYPE
24 FEB 2022	REVISED AS PER P.B. MEETING OF 07 FEB 2022	TYPE

INDEX SHEET

PROPOSED MIXED USE BUILDING
8 RETAIL SPACES (10,520 SF) WITH 4 APARTMENTS
ABOVE EACH RETAIL SPACE FOR A TOTAL
OF 32 ONE BEDROOM APARTMENTS

FOR
39 MAIN STREET MILTON LLC

TOWN OF MARLBOROUGH
ULSTER COUNTY - NEW YORK



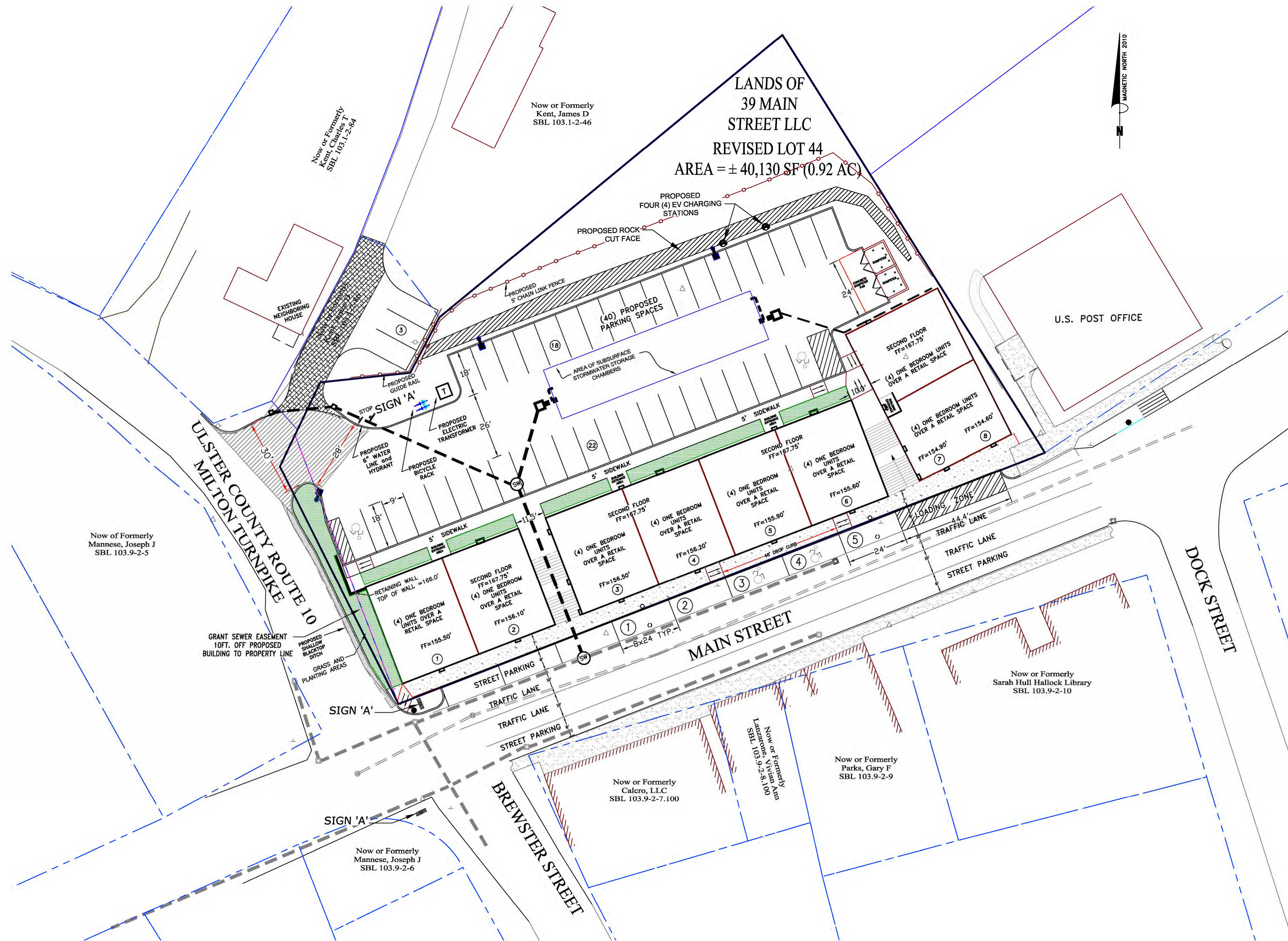
Scale: 1" = 50'
August 12, 2021

MEDENBACH & EGGERS
CIVIL ENGINEERING & LAND SURVEYING, P.C.
STONE RIDGE, NEW YORK (607) 687-0047

BARRY MEDENBACH, P.E.
NEW YORK LIC. NO. 60142

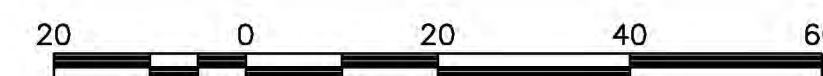
E-1
1 OF 10
B16 065

Any unauthorized alteration or addition to this plan is a violation of Sect.
7209, Subdivision 2 of N.Y.S. Education Law.



MAP REVISION DATES		
DATE	REVISION	BY
25 OCTOBER 2021	REVISED DRIVEWAY ENTRANCE	CC
13 DEC 2021	REVISED AS PER P.B. MEETING OF 06 DEC 2021	TPFK
19 JAN 2021	REVISED AS PER P.B. MEETING OF 17 JAN 2021	TPFK
24 FEB 2022	REVISED AS PER P.B. MEETING OF 07 FEB 2022	TPFK

PROPOSED SITE PLAN
FOR
PROPOSED MIXED USE BUILDING
8 RETAIL SPACES (10,520 SF) WITH 4 APARTMENTS
ABOVE EACH RETAIL SPACE FOR A TOTAL
OF 32 ONE BEDROOM APARTMENTS
FOR
39 MAIN STREET MILTON LLC
TOWN OF MARLBOROUGH
ULSTER COUNTY ~ NEW YORK



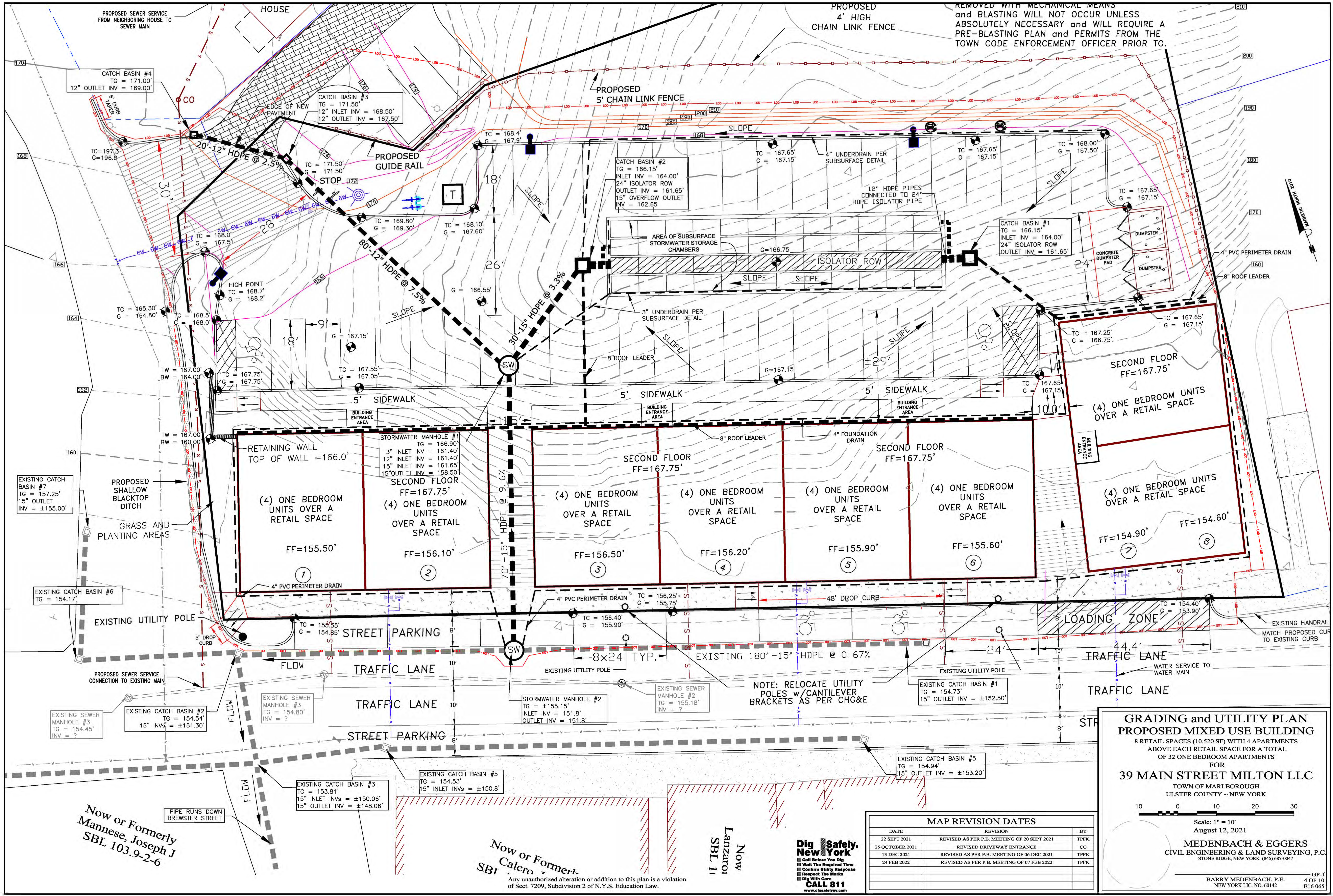
Scale: 1" = 20'
August 12, 2021

MEDENBACH & EGGERS
CIVIL ENGINEERING & LAND SURVEYING, P.C.
STONE RIDGE, NEW YORK (845) 687-0047

Dig Safely.
New York
Call Before You Dig
Wait The Required Time
Confirm Utility Response
Respect The Marks
Dig With Care
CALL 811
www.digsafelyny.com

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of Sect. 7209, Subdivision 2 of N.Y.S. Education Law.

BARRY MEDENBACH, P.E.
NEW YORK LIC. NO. 60142
SP-1
2 OF 10
E16 065



Now or Formerly
Mannese, Joseph J
SBL 103.9-2-6

Now or Formerly
Calcro
SBL 103.9-2-6

Now
Lanzaro
SBL 103.9-2-6

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22 SEPT 2021	REVISED AS PER P.B. MEETING OF 20 SEPT 2021	TPFK
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13 DEC 2021	REVISED AS PER P.B. MEETING OF 06 DEC 2021	TPFK
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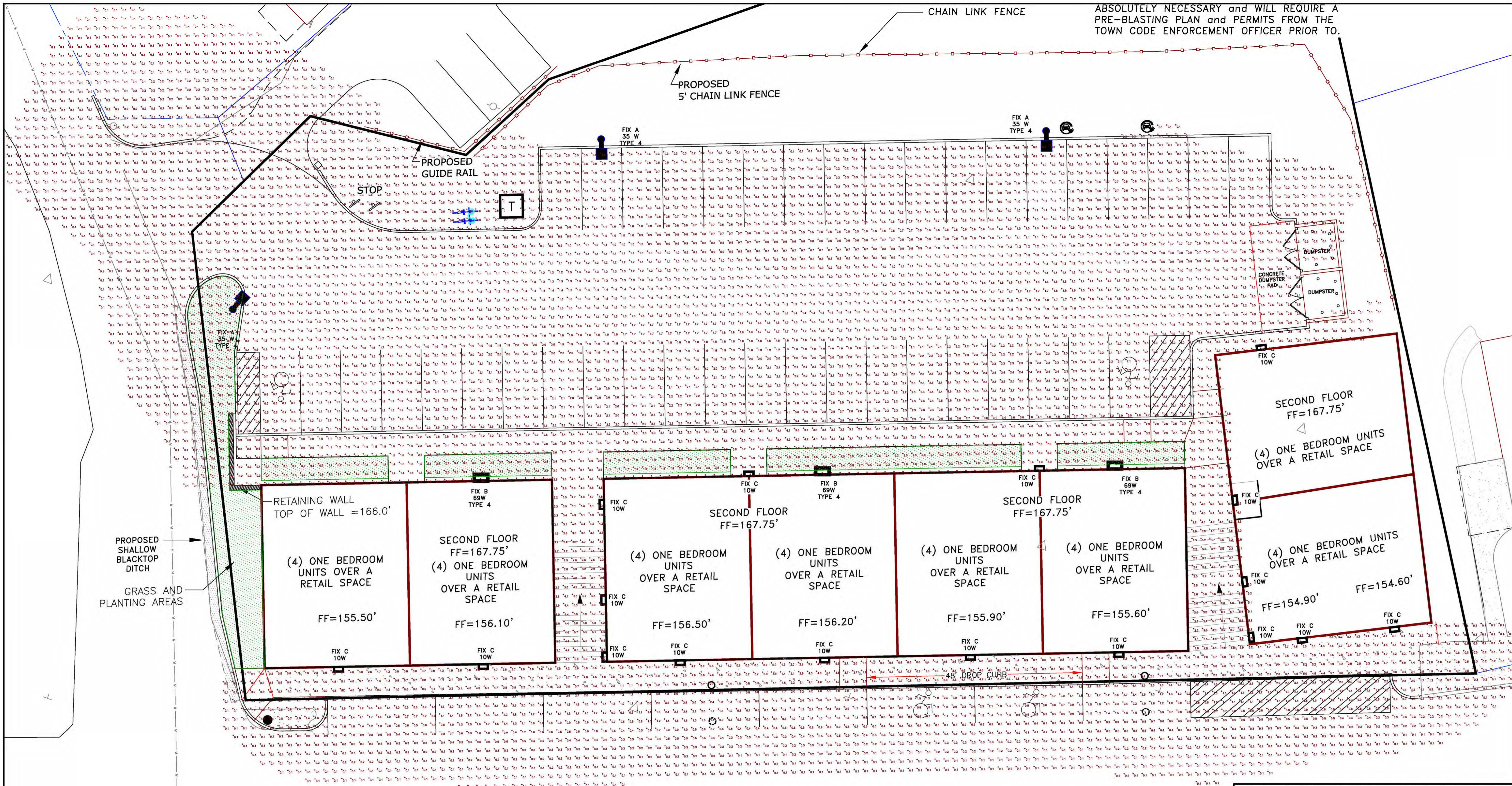
GRADING and UTILITY PLAN
PROPOSED MIXED USE BUILDING
8 RETAIL SPACES (10,520 SF) WITH 4 APARTMENTS
ABOVE EACH RETAIL SPACE FOR A TOTAL
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39 MAIN STREET MILTON LLC
TOWN OF MARLBOROUGH
ULSTER COUNTY - NEW YORK

Scale: 1" = 10'
August 12, 2021

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BARRY MEDEMBACH, P.E.
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GP-1
4 OF 10
E16.065



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MAP REVISION DATES			
DATE	REVISION		BY
25 OCTOBER 2021	REVISED DRIVEWAY ENTRANCE		CC

LIGHTING LEGEND				
FIXTURE	Wattage (TYPE)	DENOTED BY	HEIGHT PLACEMENT	QYT.
A	35W (LED)		20'	3
B	69W (LED)		18'	3
C	10 W (LED)		±10'	17

NOTES:

1. REFERENCE ARCHITECTURAL DRAWINGS FOR ALL LIGHTS ATTACHED TO THE BUILDING.
2. ALL OUTSIDE LIGHTING IS TO BE FULLY SHIELDED DOWNLIGHTING.
3. SEE LIGHTING DETAILS ON DETAIL SHEETS.

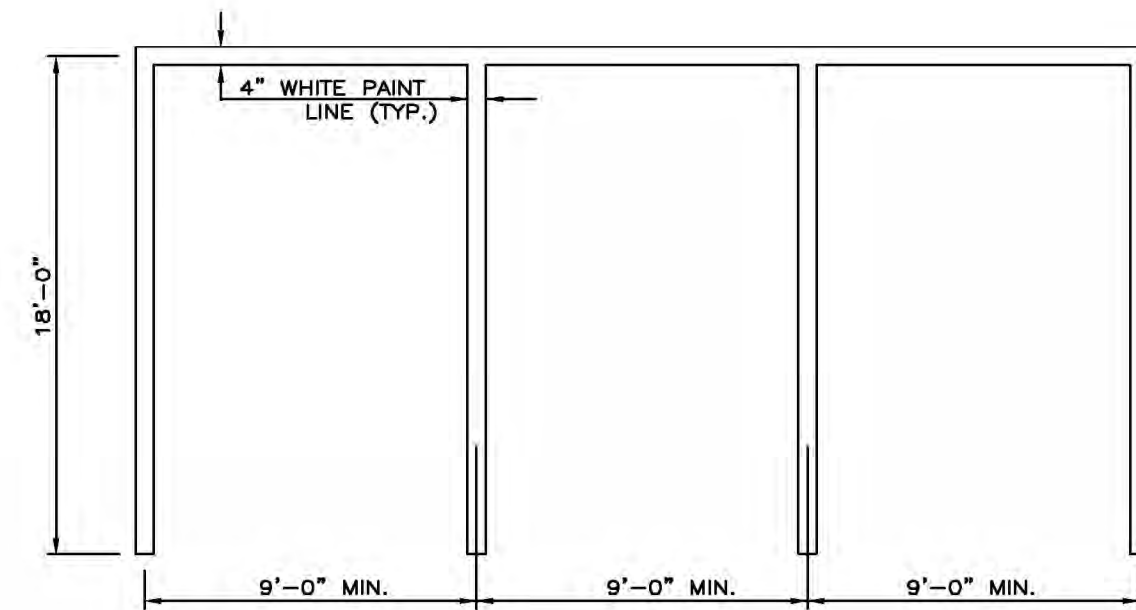
LIGHTING & LANDSCAPING PLAN
PROPOSED MIXED USE BUILDING
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ULSTER COUNTY ~ NEW YORK

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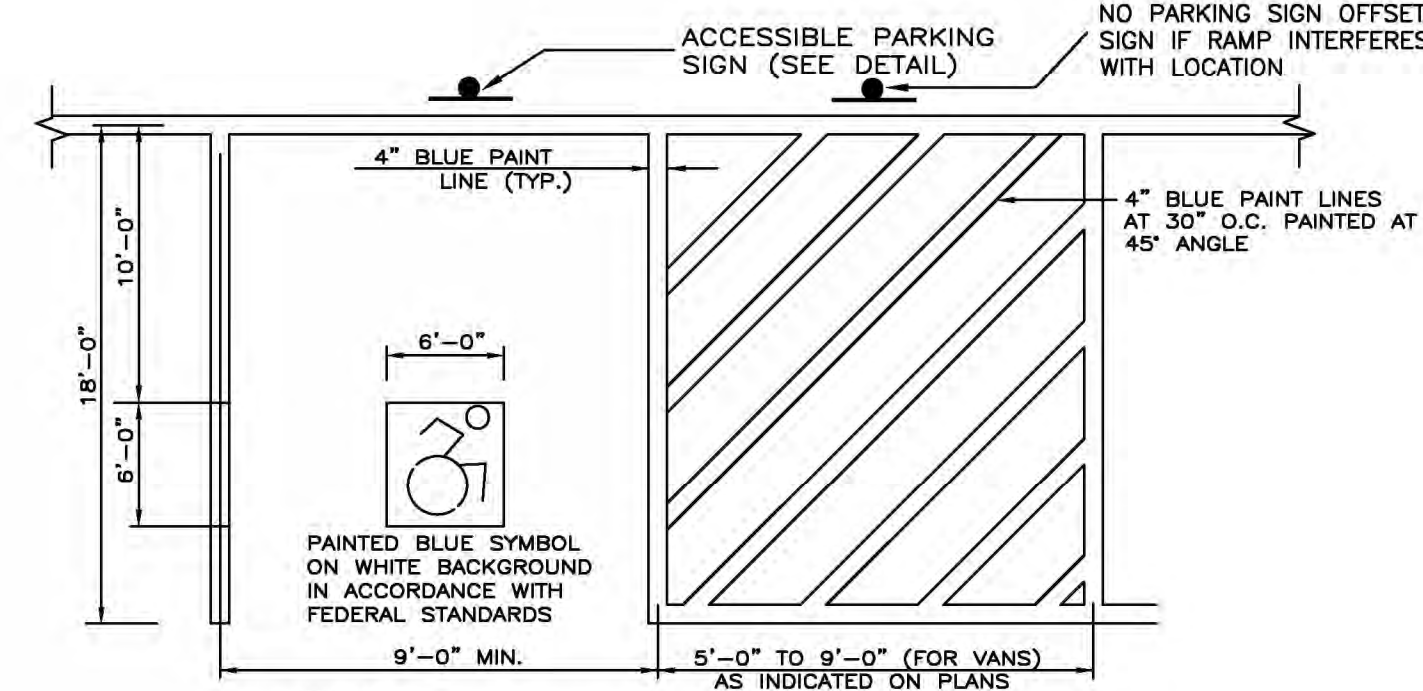
LLS-1
OF 10
E16 065



- NOTES:
1. SEE SITE PLAN FOR SPACE LOCATION.
 2. APPLY TWO COATS OF PAINT ON ALL SURFACES.

1 TYPICAL PARKING SPACE DETAIL

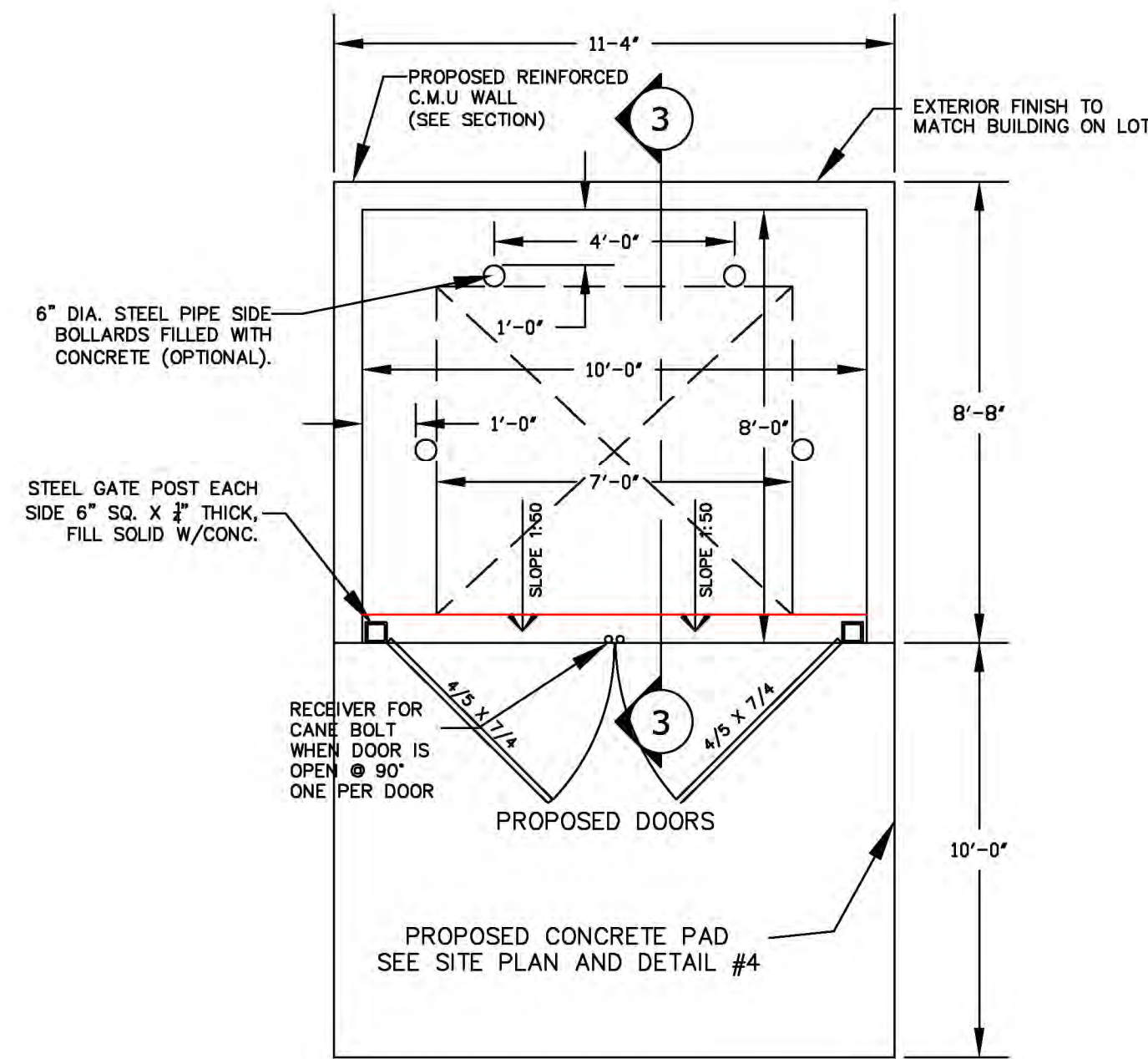
NOT TO SCALE



- NOTES:
1. SEE SITE PLAN FOR ACCESSIBLE SPACE LOCATION AND DIMENSIONS.
 2. APPLY TWO COATS OF PAINT ON ALL SURFACES.
 3. ACCESSIBLE SYMBOL PER NEW YORK STATE.

2 ACCESSIBLE PARKING SPACE DETAIL

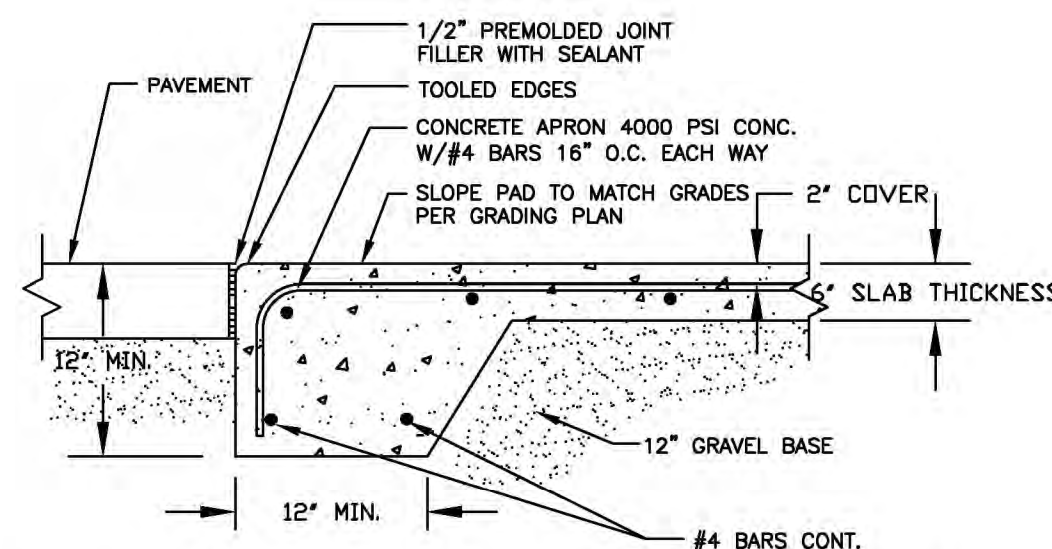
NOT TO SCALE



VERIFY DRAINAGE REQUIREMENTS WITH HEALTH INSPECTOR

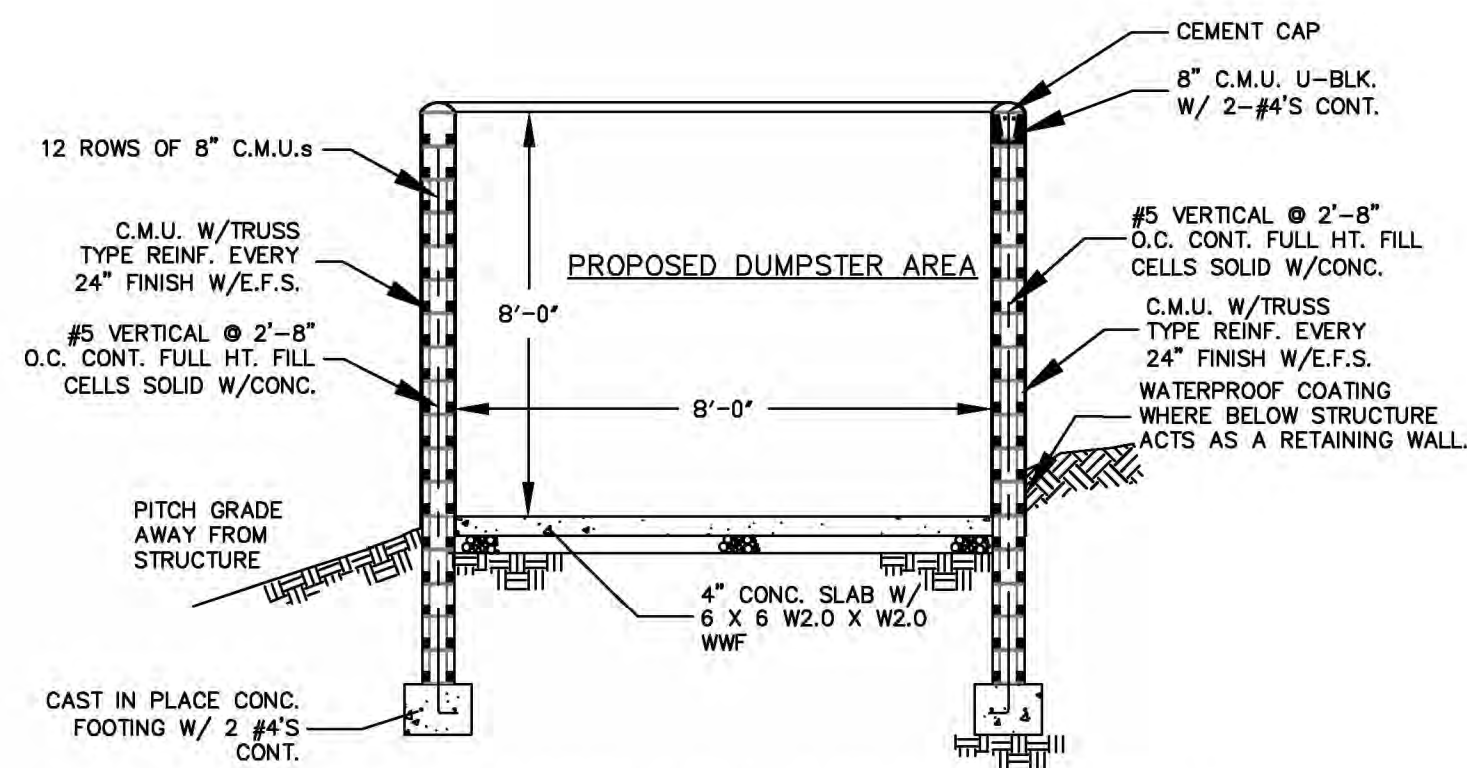
3 DUMPSTER RECEPTACLE SCREEN PLAN

SCALE: NOT TO SCALE



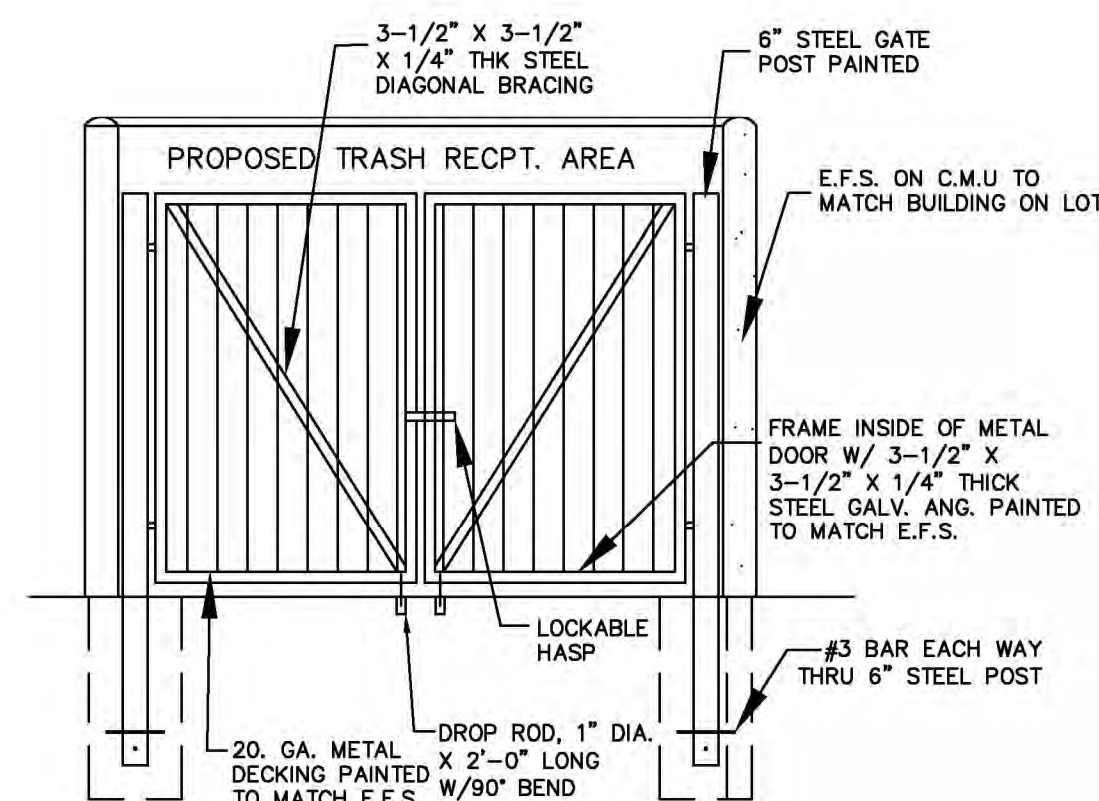
5 DUMPSTER CONCRETE PAD DETAIL

NOT TO SCALE



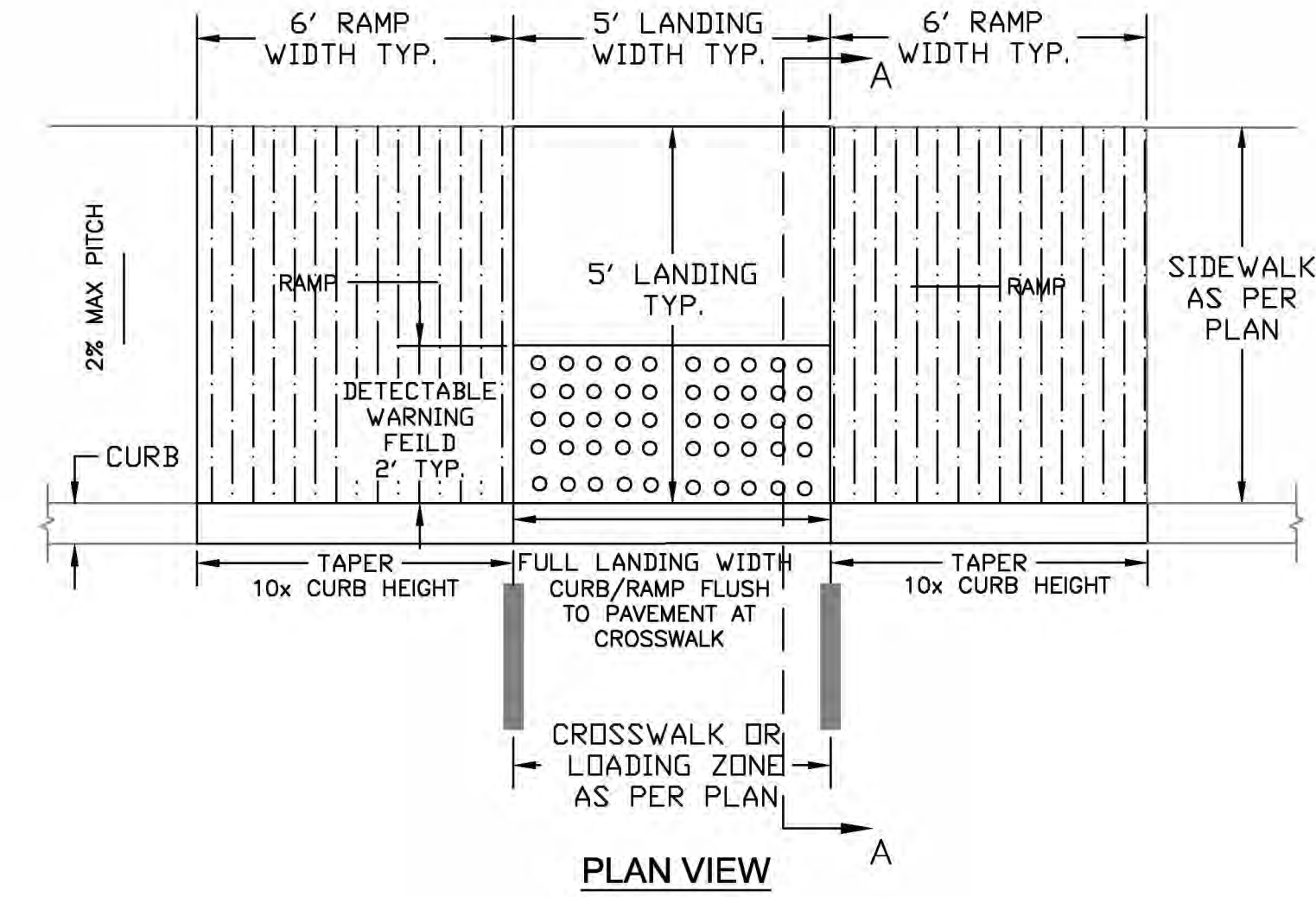
4 DUMPSTER RECEPTACLE SCREEN SECTION

SCALE: NOT TO SCALE

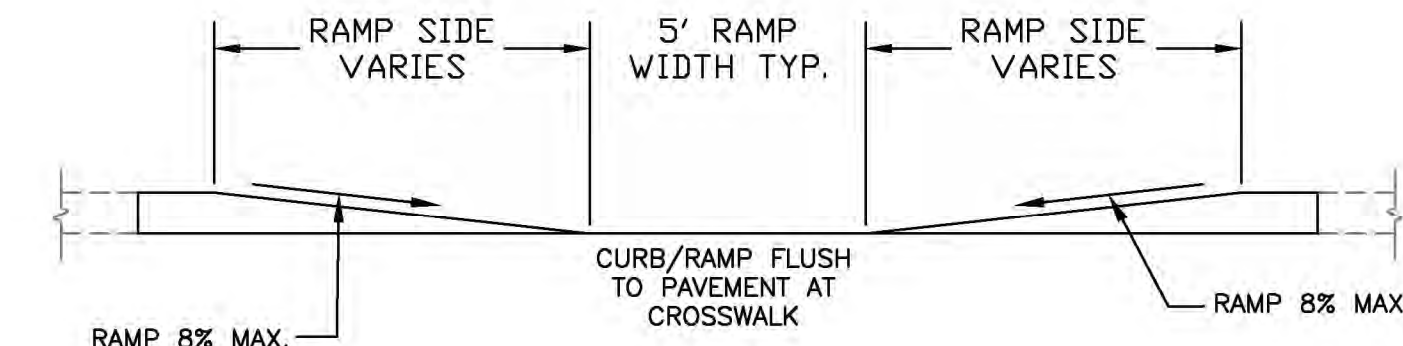


6 DUMPSTER RECEPTACLE SCREEN ELEVATION

SCALE: NOT TO SCALE



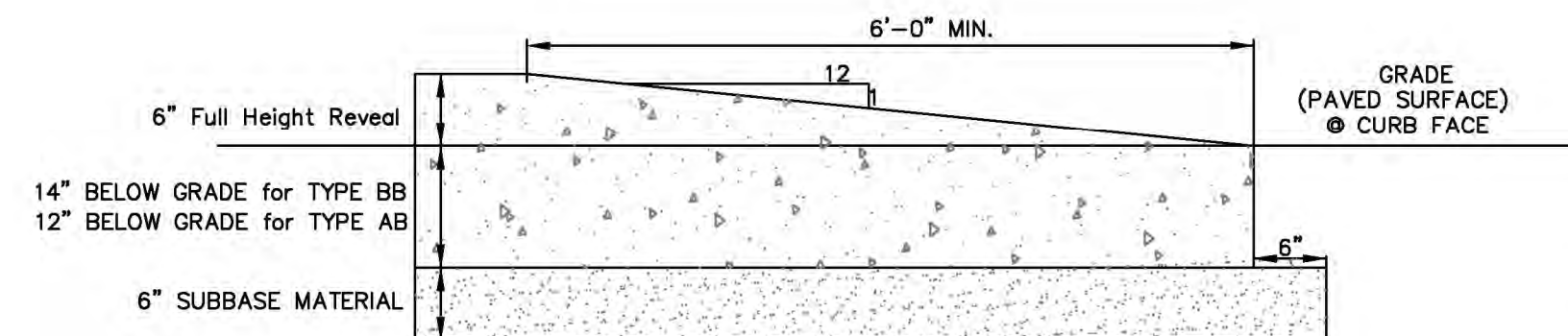
PLAN VIEW



ELEVATION VIEW

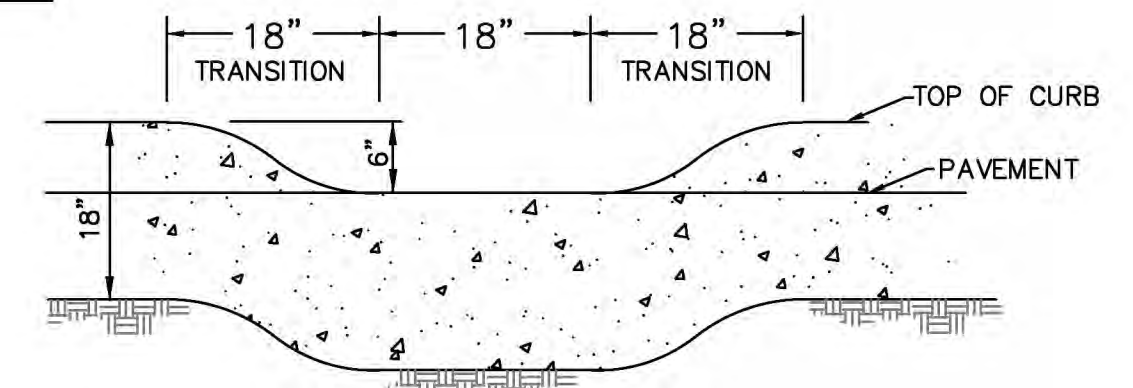
7 DEPRESSED RAMP/DETECTABLE WARNING DETAIL

NOT TO SCALE



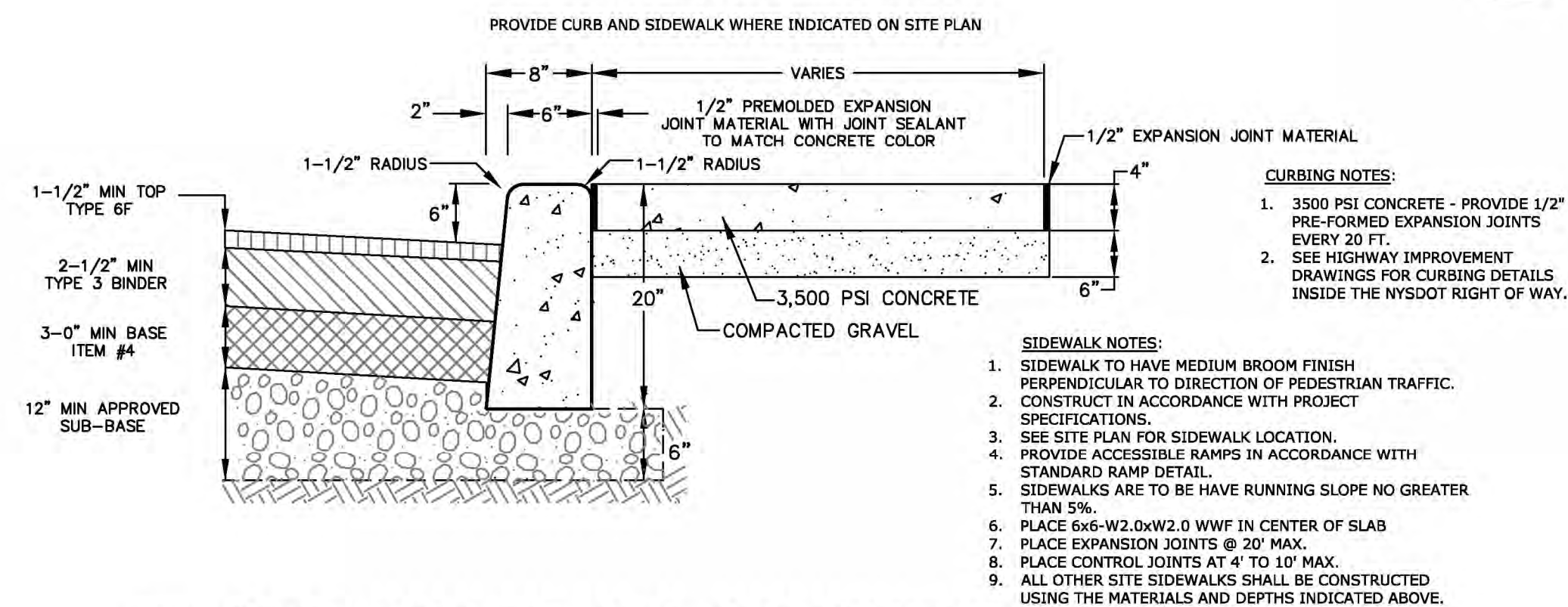
8 CURB TERMINAL: SECTION VIEW

NOT TO SCALE



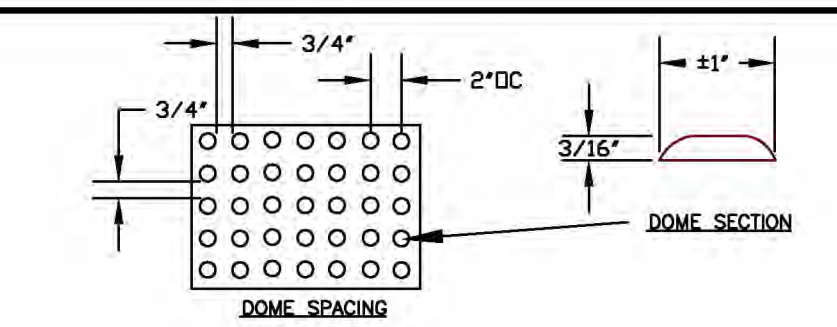
9 TYPICAL DROP CURB DETAIL

NOT TO SCALE

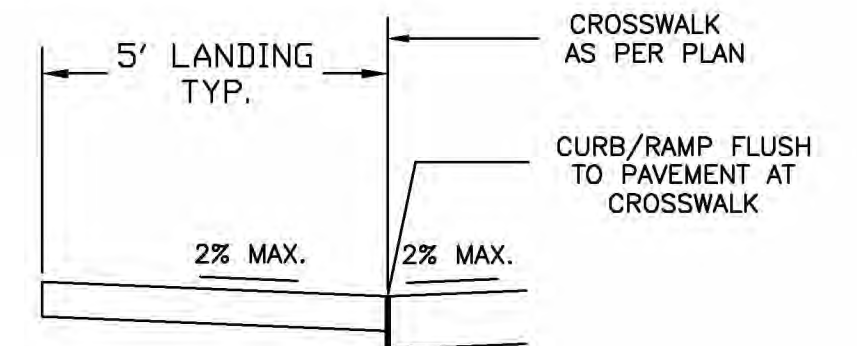


10 SITE PAVEMENT & CONCRETE CURB DETAIL

NOT TO SCALE



DETECTABLE WARNING FIELD DETAIL



SECTION A-A

Curb Ramp Notes:

1. A curb ramp is defined as the entire concrete surface which includes the ramp & flared sides. The minimum 5' wide center portion, including the detectable surface, shall have a sloped plane of 8.33% (1:12) maximum, and cross slope, not to exceed 2%. The "flared side" of the ramp shall lie on a slope of 10% (1:10) maximum measured along the curb. The curb ramp shall have a surface tolerance of 1/4" per 10 foot straight edge maximum.
2. The ramp center line and path of travel should be parallel to the sidewalk whenever possible. The full width of the ramp shall lie within the crosswalk area. It is desirable that the location of the ramp be as close as possible to the center of the crosswalk.
3. Existing utility boxes and covers shall be adjusted flush with the curb ramp surface and shall not straddle any change in plane or material. Existing utility box frames and covers shall have matching surface finish on the entire frame and cover. New utility boxes shall not be placed within the detectable border.
4. The surface of the curb ramp and detectable surface material shall be stable, firm and slip resistant. Detectable warning fields shall visually contrast with adjoining surfaces either light on dark or dark on light. The concrete curb ramp surface shall be broom finished transverse to the axis of the ramp and shall be slightly rougher than the finish of the adjacent sidewalk surface.
5. A level landing 5'-0" deep, with a 2% maximum slope in each direction shall be provided at the upper end of each curb ramp to allow safe egress from the ramp surfaces. The width of the level landing shall be at least as wide as the width of the ramp.
6. Seal all joints on sidewalk and ramps. Maximum width of expansion joint is 1/2"

MAP REVISION DATES

DATE	REVISION	BY

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FOR
39 MAIN STREET MILTON LLC
TOWN OF MARLBOROUGH
ULSTER COUNTY ~ NEW YORK

August 12, 2021

MEDENBACH & EGGERS
CIVIL ENGINEERING & LAND SURVEYING, P.C.
STONE RIDGE, NEW YORK (845) 687-0047

BARRY MEDENBACH, P.E.
NEW YORK LIC. NO. 60142

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E16 065

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KAD LED
LED Area Luminaire



Specifications

EPA: 1.2 ft

Length: 17.52"

Width: 7.52"

Height: 7.52"

Weight: 36 lbs

Ordering Information

EXAMPLE: KAD LED 40C 1000 40K R5 MVOLT SPD04 D08XD

Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency.
- This luminaire is A+ Certified when ordered with DTL controls marked by a [DTL Certified](#) logo.
- DTL equipped luminaires meet the A+ specification for luminaire-to-photocell interoperability.
- This luminaire is part of an A+ Certified solution for ROAM2 or XPower™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a [DTL](#) logo.

To learn more about A+, visit [www.acuitybrands.com/capable](#).

1. See ordering tree for details.
2. An A+ Certified Solution for ROAM require the order of one ROAM node per luminaire. Sold Separately. [Link to Brochure Link to DTL DLS](#)



CSXW LED
LED Wall Luminaire



Specifications

Height: 11.52"

Width: 16.52"

Depth: 6.52"

Weight: 28 lbs

Ordering Information

EXAMPLE: CSXW LED 30C 700 40K T3M MVOLT D08XD

Introduction

The Contour® Series luminaires offer traditional square fixtures with softened edges for a versatile look that complements many applications. The CSXW LED combines the latest in LED technology with the familiar aesthetic of the Contour® Series for stylish, high-performance illumination that lasts. It is ideal for replacing 100-400W metal halide in wall-mounted applications with typical energy savings of 60% and expected service life of over 100,000 hours.



WDGE1 LED
Architectural Wall Sconce



Specifications

Depth (H): 3.5"

Depth (D): 1.5"

Height: 8"

Width: 9"

Weight: 9 lbs

Ordering Information

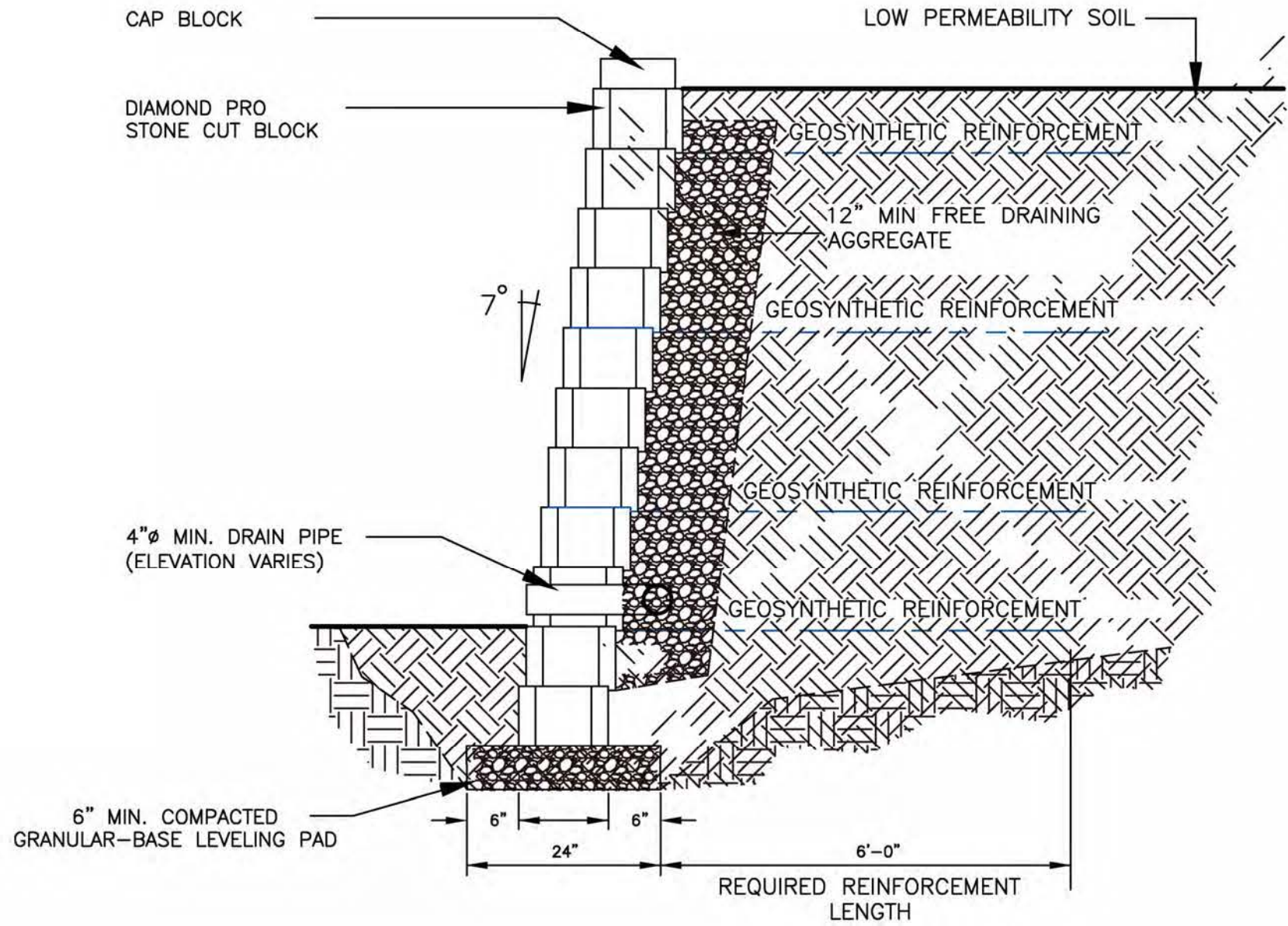
EXAMPLE: WDGE1 LED P2 40K R0CH V6 MVOLT SRM FE D08XD

Introduction

The WDGE1 LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectangular design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing true site-wide solutions. WDGE1 delivers up to 2,000 lumens with a soft, non-glared light source, creating a really comfortable environment. The compact size of WDGE1, with its integrated emergency battery backup option, makes it an ideal over-the-door wall-mounted lighting solution.

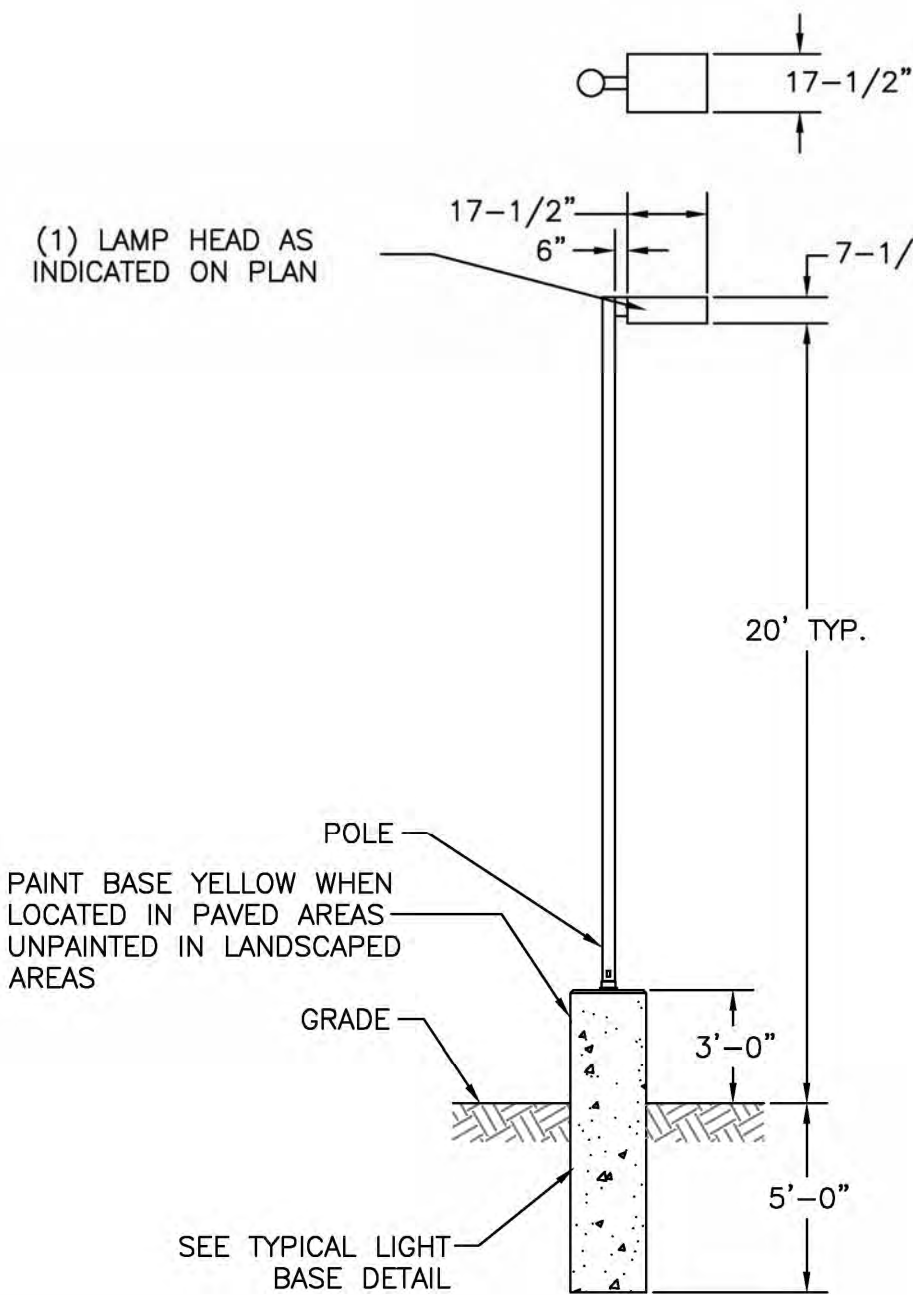
WDGE1 LED Family Overview

Model	Series/Size	Color	1A	1B	2A	2B	3A	3B
WDGE1 LED	40	—	1,200	2,000	—	—	4,000	5,000
WDGE1 LED	80	—	2,000	2,000	2,000	3,000	4,000	—
WDGE1 LED	150	—	2,000	5,000	5,000	10,000	10,000	—
WDGE1 LED	250	—	10,000	10,000	10,000	20,000	20,000	25,000



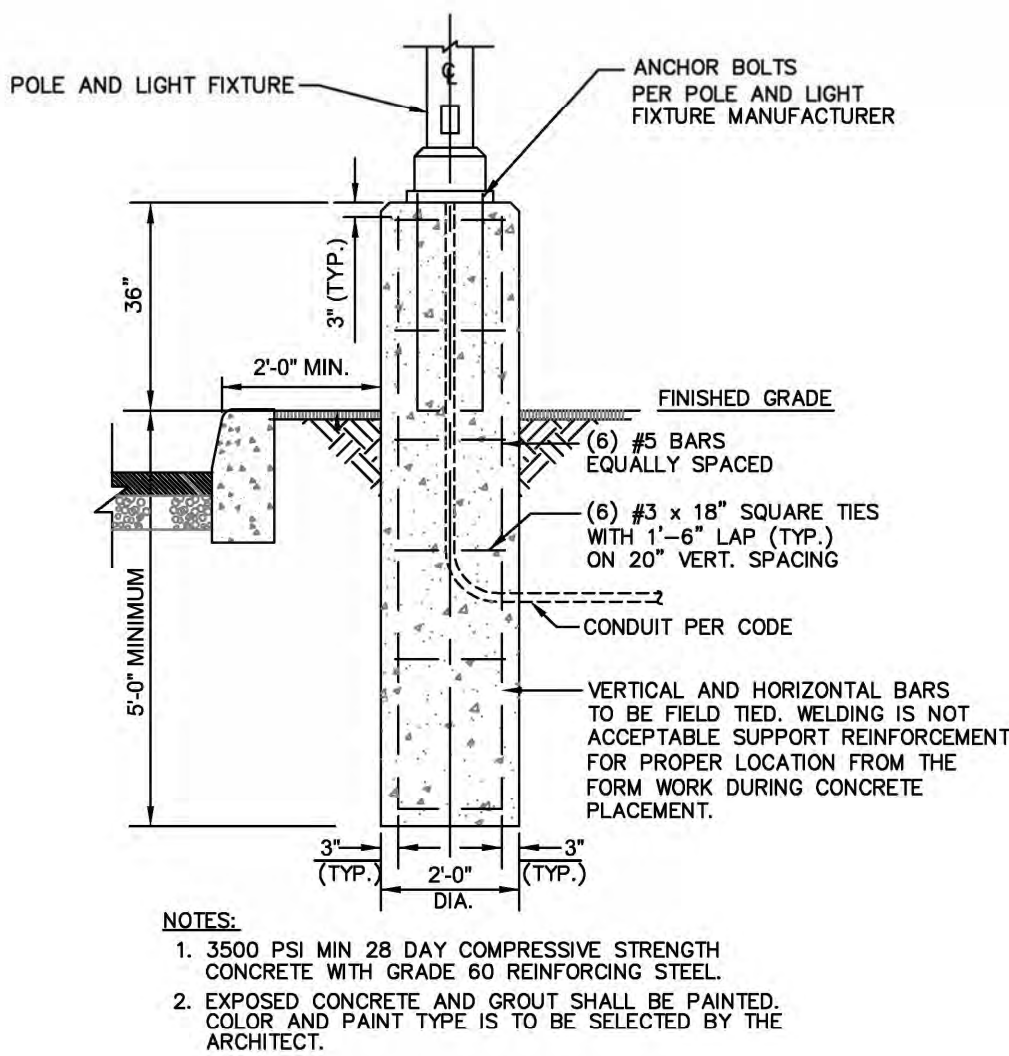
7 GEOSYNTHETIC REINFORCED WALL (6')
NOT TO SCALE

1 POLE MOUNTED LIGHT DETAIL (FIXTURE A)
35 WATT KAD LED 20C 530 40K R4 MVOLT HS (TYPE 4 OPTICS) OR EQUAL



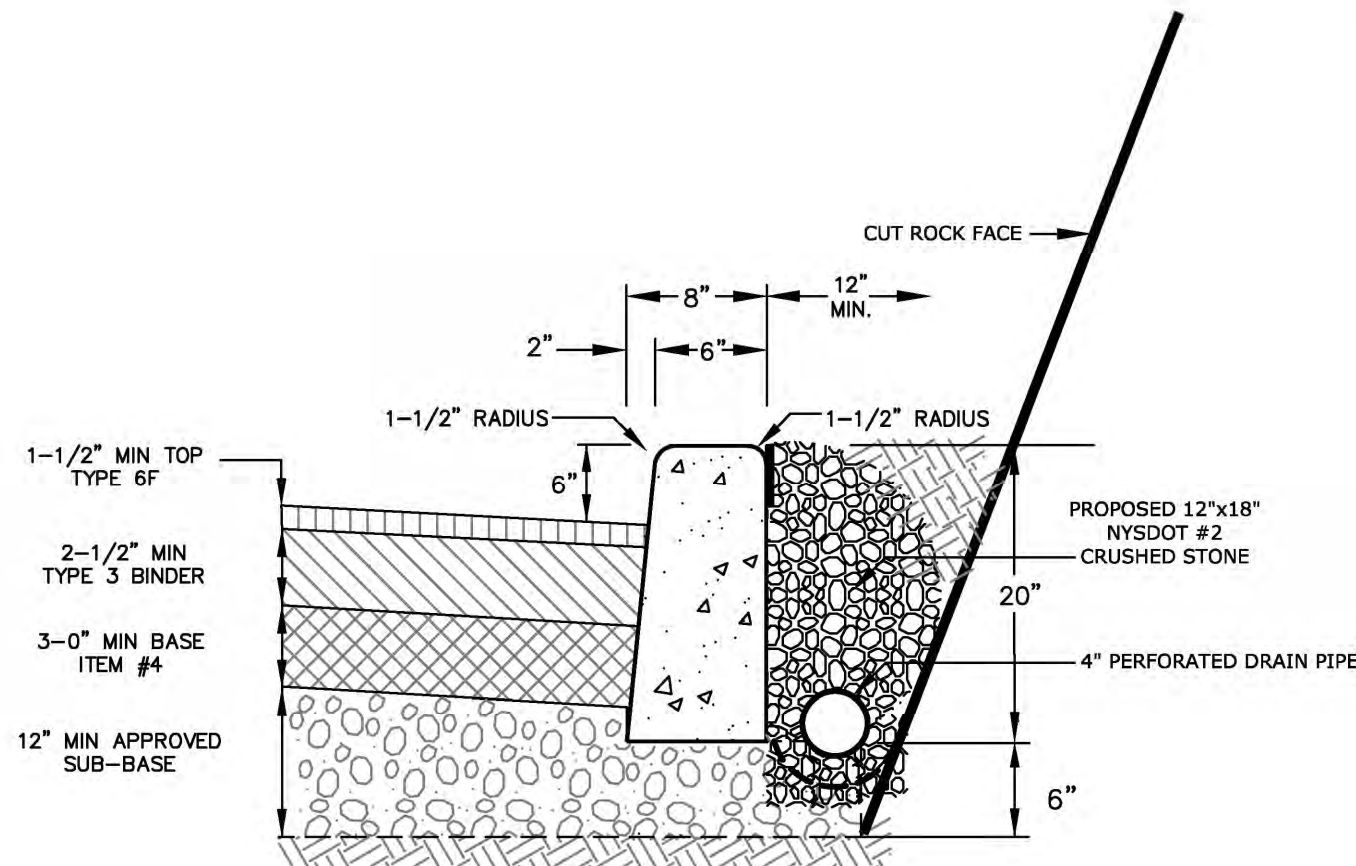
4 POLE MOUNTED LIGHT DETAIL
35 WATT KAD LED 20C 530 40K R4 MVOLT HS (TYPE 4 OPTICS) OR EQUAL

2 WALL MOUNTED LIGHT DETAIL (FIXTURE B)
MODEL: CSXW LED 30C 700 40K T3M 60 WATTS OR EQUAL
REFERENCE ARCHITECTURAL PLANS FOR FINAL LIGHT FIXTURES



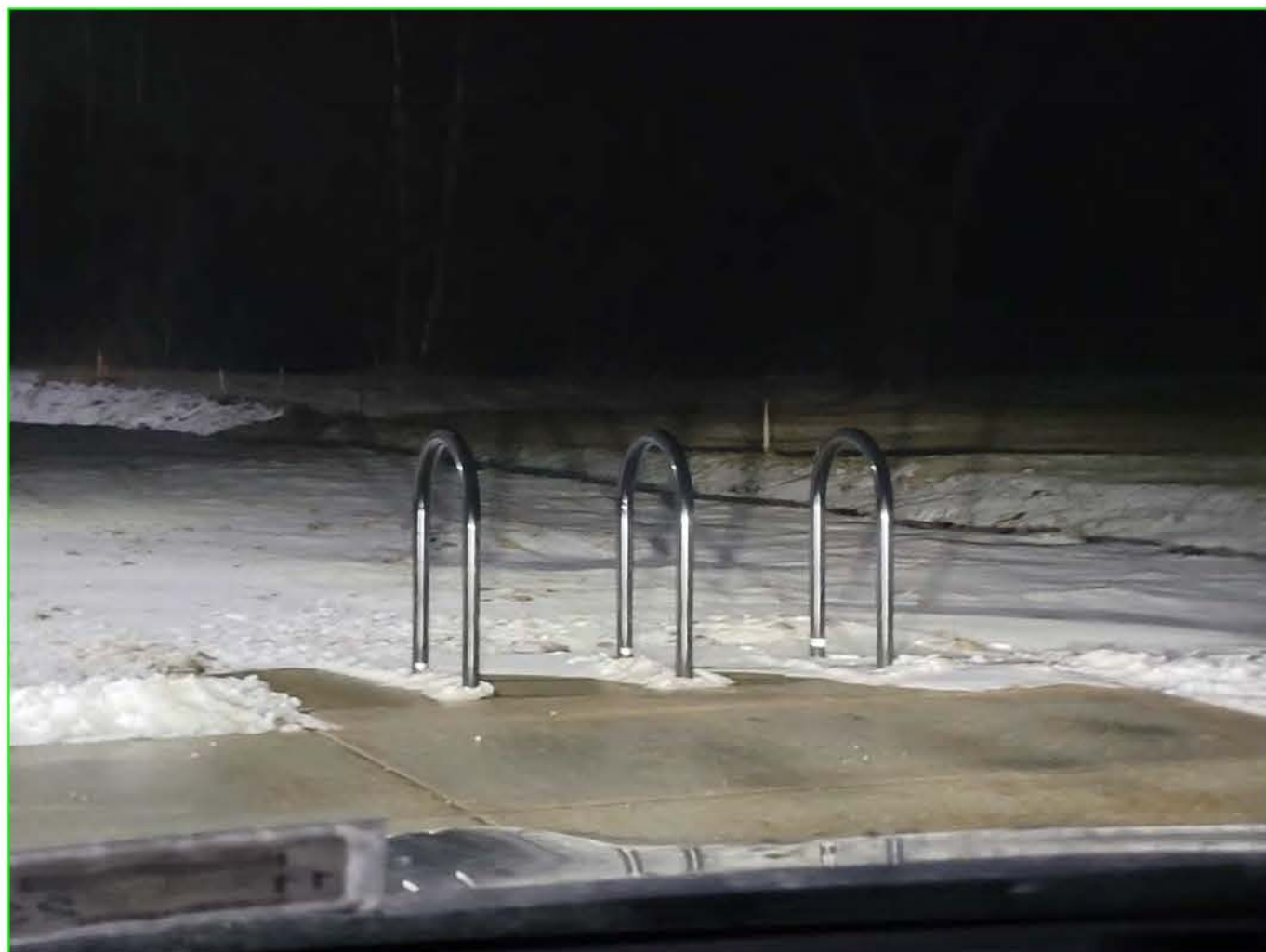
5 TYPICAL LIGHT BASE

3 WALL MOUNTED LIGHT DETAIL (FIXTURE C)
LITHONIA WDGE1 ARCHITECTURAL WALL MOUNTED LIGHT:
MODEL: 10 WATT LED LITHONIA MODEL: WDGE 1 LED P1 30K R0 CH V6 OR IF OR EQUAL
REFERENCE ARCHITECTURAL PLANS FOR FINAL LIGHT FIXTURES



6 CURB BACK DRAIN DETAIL
TO BE INSTALLED ALONG CUT ROCK FACE
NOT TO SCALE

- CURBING NOTES:
- 3500 PSI CONCRETE - PROVIDE 1/2" PRE-FORMED EXPANSION JOINTS EVERY 20 FT.
 - SEE HIGHWAY IMPROVEMENT DRAWINGS FOR CURBING DETAILS INSIDE THE NYSDOT RIGHT OF WAY.



8 TYPICAL BIKE RACK
THE PARK - U BIKE RACK - #509-3000
1 7/8" O.D. IN-GROUND MOUNT
STAINLESS STEEL - OR EQUAL



8 TYPICAL BIKE LOCKER
THE PARK - 300 SERIES - #537-1052
FIBERGLASS REINFORCED PLASTIC COMPOSITE
w/ LOCKING DOOR - OR EQUAL

MAP REVISION DATES		
DATE	REVISION	BY
24 FEB 2022	REVISED AS PER P.B. MEETING OF 07 FEB 2022	TPFK

SITE DETAILS

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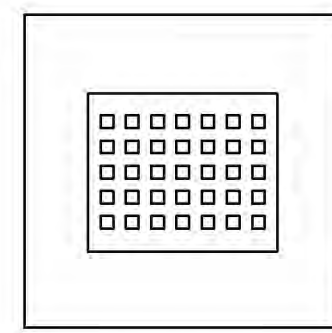
NEW YORK LIC. NO. 60142

D-2

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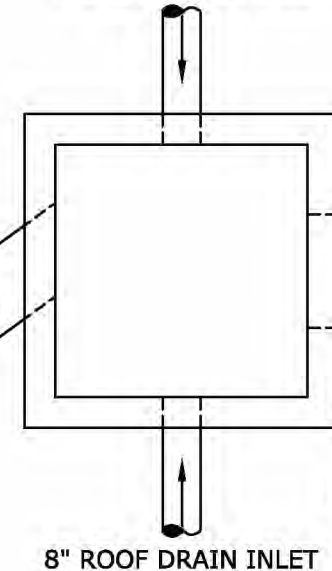
E16 065

CATCH BASIN #2



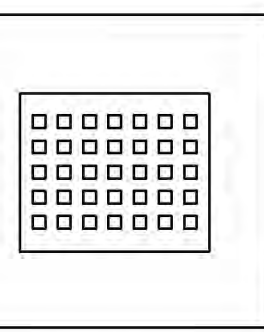
TOP VIEW

4" UNDERDRAIN INLET



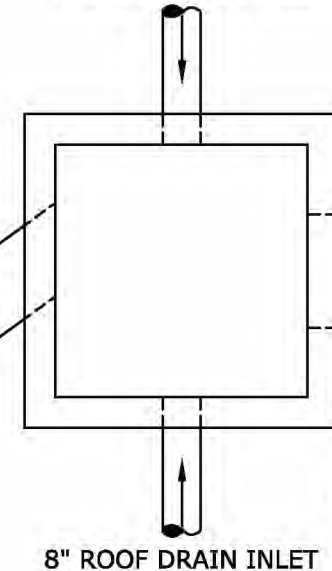
PLAN VIEW

8" ROOF DRAIN INLET

1 TYPICAL ISOLATOR ROW DETAIL
STORMTECH SC-740 CHAMBER SYSTEM (OR EQUAL) NOT TO SCALE

TOP VIEW

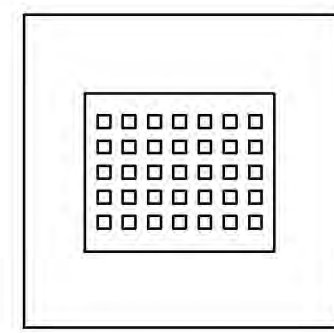
4" UNDERDRAIN INLET



PLAN VIEW

8" ROOF DRAIN INLET

CATCH BASIN #1

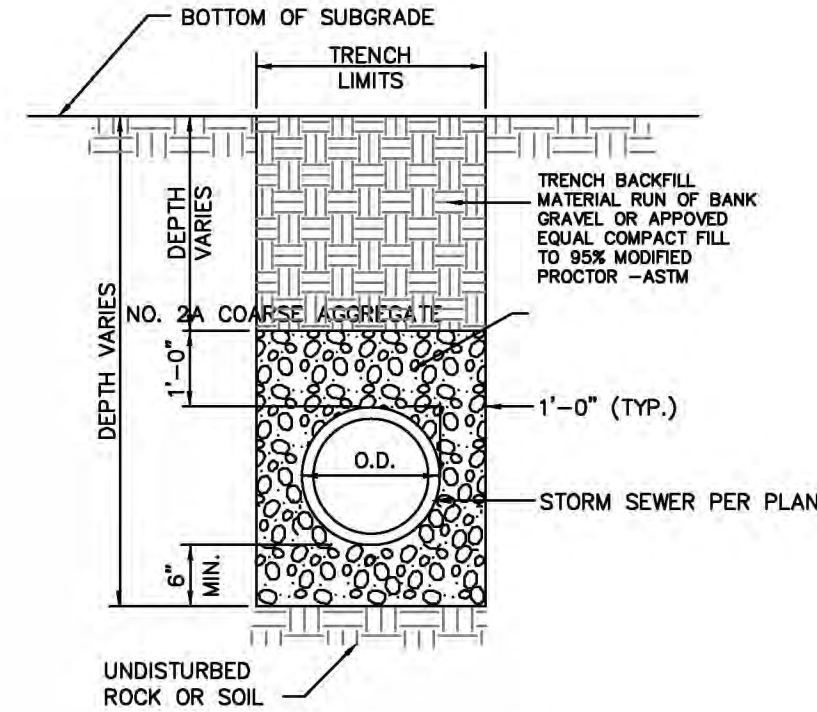
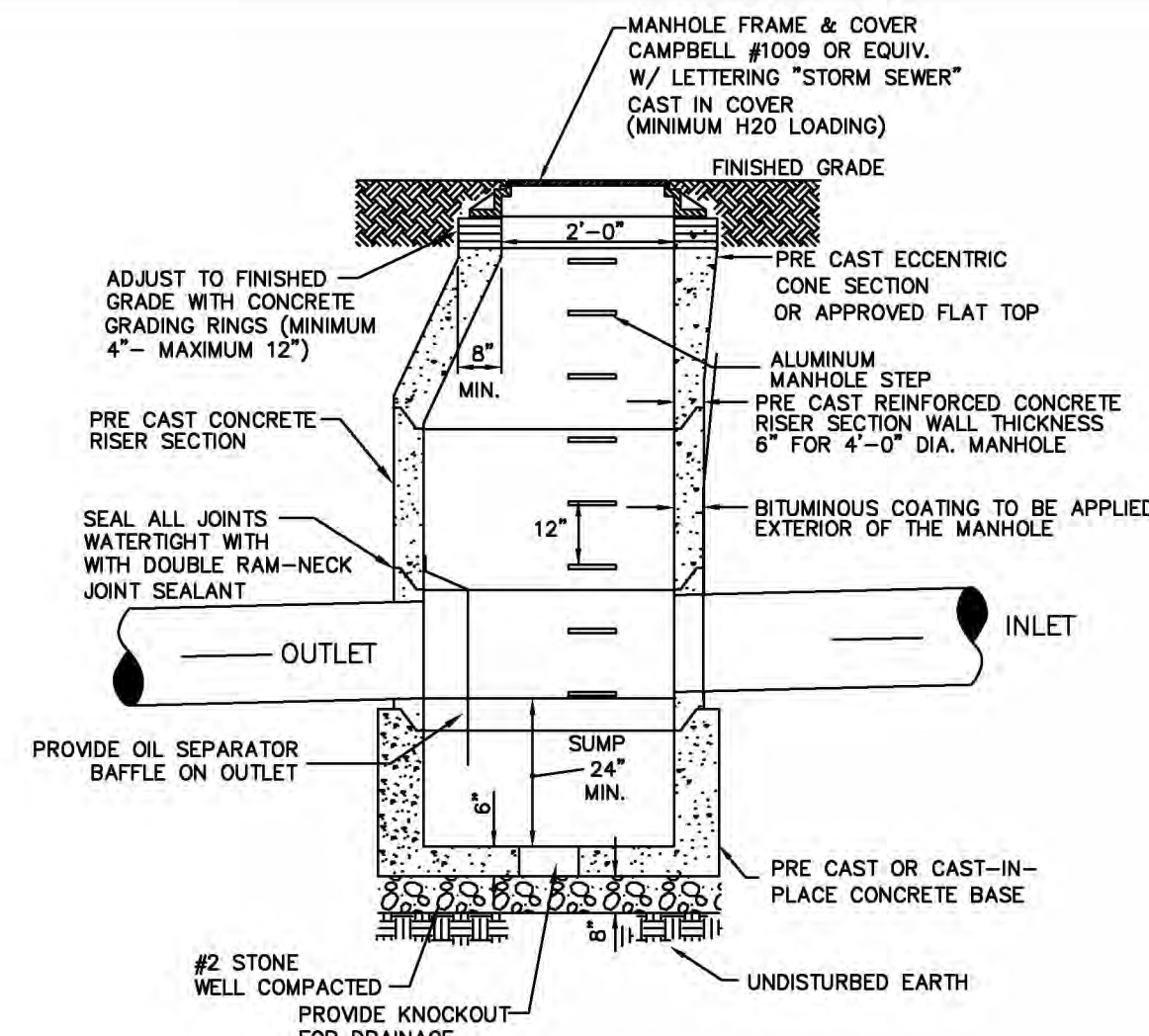


TOP VIEW

24" OUTLET
TO ISOLATOR

PLAN VIEW

8" ROOF DRAIN INLET

4 TYPICAL DRAINAGE
TRENCH DETAIL
NOT TO SCALE5 TYPICAL STORMWATER
MANHOLE (4' DIA.)
NOT TO SCALE

General Utility Notes and Specifications:

General Provisions:

- All construction activities shall be in compliance with municipal, county state and federal regulations.
- The protection of adjacent properties or areas on site that are not to be disturbed during construction, shall be the responsibility of the contractor.
- Any conditions encountered in the field differing from those shown hereon, shall be reported to the design engineer before construction is to proceed.
- Exploratory excavations shall be performed as needed at all utility connection locations by the contractor to verify existing conditions prior to work. Before connecting to existing utilities, verify existing utility inverts and notify the engineer if any deviation from the plan is required.
- Where underground or overhead obstructions are encountered in the work, the contractor shall assume all costs for direct or indirect injury to them. Any valve box, valve pit, water service, water main, catch basin, manhole etc. whether or not shown on the drawings shall be protected from damage.
- The contractor shall maintain service for all existing utilities until no longer necessary.
- All trenching and shoring shall adhere to OSHA guidelines.

Excavation and Earthwork:

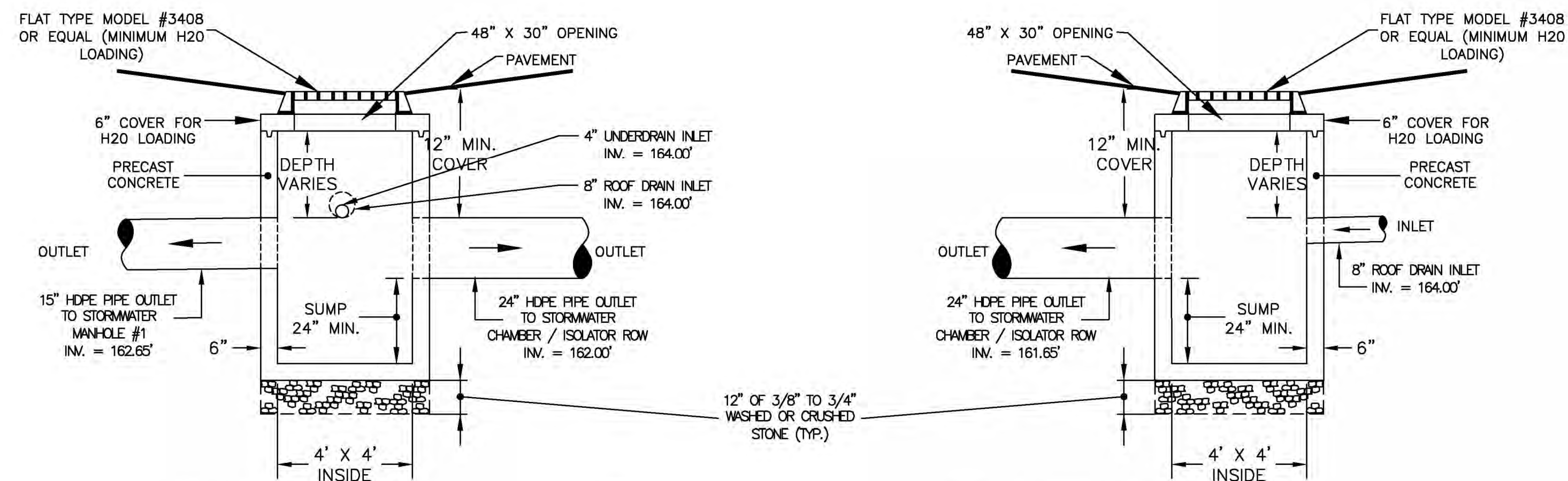
- Prior to site disturbance the contractor shall install required erosion & sediment control measures.
- Strip all topsoil prior to commencing earthwork operations. Topsoil may be stored and reused in lawn and planting areas only.
- Excavation shall be carried to the lines, grades and slopes shown on the approved plans. All final earthwork shall be smoothly and evenly blended into existing conditions.
- Remove all vegetation, trees, stumps, grasses, organic soils, debris and deleterious materials from excavated soils to be reused as fill onsite.
- Where unstable or unsuitable material is encountered at the prescribed bottom grade of the trenches it shall be removed.
- Contractor shall be responsible for dewatering utility trenches and excavations and for the maintenance of surface drainage during the course of the work.
- After final grading the contractor shall reapply stockpiled top soil on all lawn and planting areas. Topsoil shall be evenly spread a minimum of 4 (four) inches over all planting areas seeded and mulched in lawn areas or planted as per landscaping plan in planting beds. The contractor shall restore lawns, driveways and other disturbed areas to at least as good a condition as before being disturbed.

Utility Bedding and Backfill:

- Selected bedding (as specified on the utility typical trench sections hereon) shall be provided for the construction of pipe foundations at those locations where the foundations or excavated material, or any portion thereof deemed to be unsuitable for supporting the pipe or structure, or for back filling the cover portion of the trenches to a level one foot above the pipe, or where excavated material consist of a predominance of large stone, boulders or rock which is not suitable for placing in the trench. Certified sieve analysis shall be submitted from the supplier for the engineer's review prior to use.
- All suitable back fill material shall be placed in layers not exceeding twelve (12) inches in depth, (loose measure), and shall be thoroughly tamped and compacted to a minimum density of 95% standard AASHTO-T99 (ASTM-D698, as amended) compaction test. Compacting equipment shall be of a suitable type for the various back filling operations.

Drainage:

- All storm sewer pipe shall be smooth interior HDPE pipe unless noted otherwise.
- HDPE and sections shall be provided on all drainage pipe inlets or outlets not connected to catch basins or other drainage structures. All outlets shall also be stabilized with rip-rap as per plans.
- All concrete chambers shall be pre-cast concrete to the specifications and dimensions shown hereon. Frames and grates shall be gray iron or ductile iron. Gray iron shall conform with ASTM A 48, Class 30b and ductile iron shall conform with ASTM A 536 and be of a grade appropriate to its intended use to the dimensions and specifications as shown hereon. Any structures subject to vehicle loads shall be able to withstand an H20 loading. Shop drawings shall be submitted to the design engineer for approval prior to construction.
- The gutters and ditches shall be kept open at all times for surface drainage. No damming or ponding of water, in gutters or other waterways will be permitted except where the engineer shall consider it necessary.
- The transport of soils to the drainage system shall be avoided during and after construction.
- All exposed soils shall be stabilized with vegetation, stone or as directed by the engineer.
- Methods used to control soil erosion and sediment control shall be in accordance with the approved soil erosion and sediment control plan or as directed by the engineer. Contractor is responsible for conducting daily stormwater inspections.

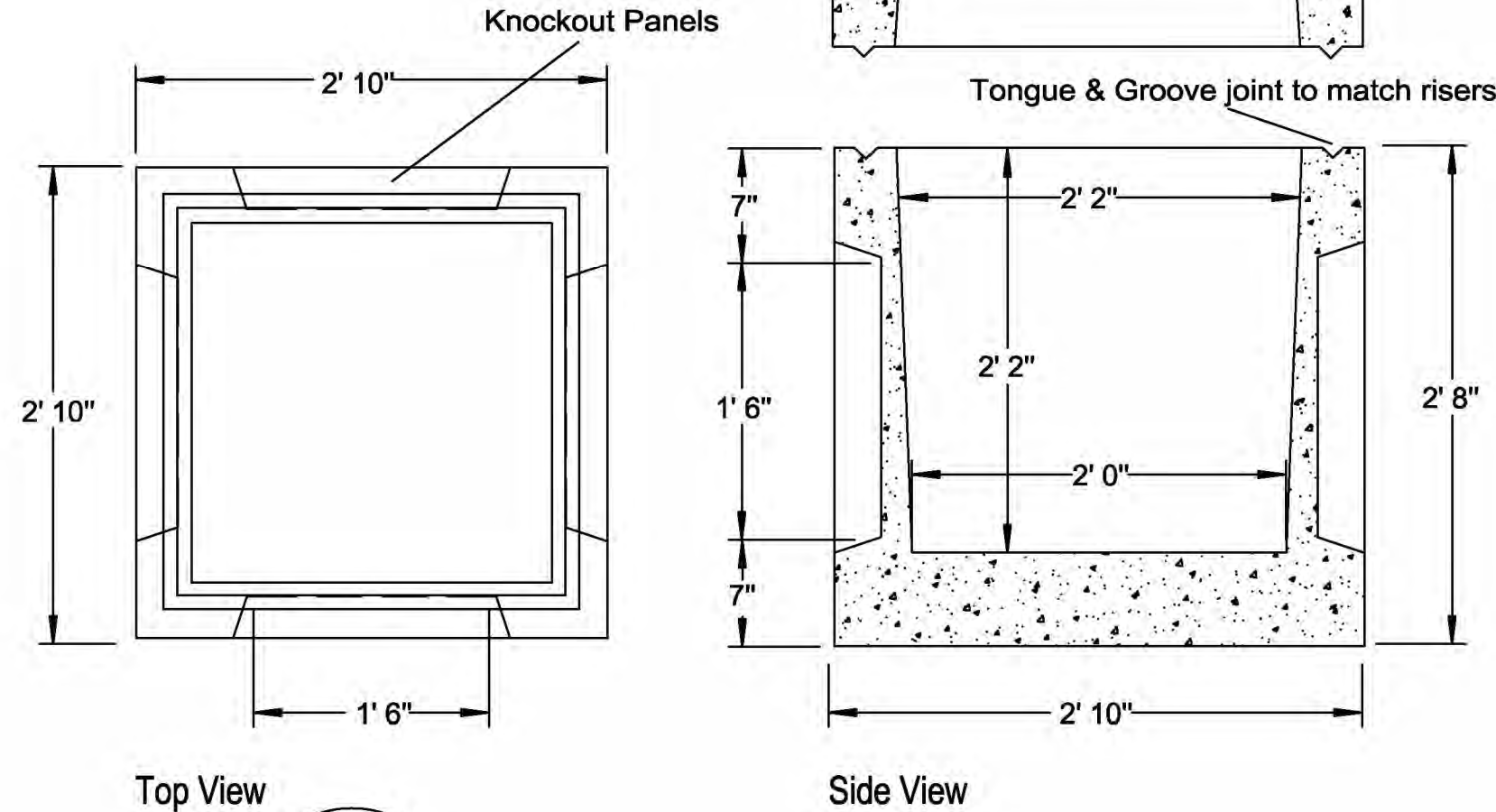


CATCH BASIN #2

NOT TO SCALE 2b

2a CATCH BASIN #1

NOT TO SCALE

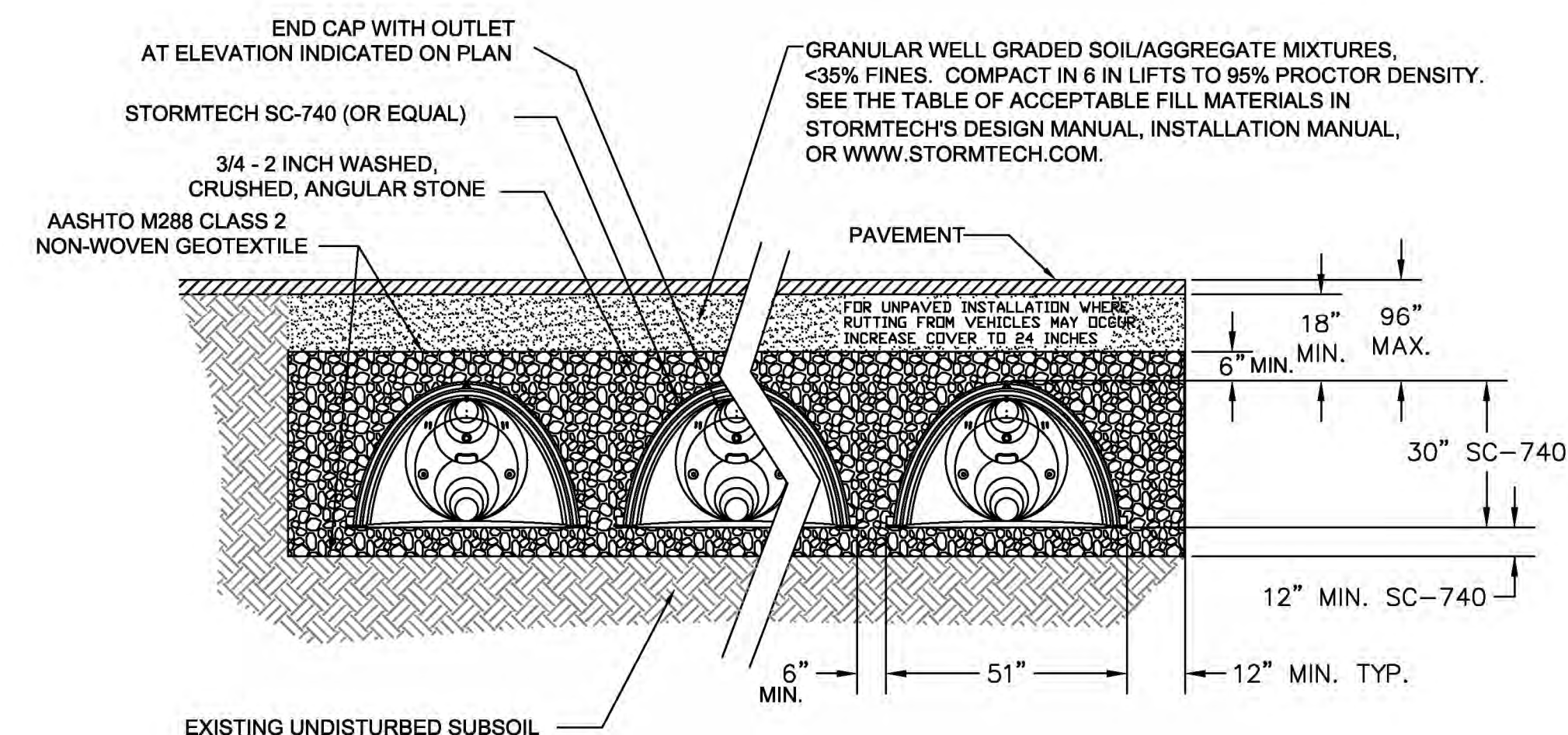


Top View

Side View

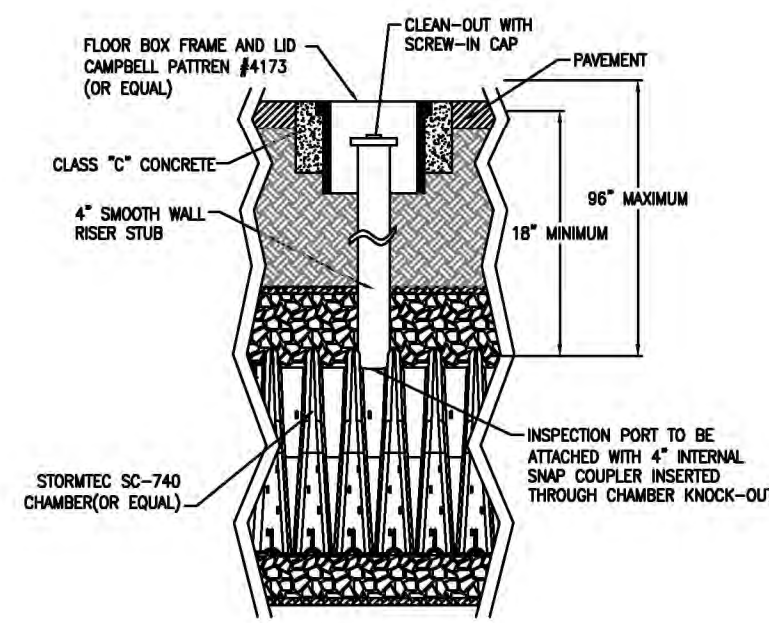
2 c&d CATCH BASIN #3 & 4

NOT TO SCALE

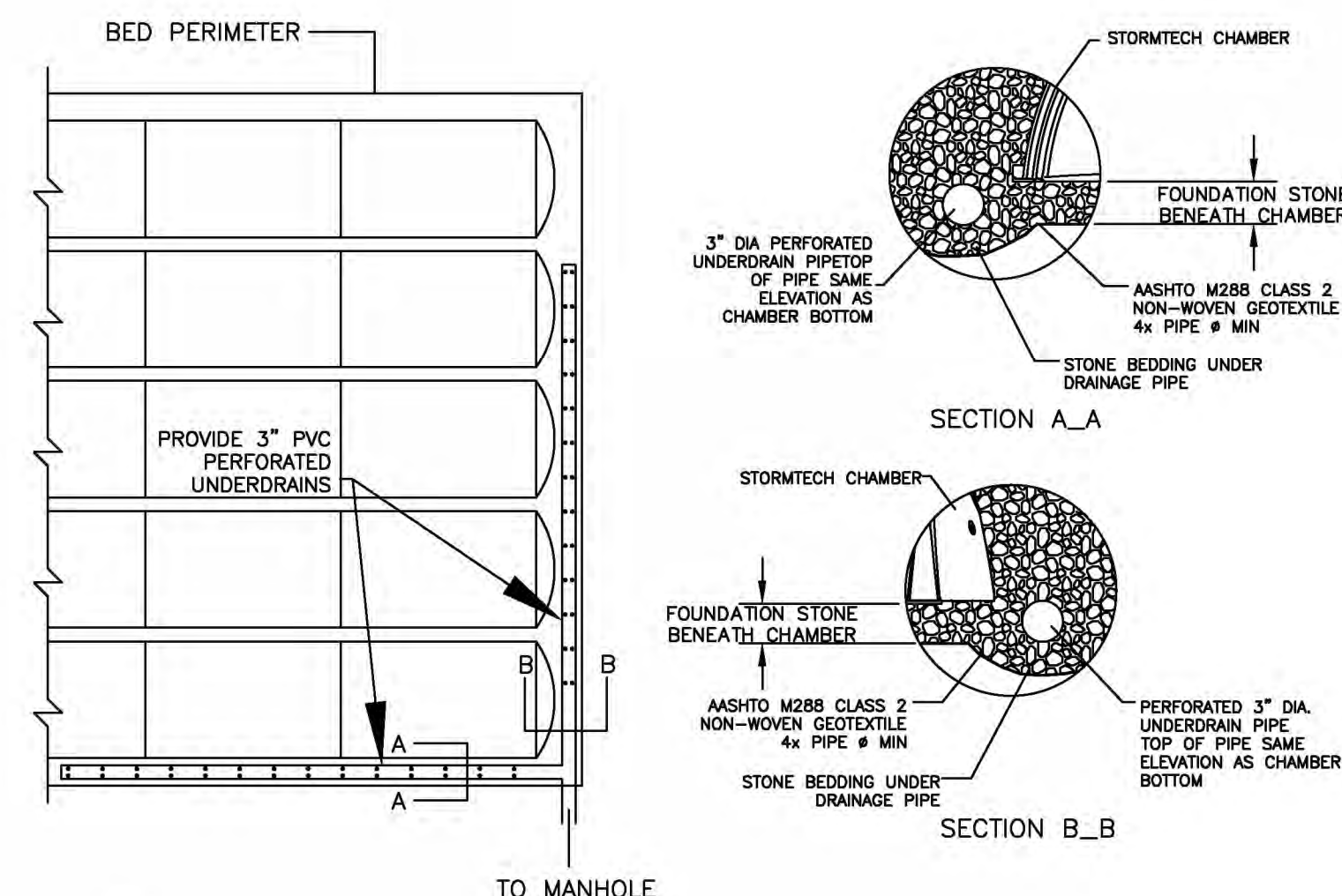


3 TYPICAL SUBSURFACE DETENTION SYSTEM CROSS SECTION

STORMTECH SC-740

TYPICAL
INSPECTION
PORT DETAIL

NOT TO SCALE



TO MANHOLE

7 SUBSURFACE DETENTION UNDERDRAIN

NOT TO SCALE

MAP REVISION DATES

DATE	REVISION	BY
24 FEB 2022	REVISED AS PER P.B. MEETING OF 07 FEB 2022	TPFK

DRAINAGE DETAILS
PROPOSED MIXED USE BUILDING

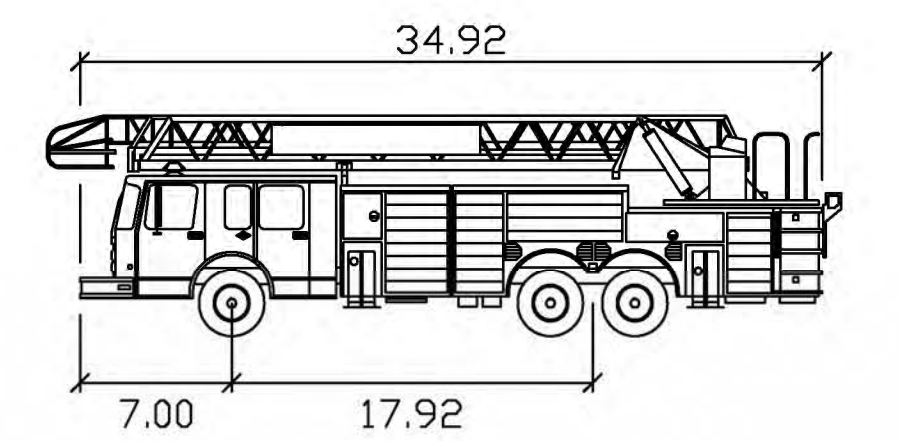
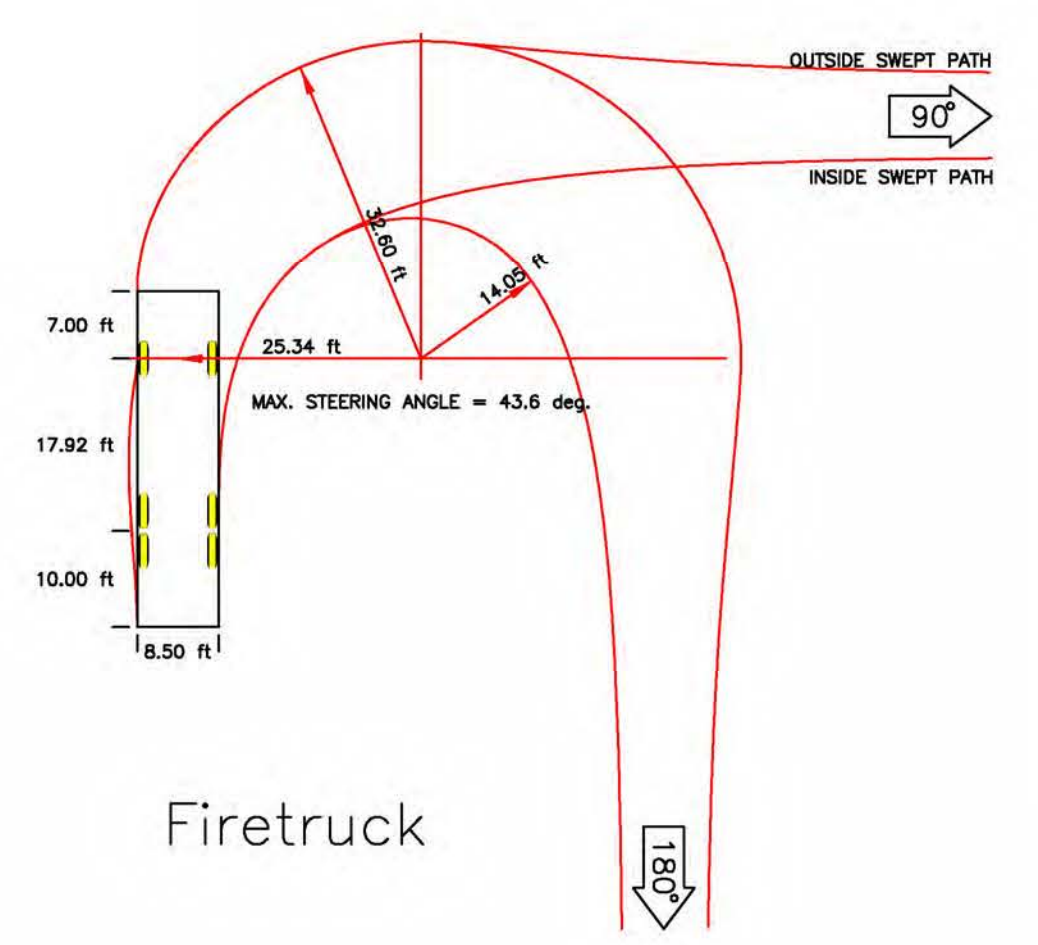
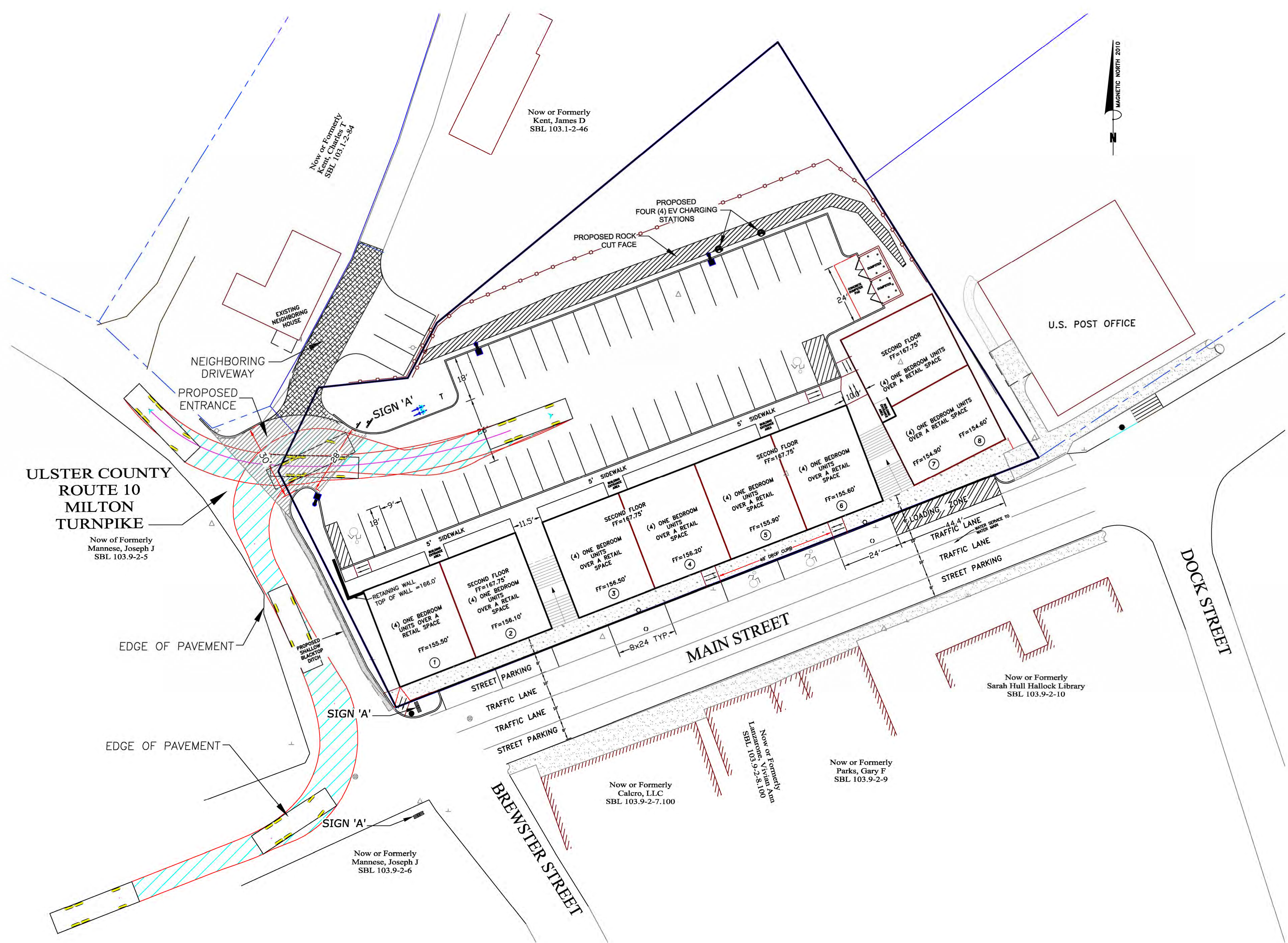
8 RETAIL SPACES (10,520 SF) WITH 4 APARTMENTS
ABOVE EACH RETAIL SPACE FOR A TOTAL
OF 32 ONE BEDROOM APARTMENTS
FOR

39 MAIN STREET MILTON LLC
TOWN OF MARLBOROUGH
ULSTER COUNTY ~ NEW YORK

August 12, 2021

MEDENBACH & EGGERS
CIVIL ENGINEERING & LAND SURVEYING, P.C.
STONE RIDGE, NEW YORK (845) 687-0047

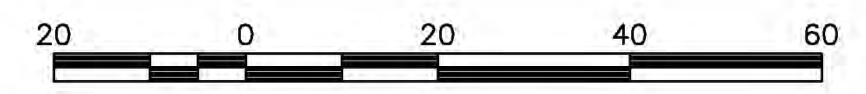
BARRY MEDENBACH, P.E. D-3
NEW YORK LIC. NO. 60142 8 OF 10
E16 065



Firetruck	feet
Width	: 8.50
Track	: 8.00
Lock to Lock Time	: 6.00
Steering Angle	: 45.00

MAP REVISION DATES		
DATE	REVISION	BY

FIRETRUCK MOVEMENT
FOR
PROPOSED MIXED USE BUILDING
8 RETAIL SPACES (10,520 SF) WITH 4 APARTMENTS
ABOVE EACH RETAIL SPACE FOR A TOTAL
OF 32 ONE BEDROOM APARTMENTS
FOR
39 MAIN STREET MILTON LLC
TOWN OF MARLBOROUGH
ULSTER COUNTY ~ NEW YORK



Scale: 1" = 20'
October 18, 2021

MEDENBACH & EGGERS
CIVIL ENGINEERING & LAND SURVEYING, P.C.
STONE RIDGE, NEW YORK (845) 687-0047

Dig Safely.
New York
Call Before You Dig
Wait The Required Time
Confirm Utility Response
Respect The Marks
Dig With Care
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Any unauthorized alteration or addition to this plan is a violation of Sect. 7209, Subdivision 2 of N.Y.S. Education Law.

