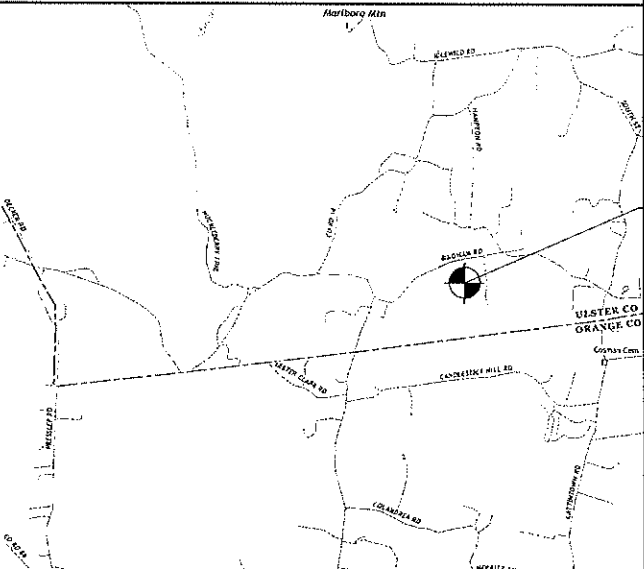
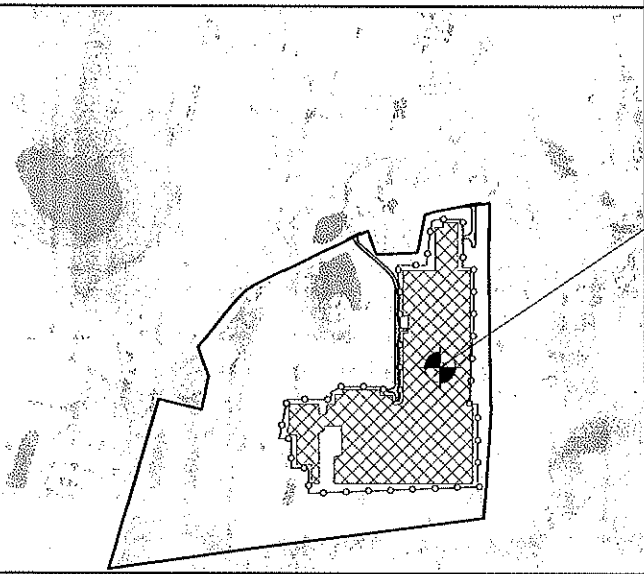


LOCATION MAP SCALE: 1"=2000'



SITE LOCATION

LOCATION MAP SCALE: 1"=500'



ARRAY LOCATION

ELP MARLBOROUGH SOLAR

SITE ADDRESS: 335 BINGHAM ROAD, MARLBOROUGH, NY 12542
TAX MAP ID: 108.3-3-21
PROPOSED USE: LARGE SCALE SOLAR ENERGY SYSTEM (5MW-AC)

DEVELOPER:

ELP MARLBOROUGH SOLAR LLC
14 ARROW STREET, SUITE 22
CAMBRIDGE, MA 02138

ENGINEER:

CRAWFORD & ASSOCIATES
ENGINEERING & LAND SURVEYING, PC
4411 Route 9, Suite 200, Hudson New York 12534 tel: (518) 828-2700
www.crawfordandassociates.com fax: (518) 828-2723

C&A #: 4996.26

DATE: APRIL 5, 2024

DRAFT
NOT FOR
CONSTRUCTION

DRAWINGS:

- C-001 TITLE SHEET
- C-002 LEGEND & NOTES
- C-101 SITE PLAN - EXISTING CONDITIONS
- C-102 SITE PLAN - PROPOSED SITE PLAN
- C-103 SITE PLAN - PROPOSED GRADING & UTILITIES - 1
- C-104 SITE PLAN - PROPOSED GRADING & UTILITIES - 2
- C-105 SITE PLAN - PROPOSED GRADING & UTILITIES - 3
- C-106 SITE PLAN - TEMPORARY EROSION & SEDIMENT CONTROL PLAN
- C-501 CIVIL DETAILS - SHEET 1
- C-502 CIVIL DETAILS - SHEET 2

- E-501 ELECTRICAL DETAILS - SHEET 1
- E-502 ELECTRICAL DETAILS - SHEET 2
- E-503 ELECTRICAL DETAILS - SHEET 3
- E-504 ELECTRICAL DETAILS - SHEET 4

LEGEND

Symbol	Description
	EXISTING PROPERTY LINE
	PROPOSED LOT LINE
	EXISTING/PROPOSED EASEMENT / RIGHT OF WAY
	EXISTING/PROPOSED ZONING SETBACK
	PROPOSED LIMITS OF JURISDICTIONAL BOUNDARY
	EXISTING SURVEY STATION (HORIZONTAL DATUM)
	EXISTING SURVEY BENCHMARK (VERTICAL DATUM)
	EXISTING CONTOUR MAJOR INTERVAL
	PROPOSED CONTOUR MAJOR INTERVAL
	EXISTING CONTOUR MINOR INTERVAL
	PROPOSED CONTOUR MINOR INTERVAL
	EXISTING/PROPOSED SPOT ELEVATION
	EXISTING SOILS
	EXISTING SOIL DEEP TEST PIT
	EXISTING SOIL PERCOLATION TEST
	EXISTING SOIL BORING
	PROPOSED WATERBODY
	EXISTING FLOODWAY
	EXISTING 100 YEAR FLOODPLAIN
	EXISTING 500 YEAR FLOODPLAIN
	EXISTING FEDERAL WETLAND BOUNDARY
	EXISTING STATE WETLAND BOUNDARY
	EXISTING STATE WETLAND 100' ADJACENT AREA
	EXISTING STATE WETLAND 600' CHECKZONE
	EXISTING WETLAND HATCH
	PROPOSED WETLAND 100' ADJACENT AREA IMPACT HATCH
	PROPOSED WETLAND MITIGATION HATCH
	PRE/POST-DEVELOPMENT SWALE CENTERLINE
	EXISTING/PROPOSED CULVERT W/ FLARED END SECTION
	EXISTING/PROPOSED STORMWATER LINE
	EXISTING/PROPOSED STORMWATER CATCH BASIN
	EXISTING/PROPOSED STORMWATER MANHOLE
	EXISTING/PROPOSED STORMWATER YARD DRAIN
	PROPOSED SILT FENCE
	EXISTING/PROPOSED TREE/REEF
	EXISTING/PROPOSED DECIDUOUS TREE
	PROPOSED TREE TRIMMING HATCH
	EXISTING/PROPOSED UTILITY CHECK VALVE
	EXISTING/PROPOSED UTILITY REGULATOR
	EXISTING/PROPOSED UTILITY METER
	EXISTING/PROPOSED UNDERGROUND UTILITY
	EXISTING/PROPOSED PROPANE LINE
	EXISTING/PROPOSED NATURAL GAS LINE
	EXISTING/PROPOSED ELECTRIC PULL BOX
	EXISTING/PROPOSED ELECTRIC TRANSFORMER
	EXISTING/PROPOSED UTILITY POLE
	EXISTING/PROPOSED DATA/CABLE ELECTRIC
	EXISTING/PROPOSED UNDERGROUND ELECTRIC
	EXISTING/PROPOSED OVERHEAD ELECTRIC
	EXISTING/PROPOSED DIRECT CURRENT ELECTRIC
	EXISTING/PROPOSED SANITARY SEWER CLEANOUT
	EXISTING/PROPOSED SANITARY SEWER MANHOLE
	EXISTING/PROPOSED SANITARY FORCE MAIN
	EXISTING/PROPOSED SANITARY SEWER LINE
	EXISTING/PROPOSED WATER HYDRANT
	EXISTING/PROPOSED WATER WELL
	EXISTING/PROPOSED WATER LINE
	EXISTING/PROPOSED RAW WATER LINE
	PROPOSED BUILDING
	EXISTING BUILDING
	EXISTING/PROPOSED CONCRETE
	EXISTING/PROPOSED STONE WALL
	EXISTING/PROPOSED UTILITY MARKER
	EXISTING/PROPOSED BOLLARD
	EXISTING/PROPOSED FENCE
	EXISTING/PROPOSED SIGN
	EXISTING/PROPOSED CURB
	EXISTING/PROPOSED SIDEWALK
	EXISTING/PROPOSED PAVEMENT HATCH
	EXISTING/PROPOSED DRIVEWAY
	EXISTING/PROPOSED PARKING LOT STRIPING
	EXISTING/PROPOSED PARKING LOT EDGE
	EXISTING/PROPOSED ROAD FOCAL LINE
	EXISTING/PROPOSED ROAD CENTERLINE
	EXISTING/PROPOSED ROAD EDGE
	EXISTING/PROPOSED RAILROAD TRACK

SITE PLAN NOTES:

- | | | |
|---------------------------------|----|--|
| APPROPOSED RAILROAD TRACK | 1. | ORTHOGRAPHIC IMAGERY DOWNLOADED FROM NYS GIS CLEANNAPAGE IMAGERY PUBLISHED SEPTEMBER 2023. ACCESSED BY CEA NOVEMBER 2023. |
| APPROPOSED ROAD EDGE | 2. | APPROXIMATE PROPERTY BOUNDARIES DOWNLOADED FROM ULSTER COUNTY GIS DATABASE IN AUGUST 2023. SELECT BOUNDARIES ADJUSTED BY CEA TO REFLECT EXPECTED LOCATIONS OF SURVEYED BOUNDARY LINES. |
| APPROPOSED ROAD CENTERLINE | 3. | TOPOGRAPHIC CONTOURS DOWNLOADED FROM ULSTER COUNTY GIS DATABASE IN AUGUST 2023. CONTOUR DATA FROM 2014. |
| APPROPOSED PARKING LOT EDGE | 4. | EXISTING SITE FEATURES SUCH AS BUILDING LOCATIONS, DRIVEWAYS, ROADS, OVERHEAD UTILITIES, AND TREELINES ESTIMATED FROM ORTHOGRAPHIC IMAGERY. |
| APPROPOSED PARKING LOT STRIPING | 5. | NMA POTENTIAL WETLAND BOUNDARIES DOWNLOADED FROM NATIONAL WETLANDS INVENTORY, ACCESSED NOVEMBER 2023. |
| APPROPOSED PAVEMENT HATCH | 6. | FEMA FIRM CHECKED IN JANUARY 2024 AND NO FLOOD HAZARDS WERE IDENTIFIED WITHIN THE PROJECT AREA. PROJECT FALLS WITHIN FIRM PANEL 050111C09005. |
| APPROPOSED SIDEWALK | 7. | PROPOSED SOLAR FACILITY LAYOUT FROM DRAWING TITLED "PRELIMINARY PV SITE PLAN" PREPARED BY CEA ENERGY DATED MARCH 2, 2023. |

PROPOSED SITE PLAN NOTES:

- | | |
|----|---|
| 1. | THE PROPOSED SOLAR ENERGY SYSTEM INSTALLATION SHALL BE PERFORMED BY A QUALIFIED SOLAR INSTALLER. |
| 2. | THE PROPOSED SOLAR ENERGY SYSTEM WILL MEET NEW YORK'S UNIFORM FIRE PREVENTION AND BUILDING CODE AND NATIONAL ELECTRICAL CODE STANDARDS. |
| 3. | PRIOR TO OPERATION OF THE SOLAR ENERGY SYSTEM, WRITTEN PROOF THAT ELECTRICAL CONNECTIONS HAVE BEEN INSPECTED AND APPROVED BY AN APPROPRIATE ELECTRICAL INSPECTION PERSON OR AGENCY, AS DETERMINED BY THE TOWN OF MARLBOROUGH WILL BE PROVIDED. |
| 4. | A MAP SHOWING THE LOCATIONS OF THE MAJOR COMPONENTS OF THE SOLAR SYSTEM INCLUDING THE LOCATION OF THE ARRAY, THE EQUIPMENT PAD, MAIN TRENCH LOCATIONS, AND DISCONNECTS SHALL BE POSTED AT THE FACILITY'S ENTRANCE AND PROVIDED TO THE LOCAL FIRE DEPARTMENT OBLIGATED TO RESPOND TO A CALL AT THE FACILITY. |
| 5. | THE SOLAR PANELS SHALL NOT EXCEED 15' IN HEIGHT. |

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| 6. | DEED BUILDING | AS SHOWN IN THE JOINING TABLE BELOW, INVERTERS SHALL BE SET BACK THE LESSER OF 100 FEET OR UNTIL THE ELECTROMAGNETIC FIELD (EMF) MEETS BACKGROUND LEVEL, AS DETERMINED BY THE WORLD HEALTH ORGANIZATION (WHO). | 11. THE OWNER SHALL PREPARE AND COMPLY WITH A DECOMMISSIONING PLAN AS DETAILED IN THE TOWN OF MARLBOROUGH, ANY SUPPLEMENTARY REGULATIONS SECTION 159-32.2J. |
| 7. | CORROSION RESISTANT WATER LINE | CONCRETE SOLAR FACILITY'S AREA OF USE, AS DEFINED IN CODE SECTION 155-32.2 (B) EQUIVALES TO APPROXIMATELY 19.4 ACRES. | 12. THE OWNER SHALL PREPARE AND COMPLY WITH A DECOMMISSIONING PLAN AS DETAILED IN THE TOWN OF MARLBOROUGH, ANY SUPPLEMENTARY REGULATIONS SECTION 159-32.2J. |
| 8. | CORROSION RESISTANT WATER WELL | NONINVASIVE GROUND COVER UNDER AND BETWEEN THE ROWS OF SOLAR PANELS SHALL BE MAINTAINED, PROFOUNDLY-RESISTANT, AND NONPERMEABLE-DEPENDENT, SEE SEEDING PLAN ON 0-501 FOR MORE DETAILS. | 13. ALL TEMPORARILY STORED MATERIAL GENERATED BY CONSTRUCTION OF THE FACILITY WILL BE REMOVED FROM THE SITE IN A TIMELY MANNER. |
| 9. | SANITARY SEWER LINE | THE SOLAR ENERGY SYSTEM SHALL BE ENCLOSED BY A MINIMUM 6' TALL PERIMETER FENCE AND SHALL BE AN AGRICULTURAL STYLE FENCE CONSISTING OF WOODEN POSTS AND WOVEN WIRE. WARNING SIGNS WITH THE OWNER'S CONTACT INFORMATION WILL BE PLACED ON THE ENTRANCE AND PERIMETER OF THE FENCING. | |
| 10. | SANITARY SEWER MANHOLE | A SIGN NO GREATER THAN TWO SQUARE FEET INDICATING THE NAME OF THE FACILITY (OWNERS) AND A TWENTY-FOUR-HOUR EMERGENCY TELEPHONE NUMBER SHALL BE POSTED. | |
| 11. | SANITARY SEWER CLEANOUT | THE OWNER WILL BE RESPONSIBLE FOR UPKEEP OF THE SOLAR FACILITY, INCLUDING THE NECESSARY MAINTENANCE OF THE SYSTEM & PROPERTY INCLUDING MOWING AND TRIMMING IN AND AROUND THE FACILITY. | |
| 12. | CORROSION RESISTANT WATER LINE | CONCRETE SOLAR FACILITY'S AREA OF USE, AS DEFINED IN CODE SECTION 155-32.2 (B) EQUIVALES TO APPROXIMATELY 19.4 ACRES. | |
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| 14. | SANITARY SEWER LINE | THE SOLAR ENERGY SYSTEM SHALL BE ENCLOSED BY A MINIMUM 6' TALL PERIMETER FENCE AND SHALL BE AN AGRICULTURAL STYLE FENCE CONSISTING OF WOODEN POSTS AND WOVEN WIRE. WARNING SIGNS WITH THE OWNER'S CONTACT INFORMATION WILL BE PLACED ON THE ENTRANCE AND PERIMETER OF THE FENCING. | |
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| 34. | SANITARY SEWER LINE | THE SOLAR ENERGY SYSTEM SHALL BE ENCLOSED BY A MINIMUM 6' TALL PERIMETER FENCE AND SHALL BE AN AGRICULTURAL STYLE FENCE CONSISTING OF WOODEN POSTS AND WOVEN WIRE. WARNING SIGNS WITH THE OWNER'S CONTACT INFORMATION WILL BE PLACED ON THE ENTRANCE AND PERIMETER OF THE FENCING. | |
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| 47. | CORROSION RESISTANT WATER LINE | CONCRETE SOLAR FACILITY'S AREA OF USE, AS DEFINED IN CODE SECTION 155-32.2 (B) EQUIVALES TO APPROXIMATELY 19.4 ACRES. | |
| 48. | CORROSION RESISTANT WATER WELL | NONINVASIVE GROUND COVER UNDER AND BETWEEN THE ROWS OF SOLAR PANELS SHALL BE MAINT | |

EASC PLAN AND CONSTRUCTION NOTES:

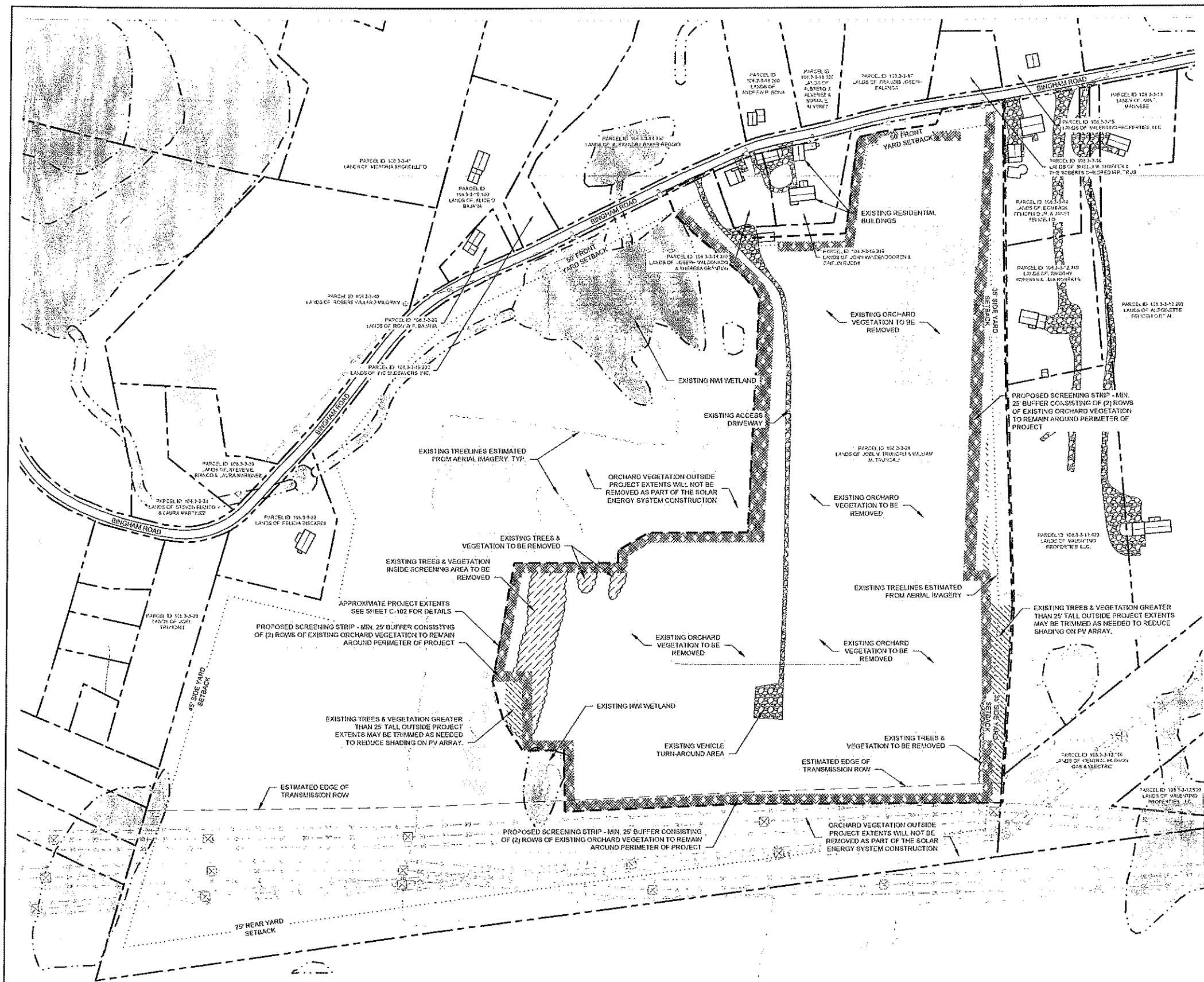
- | | | |
|----|--|------------|
| 1. | CONSTRUCTION SHALL NOT COMMENCE UNTIL APPROPRIATE PERMIT COVERAGE HAS BEEN OBTAINED FROM ANYSIDE SPDES GENERAL PERMIT FOR STORAGE/HAZARDOUS DISCHARGES FROM CONSTRUCTION ACTIVITY. | CP-020-001 |
| 2. | CONSTRUCTION OF THE PANEL ARRAYS SHALL BE COMPLETED IN SUCH A MANNER THAT MINIMIZES DISTURBANCE TO THE MAXIMUM EXTENT POSSIBLE THROUGHOUT CONSTRUCTION. | |
| 3. | THE TEMPORARY EROSION CONTROL MEASURES SHOWN HEREIN SHALL BE PUT IN PLACE AT THE BEGINNING OF CONSTRUCTION AND REMOVED UPON FINAL STABILIZATION OF THE SITE. | |
| 4. | CONSTRUCTION OF THE PANEL ARRAYS SHALL BE COMPLETED IN SUCH A MANNER THAT MINIMIZES DISTURBANCE TO THE MAXIMUM EXTENT POSSIBLE THROUGHOUT CONSTRUCTION. | |
| 5. | ALL DISTURBED AREAS SHALL BE RESEEDED AND MULCHED AS DETAILLED IN THE SEEDING PLAN ON DRAWING. | |

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|----|---|
| 5. | THE TEMPORARY PARKING AND STAGING AREA FOR CONSTRUCTION EQUIPMENT AND MATERIALS SHALL CONSIST OF STONE DUST OR A SIMILAR MATERIAL UPON COMPLETION OF CONSTRUCTION THE STONE DUST, OR SIMILAR, SHALL BE REMOVED UP TO BUT NOT INCLUDING REMOVAL OF THE COVERED TOPSOIL. THE AREA SHALL BE GRASSED AND MULCHED ACCORDING TO THE SEED AND MULCH SPECIFICATIONS DETAIL ON THE EASE NOTES SHEET. |
| 7. | IN VEGETATIVE COVER, THE AREAS SHALL BE DE-COMPACTED PRIOR TO SEEDING TO ENSURE GROWTH OF SUFFICIENT CONTROL DE-COMPACTED GUIDELINES. |
| 8. | AREAS OF TREE TRIMMING, NO DISTURBANCE SHALL COMBINE WITHOUT APPROPRIATE PERMITTING PURPOSES AND OVERSE. TREES SHALL BE TRIMMED AND/OR FLUSH CUT AS NEEDED FOR STAGING. TREE STUMPS SHALL NOT BE REMOVED OR WASTE MATERIALS SHALL BE REMOVED WITH EQUIPMENT THAT DOES NOT RESULT IN DISTURBANCE. |

SITE DATA / ZONING SUMMARY	
TAX ID NUMBER: 108.5-3-21 (80.1 ACRES)	
ZONING DISTRICT	RAG-1 (RURAL AGRICULTURAL DISTRICT)
USE CLASSIFICATION	LARGE SCALE SOLAR ENERGY SYSTEM (6 MWAC)
MINIMUM LOT SIZE	1 ACRE
LOT COVERAGE, MAX.	12.9%
LOT WIDTH (FT.)	150'
LOT DEPTH (FT.)	200'
BUILDING HEIGHT (FT.), MAX.	16'
FRONT	50'
SIDE (ONE)	35'
SIDE (BOTH)	80'
REAR	75'
"REAR YARD SETBACK" MEANS THE MINIMUM DISTANCE FROM THE REAR LOT LINE TO THE REAR WALL OF ANY BUILDING OR STRUCTURE, EXCEPT FOR GARAGES, PORCHES, DECKS, PATIOS, OR OTHER STRUCTURES ATTACHED TO THE MAIN RESIDENCE, WHICH MAY BE LOCATED WITHIN THE REAR YARD SETBACK. "FRONT YARD SETBACK" MEANS THE MINIMUM DISTANCE FROM THE FRONT LOT LINE TO THE FRONT WALL OF ANY BUILDING OR STRUCTURE, EXCEPT FOR GARAGES, PORCHES, DECKS, PATIOS, OR OTHER STRUCTURES ATTACHED TO THE MAIN RESIDENCE, WHICH MAY BE LOCATED WITHIN THE FRONT YARD SETBACK.	

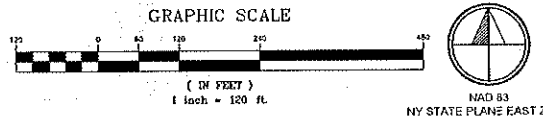
DRAFT
NOT FOR
CONSTRUCTION

REV #	DESCRIPTION	DATE	BY
ELP MARLBOROUGH SOLAR	335 BINGHAM ROAD	TOWN OF MARLBOROUGH	U.S. EASTERN COUNTY, NY
LEGEND & NOTES			
 CRAWFORD & ASSOCIATES 1000 CRAWFORD ROAD SUITE 200 MARLBOROUGH, MA 01501 TEL: (508) 528-2292 FAX: (508) 528-2293 WWW.CRAWFORD-CA.COM		DRAFT NOT FOR CONSTRUCTION	
DATE 4/5/2024 SCALE AS SHOWN DRAWN BY JSD CHECKED BY CJK APPROVED BY CJK 1998.26 CWA JOB# DRAWING: C-002			



- SITE PLAN NOTES:**
1. ORTHOGRAPHIC IMAGERY DOWNLOADED FROM NYS GIS CLEARINGHOUSE. IMAGERY PUBLISHED SEPTEMBER 2023, ACCESSED BY C&A NOVEMBER 2023.
 2. APPROXIMATE PROPERTY BOUNDARIES DOWNLOADED FROM ULSTER COUNTY GIS DATABASE IN AUGUST 2023. SELECT BOUNDARIES ADJUSTED BY C&A TO REFLECT EXPECTED LOCATIONS OF SURVEYED BOUNDARY LINES.
 3. TOPOGRAPHIC CONTOURS DOWNLOADED FROM ULSTER COUNTY GIS DATABASE IN AUGUST 2023. CONTOUR DATA FROM 2014.
 4. EXISTING SITE FEATURES SUCH AS BUILDING LOCATIONS, DRIVEWAYS, ROADS, OVER-EAD UTILITIES, AND TREELINES ESTIMATED FROM ORTHOGRAPHIC IMAGERY.
 5. NAD 83 POTENTIAL WETLAND BOUNDARIES DOWNLOADED FROM NATIONAL WETLANDS INVENTORY. ACCESSED NOVEMBER 2023.
 6. FEMA NF-HI CHECKED IN JANUARY 2024 AND NO FLOOD HAZARDS WERE IDENTIFIED WITHIN THE PROJECT AREA. PROJECT FALLS WITHIN FIRM PANEL #36111C0900F.

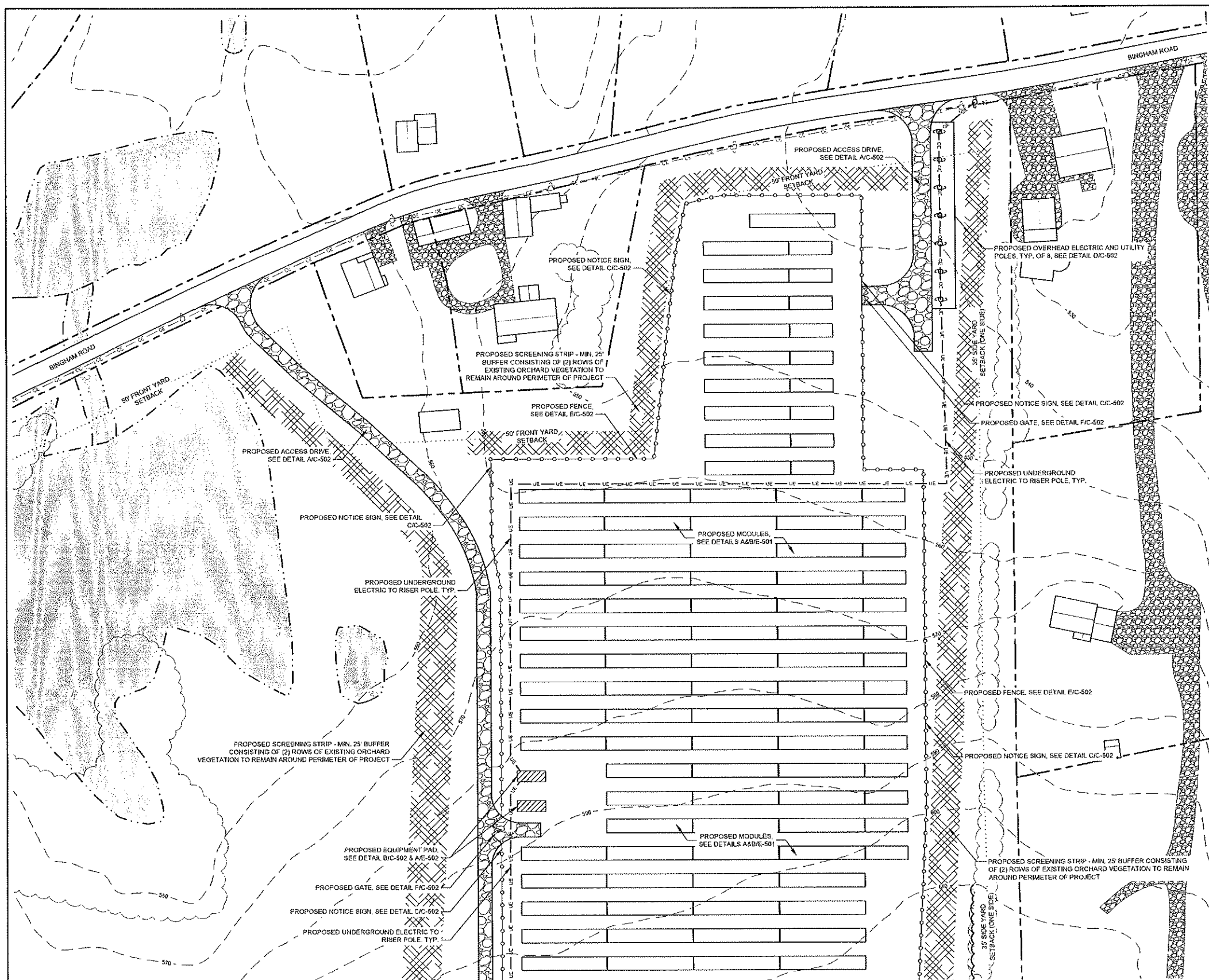
EXISTING CONDITIONS & DEMO
SCALE: 1"=120'



REV #	DESCRIPTION	DATE	BY
ELP MARLBOROUGH SOLAR 335 BINGHAM ROAD TOWN OF MARLBOROUGH, ULSTER COUNTY, NY			
SITE PLAN EXISTING CONDITIONS & DEMO			
 CRAWFORD & ASSOCIATES ENGINEERING & LAND SURVEYING, P.C. 4011 Route 9, Suite 200 - Hudson New York 12534 Tel: (518) 828-2700 Fax: (518) 828-2723 www.crawfordandassociates.com			
DATE: 4/5/2024 DRAWN BY: TSM CHECKED BY: CJK APPROVED BY: CJK			
C&A JOB # 4996.26 DRAWING: C-101			

DRAFT
NOT FOR
CONSTRUCTION

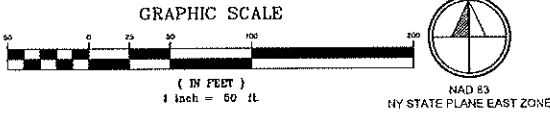
IT IS A VIOLATION OF THE NEW YORK
STATE EDUCATION LAW FOR ANY PERSON
TO ALTER THESE DOCUMENTS IN ANY WAY,
UNLESS ACTING UNDER THE DIRECTION OF
A LICENSED PROFESSIONAL ENGINEER.



- SITE PLAN NOTES:**
1. ORTHOGRAPHIC IMAGERY DOWNLOADED FROM NYS GIS CLEARINGHOUSE. IMAGERY PUBLISHED SEPTEMBER 2023, ACCESSED BY C&A NOVEMBER 2023.
 2. APPROXIMATE PROPERTY BOUNDARIES DOWNLOADED FROM ULSTER COUNTY GIS DATABASE IN AUGUST 2023. SELECT BOUNDARIES ADJUSTED BY C&A TO REFLECT EXPECTED LOCATIONS OF SURVEYED BOUNDARY LINES.
 3. TOPOGRAPHIC CONTOURS DOWNLOADED FROM ULSTER COUNTY GIS DATABASE IN AUGUST 2023. CONTOUR DATA FROM 2014.
 4. EXISTING SITE FEATURES SUCH AS BUILDING LOCATIONS, DRIVEWAYS, ROADS, OVERHEAD UTILITIES, AND TREELINES ESTIMATED FROM ORTHOGRAPHIC IMAGERY.
 5. NMI POTENTIAL WETLAND BOUNDARIES DOWNLOADED FROM NATIONAL WETLANDS INVENTORY, ACCESSED NOVEMBER 2023.
 6. FEMA NFHL CHECKED IN JANUARY 2024 AND NO FLOOD HAZARDS WERE IDENTIFIED WITHIN THE PROJECT AREA. PROJECT FALLS WITHIN FIRM PANEL #36111C0900F.
 7. PROPOSED SOLAR FACILITY LAYOUT FROM DRAWING TITLED "PRELIMINARY PV SITE PLAN" PREPARED BY CS ENERGY DATED MARCH 2, 2023.

- PROPOSED SITE PLAN NOTES:**
1. THE PROPOSED SOLAR ENERGY SYSTEM INSTALLATION SHALL BE PERFORMED BY A QUALIFIED SOLAR INSTALLER.
 2. THE PROPOSED SOLAR ENERGY SYSTEM WILL MEET NEW YORK'S UNIFORM FIRE PREVENTION AND BUILDING CODE AND NATIONAL ELECTRICAL CODE STANDARDS.
 3. PRIOR TO OPERATION OF THE SOLAR ENERGY SYSTEM, WRITTEN PROOF THAT ELECTRICAL CONNECTIONS HAVE BEEN INSPECTED AND APPROVED BY AN APPROPRIATE ELECTRICAL INSPECTION PERSON OR AGENCY, AS DETERMINED BY THE TOWN OF MARLBOROUGH WILL BE PROVIDED.
 4. A MAP SHOWING THE LOCATIONS OF THE MAJOR COMPONENTS OF THE SOLAR SYSTEM INCLUDING THE LOCATION OF THE ARRAY, EQUIPMENT PADS, MAIN TRENCH LOCATIONS, AND DISCONNECTS SHALL BE POSTED AT THE FACILITIES ENTRANCE AND PROVIDED TO THE LOCAL FIRE DEPARTMENT OBLIGATED TO RESPOND TO A CALL AT THE FACILITY.
 5. THE SOLAR PANELS SHALL NOT EXCEED 15' IN HEIGHT.
 6. BUILDING SETBACK REQUIREMENTS SHALL BE AS STATED FOR THE RAG-1 (RURAL AGRICULTURAL DISTRICT) AS SHOWN IN THE ZONING TABLE BELOW. INVERTERS SHALL BE SET BACK THE LESSER OF 100 FEET OR UNTIL THE ELECTROMAGNETIC FIELD (EMF) MEETS BACKGROUND LEVEL AS DETERMINED BY THE WORLD HEALTH ORGANIZATION (WHO).
 7. COMMERCIAL SOLAR FACILITY'S AREA OF USE, AS DEFINED IN CODE SECTION 155-32.2 (B) EQUATES TO APPROXIMATELY 19.4 ACRES.
 8. NONINVASIVE GROUND COVER UNDER AND BETWEEN THE ROWS OF SOLAR PANELS SHALL BE LOW-MAINTENANCE, DROUGHT-RESISTANT, AND NON-FERTILIZER-DEPENDENT. SEE SEEDING PLAN ON C-501 FOR MORE DETAILS.
 9. THE SOLAR ENERGY SYSTEM SHALL BE ENCLOSED BY A MINIMUM 8' TALL PERIMETER FENCE AND SHALL BE AN AGRICULTURAL STYLE FENCE CONSISTING OF WOODEN POSTS AND WOVEN WIRE. WARNING SIGNS WITH THE OWNER'S CONTACT INFORMATION WILL BE PLACED ON THE ENTRANCE AND PERIMETER OF THE FENCING.
 10. A SIGN NO GREATER THAN TWO SQUARE FEET INDICATING THE NAME OF THE FACILITY OWNER(S) AND A TWENTY-FOUR-HOUR EMERGENCY TELEPHONE NUMBER SHALL BE POSTED. IN ADDITION, "NO TRESPASSING" OR OTHER WARNING SIGNS MAY BE POSTED.
 11. THE OWNER WILL BE RESPONSIBLE FOR UPKEEP OF THE SOLAR FACILITY, INCLUDING ALL NECESSARY MAINTENANCE OF THE SYSTEM & PROPERTY INCLUDING MOWING AND TRIMMING IN AND AROUND THE FACILITY.
 12. THE OWNER SHALL PREPARE AND COMPLY WITH A DECOMMISSIONING PLAN AS DETAILED IN THE TOWN OF MARLBOROUGH NY SUPPLEMENTARY REGULATIONS SECTION 155-32.3.
 13. ALL TEMPORARILY STOCKPILED MATERIAL GENERATED BY CONSTRUCTION OF THE FACILITY WILL BE REMOVED FROM THE SITE IN A TIMELY MANNER.

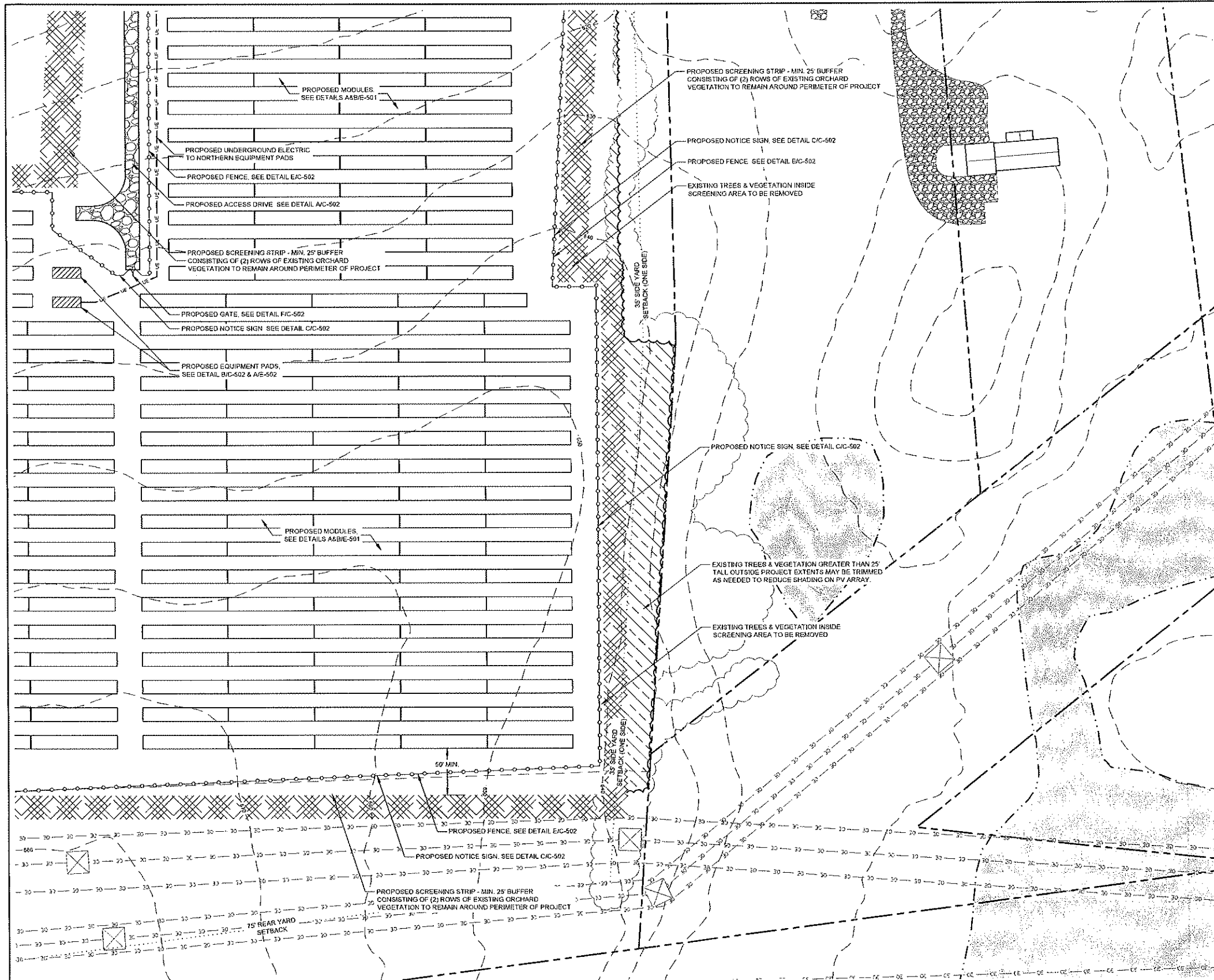
PROPOSED GRADING & UTILITIES - 1
SCALE: 1"=50'



REV #	DESCRIPTION	DATE	BY
ELP MARLBOROUGH SOLAR 335 BINGHAM ROAD			
TOWN OF MARLBOROUGH		ULSTER COUNTY, NY	
SITE PLAN PROPOSED GRADING & UTILITIES - 1			
 CRAWFORD & ASSOCIATES ENGINEERING & LAND SURVEYING, PC 4411 Route 9, Suite 200 Marlton New York 12554 Tel: (518) 818-2700 Fax: (518) 818-2723 www.crawfordandassociates.com			
© COPYRIGHT			
DATE	DRAWN BY	TSS	11/20/2018/11/21/2018/11/22/2018/11/23/2018/11/24/2018/11/25/2018/11/26/2018/11/27/2018/11/28/2018/11/29/2018/11/30/2018/12/1/2018/12/2/2018/12/3/2018/12/4/2018/12/5/2018/12/6/2018/12/7/2018/12/8/2018/12/9/2018/12/10/2018/12/11/2018/12/12/2018/12/13/2018/12/14/2018/12/15/2018/12/16/2018/12/17/2018/12/18/2018/12/19/2018/12/20/2018/12/21/2018/12/22/2018/12/23/2018/12/24/2018/12/25/2018/12/26/2018/12/27/2018/12/28/2018/12/29/2018/12/30/2018/1/1/2019/1/2/2019/1/3/2019/1/4/2019/1/5/2019/1/6/2019/1/7/2019/1/8/2019/1/9/2019/1/10/2019/1/11/2019/1/12/2019/1/13/2019/1/14/2019/1/15/2019/1/16/2019/1/17/2019/1/18/2019/1/19/2019/1/20/2019/1/21/2019/1/22/2019/1/23/2019/1/24/2019/1/25/2019/1/26/2019/1/27/2019/1/28/2019/1/29/2019/1/30/2019/2/1/2019/2/2/2019/2/3/2019/2/4/2019/2/5/2019/2/6/2019/2/7/2019/2/8/2019/2/9/2019/2/10/2019/2/11/2019/2/12/2019/2/13/2019/2/14/2019/2/15/2019/2/16/2019/2/17/2019/2/18/2019/2/19/2019/2/20/2019/2/21/2019/2/22/2019/2/23/2019/2/24/2019/2/25/2019/2/26/2019/2/27/2019/2/28/2019/2/29/2019/2/30/2019/3/1/2019/3/2/2019/3/3/2019/3/4/2019/3/5/2019/3/6/2019/3/7/2019/3/8/2019/3/9/2019/3/10/2019/3/11/2019/3/12/2019/3/13/2019/3/14/2019/3/15/2019/3/16/2019/3/17/2019/3/18/2019/3/19/2019/3/20/2019/3/21/2019/3/22/2019/3/23/2019/3/24/2019/3/25/2019/3/26/2019/3/27/2019/3/28/2019/3/29/2019/3/30/2019/4/1/2019/4/2/2019/4/3/2019/4/4/2019/4/5/2019/4/6/2019/4/7/2019/4/8/2019/4/9/2019/4/10/2019/4/11/2019/4/12/2019/4/13/2019/4/14/2019/4/15/2019/4/16/2019/4/17/2019/4/18/2019/4/19/2019/4/20/2019/4/21/2019/4/22/2019/4/23/2019/4/24/2019/4/25/2019/4/26/2019/4/27/2019/4/28/2019/4/29/2019/4/30/2019/5/1/2019/5/2/2019/5/3/2019/5/4/2019/5/5/2019/5/6/2019/5/7/2019/5/8/2019/5/9/2019/5/10/2019/5/11/2019/5/12/2019/5/13/2019/5/14/2019/5/15/2019/5/16/2019/5/17/2019/5/18/2019/5/19/2019/5/20/2019/5/21/2019/5/22/2019/5/23/2019/5/24/2019/5/25/2019/5/26/2019/5/27/2019/5/28/2019/5/29/2019/5/30/2019/6/1/2019/6/2/2019/6/3/2019/6/4/2019/6/5/2019/6/6/2019/6/7/2019/6/8/2019/6/9/2019/6/10/2019/6/11/2019/6/12/2019/6/13/2019/6/14/2019/6/15/2019/6/16/2019/6/17/2019/6/18/2019/6/19/2019/6/20/2019/6/21/2019/6/22/2019/6/23/2019/6/24/2019/6/25/2019/6/26/2019/6/27/2019/6/28/2019/6/29/2019/6/30/2019/7/1/2019/7/2/2019/7/3/2019/7/4/2019/7/5/2019/7/6/2019/7/7/2019/7/8/2019/7/9/2019/7/10/2019/7/11/2019/7/12/2019/7/13/2019/7/14/2019/7/15/2019/7/16/2019/7/17/2019/7/18/2019/7/19/2019/7/20/2019/7/21/2019/7/22/2019/7/23/2019/7/24/2019/7/25/2019/7/26/2019/7/27/2019/7/28/2019/7/29/2019/7/30/2019/8/1/2019/8/2/2019/8/3/2019/8/4/2019/8/5/2019/8/6/2019/8/7/2019/8/8/2019/8/9/2019/8/10/2019/8/11/2019/8/12/2019/8/13/2019/8/14/2019/8/15/2019/8/16/2019/8/17/2019/8/18/2019/8/19/2019/8/20/2019/8/21/2019/8/22/2019/8/23/2019/8/24/2019/8/25/2019/8/26/2019/8/27/2019/8/28/2019/8/29/2019/8/30/2019/9/1/2019/9/2/2019/9/3/2019/9/4/2019/9/5/2019/9/6/2019/9/7/2019/9/8/2019/9/9/2019/9/10/2019/9/11/2019/9/12/2019/9/13/2019/9/14/2019/9/15/2019/9/16/2019/9/17/2019/9/18/2019/9/19/2019/9/20/2019/9/21/2019/9/22/2019/9/23/2019/9/24/2019/9/25/2019/9/26/2019/9/27/2019/9/28/2019/9/29/2019/9/30/2019/10/1/2019/10/2/2019/10/3/2019/10/4/2019/10/5/2019/10/6/2019/10/7/2019/10/8/2019/10/9/2019/10/10/2019/10/11/2019/10/12/2019/10/13/2019/10/14/2019/10/15/2019/10/16/2019/10/17/2019/10/18/2019/10/19/2019/10/20/2019/10/21/2019/10/22/2019/10/23/2019/10/24/2019/10/25/2019/10/26/2019/10/27/2019/10/28/2019/10/29/2019/10/30/2019/11/1/2019/11/2/2019/11/3/2019/11/4/2019/11/5/2019/11/6/2019/11/7/2019/11/8/2019/11/9/2019/11/10/2019/11/11/2019/11/12/2019/11/13/2019/11/14/2019/11/15/2019/11/16/2019/11/17/2019/11/18/2019/11/19/2019/11/20/2019/11/21/2019/11/22/2019/11/23/2019/11/24/2019/11/25/2019/11/26/2019/11/27/2019/11/28/2019/11/29/2019/11/30/2019/12/1/2019/12/2/2019/12/3/2019/12/4/2019/12/5/2019/12/6/2019/12/7/2019/12/8/2019/12/9/2019/12/10/2019/12/11/2019/12/12/2019/12/13/2019/12/14/2019/12/15/2019/12/16/2019/12/17/2019/12/18/2019/12/19/2019/12/20/2019/12/21/2019/12/22/2019/12/23/2019/12/24/2019/12/25/2019/12/26/2019/12/27/2019/12/28/2019/12/29/2019/12/30/2020/1/1/2020/1/2/2020/1/3/2020/1/4/2020/1/5/2020/1/6/2020/1/7/2020/1/8/2020/1/9/2020/1/10/2020/1/11/2020/1/12/2020/1/13/2020/1/14/2020/1/15/2020/1/16/2020/1/17/2020/1/18/2020/1/19/2020/1/20/2020/1/21/2020/1/22/2020/1/23/2020/1/24/2020/1/25/2020/1/26/2020/1/27/2020/1/28/2020/1/29/2020/1/30/2020/2/1/2020/2/2/2020/2/3/2020/2/4/2020/2/5/2020/2/6/2020/2/7/2020/2/8/2020/2/9/2020/2/10/2020/2/11/2020/2/12/2020/2/13/2020/2/14/2020/2/15/2020/2/16/2020/2/17/2020/2/18/2020/2/19/2020/2/20/2020/2/21/2020/2/22/2020/2/23/2020/2/24/2020/2/25/2020/2/26/2020/2/27/2020/2/28/2020/2/29/2020/2/30/2020/3/1/2020/3/2/2020/3/3/2020/3/4/2020/3/5/2020/3/6/2020/3/7/2020/3/8/2020/3/9/2020/3/10/2020/3/11/2020/3/12/2020/3/13/2020/3/14/2020/3/15/2020/3/16/2020/3/17/2020/3/18/2020/3/19/2020/3/20/2020/3/21/2020/3/22/2020/3/23/2020/3/24/2020/3/25/2020/3/26/2020/3/27/2020/3/28/2020/3/29/2020/3/30/2020/4/1/2020/4/2/2020/4/3/2020/4/4/2020/4/5/2020/4/6/2020/4/7/2020/4/8/2020/4/9/2020/4/10/2020/4/11/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**DRAFT
NOT FOR
CONSTRUCTION**

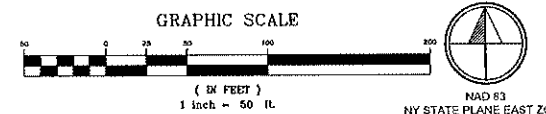
IT IS A VIOLATION OF THE NEW YORK
STATE EDUCATION LAW FOR ANY PERSON
TO ALTER THESE DOCUMENTS IN ANY WAY,
UNLESS ACTING UNDER THE DIRECTION OF
A LICENSED PROFESSIONAL ENGINEER.



- SITE PLAN NOTES:**
1. ORTHOGRAPHIC IMAGERY DOWNLOADED FROM NYS GIS CLEARINGHOUSE. IMAGERY PUBLISHED SEPTEMBER 2023, ACCESSED BY C&A NOVEMBER 2023.
 2. APPROXIMATE PROPERTY BOUNDARIES DOWNLOADED FROM ULSTER COUNTY GIS DATABASE IN AUGUST 2023. SELECT BOUNDARIES ADJUSTED BY C&A TO REFLECT EXPECTED LOCATIONS OF SURVEYED BOUNDARY LINES.
 3. TOPOGRAPHIC CONTOURS DOWNLOADED FROM ULSTER COUNTY GIS DATABASE IN AUGUST 2023. CONTOUR DATA FROM 2014.
 4. EXISTING SITE FEATURES SUCH AS BUILDING LOCATIONS, DRIVEWAYS, ROADS, OVERHEAD UTILITIES, AND TREELINES ESTIMATED FROM ORTHOGRAPHIC IMAGERY.
 5. NW1 POTENTIAL WETLAND BOUNDARIES DOWNLOADED FROM NATIONAL WETLANDS INVENTORY, ACCESSED NOVEMBER 2023.
 6. FEMA NFHL CHECKED IN JANUARY 2024 AND NO FLOOD HAZARDS WERE IDENTIFIED WITHIN THE PROJECT AREA. PROJECT FALLS WITHIN FIRM PANEL #36111C0900F.
 7. PROPOSED SOLAR FACILITY LAYOUT FROM DRAWING TITLED "PRELIMINARY PV SITE PLAN" PREPARED BY CS ENERGY DATED MARCH 2, 2023.

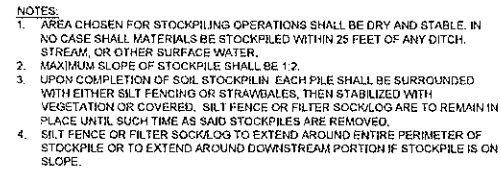
- PROPOSED SITE PLAN NOTES:**
1. THE PROPOSED SOLAR ENERGY SYSTEM INSTALLATION SHALL BE PERFORMED BY A QUALIFIED SOLAR INSTALLER.
 2. THE PROPOSED SOLAR ENERGY SYSTEM WILL MEET NEW YORK'S UNIFORM FIRE PREVENTION AND BUILDING CODE AND NATIONAL ELECTRICAL CODE STANDARDS.
 3. PRIOR TO OPERATION OF THE SOLAR ENERGY SYSTEM, WRITTEN PROOF THAT ELECTRICAL CONNECTIONS HAVE BEEN INSPECTED AND APPROVED BY AN APPROPRIATE ELECTRICAL INSPECTION PERSON OR AGENCY, AS DETERMINED BY THE TOWN OF MARLBOROUGH WILL BE PROVIDED.
 4. A MAP SHOWING THE LOCATIONS OF THE MAJOR COMPONENTS OF THE SOLAR SYSTEM INCLUDING THE LOCATION OF THE ARRAY, EQUIPMENT PADS, MAIN TRENCH LOCATIONS, AND DISCONNECTS SHALL BE POSTED AT THE FACILITIES ENTRANCE AND PROVIDED TO THE LOCAL FIRE DEPARTMENT OBLIGATED TO RESPOND TO A CALL AT THE FACILITY.
 5. THE SOLAR PANELS SHALL NOT EXCEED 15' IN HEIGHT.
 6. BUILDING SETBACK REQUIREMENTS SHALL BE AS STATED FOR THE RA3-1 (RURAL AGRICULTURAL DISTRICT) AS SHOWN IN THE ZONING TABLE BELOW. INVERTERS SHALL BE SET BACK THE LESSER OF 100 FEET OR UNTIL THE ELECTROMAGNETIC FIELD (EMF) MEETS BACKGROUND LEVEL, AS DETERMINED BY THE WORLD HEALTH ORGANIZATION (WHO).
 7. COMMERCIAL SOLAR FACILITY'S AREA OF USE, AS DEFINED IN CODE SECTION 155-32.2 (B) EQUATES TO APPROXIMATELY 19.4 ACRES.
 8. NONINVASIVE GROUND COVER UNDER AND BETWEEN THE ROWS OF SOLAR PANELS SHALL BE LOW-MAINTENANCE, DROUGHT-RESISTANT, AND NON-FERTILIZER-DEPENDENT. SEE SEEDING PLAN ON C-501 FOR MORE DETAILS.
 9. THE SOLAR ENERGY SYSTEM SHALL BE ENCLOSED BY A MINIMUM 8' TALL PERIMETER FENCE AND SHALL BE AN AGRICULTURAL STYLE FENCE CONSISTING OF WOODEN POSTS AND WOVEN WIRE. WARNING SIGNS WITH THE OWNER'S CONTACT INFORMATION WILL BE PLACED ON THE ENTRANCE AND PERIMETER OF THE FENCING.
 10. A SIGN NO GREATER THAN TWO SQUARE FEET INDICATING THE NAME OF THE FACILITY OWNER(S) AND A TWENTY-FOUR-HOUR EMERGENCY TELEPHONE NUMBER SHALL BE POSTED. IN ADDITION, "NO TRESPASSING" OR OTHER WARNING SIGNS MAY BE POSTED.
 11. THE OWNER WILL BE RESPONSIBLE FOR UPKEEP OF THE SOLAR FACILITY, INCLUDING ALL NECESSARY MAINTENANCE OF THE SYSTEM & PROPERTY INCLUDING MOWING AND TRIMMING IN AND AROUND THE FACILITY.
 12. THE OWNER SHALL PREPARE AND COMPLY WITH A DECOMMISSIONING PLAN AS DETAILED IN THE TOWN OF MARLBOROUGH NY SUPPLEMENTARY REGULATIONS SECTION 155-32.23.
 13. ALL TEMPORARILY STOCKPILED MATERIAL GENERATED BY CONSTRUCTION OF THE FACILITY WILL BE REMOVED FROM THE SITE IN A TIMELY MANNER.

PROPOSED GRADING & UTILITIES - 3
SCALE 1"=40'

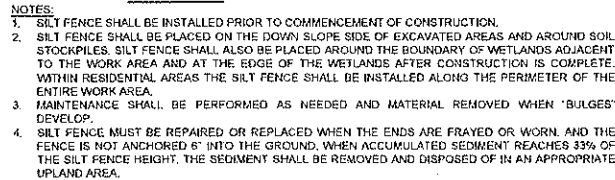


REV #	DESCRIPTION	DATE	BY
	ELP MARLBOROUGH SOLAR 335 BINGHAM ROAD TOWN OF MARLBOROUGH ULSTER COUNTY, NY		
	SITE PLAN PROPOSED GRADING & UTILITIES - 3		
	CRAWFORD & ASSOCIATES ENGINEERING & LAND SURVEYING, P.C. 4411 Route 9, Suite 200, Hudson New York 12534 Tel: (518) 628-2700 Fax: (518) 628-2723 www.crawfordassociates.com		
	DRAFT NOT FOR CONSTRUCTION		
	DATE 4/9/2024	DRAWN BY TSP	CHECKED BY TSP
	SCALE AS SHOWN	DESIGNED BY C&A	APPROVED BY C&A
		C&A JOB # 4996.26	DRAWING C-105

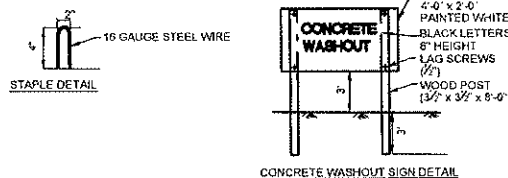
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TO ALTER THESE DOCUMENTS IN ANY WAY,
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SCALE: N.T.S



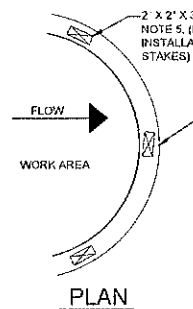
SCALE: N.T.S.



NOTES:

- NOTES:**
1. TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE LOCATED A MINIMUM OF 100 FEET FROM STORM DRAIN INLETS, OPEN DRAINAGE FACILITIES, AND WATER COURSES. EACH FACILITY SHOULD BE LOCATED AWAY FROM CONSTRUCTION TRAFFIC OR ACCESS AREAS TO PREVENT DISTURBANCE OR TRACKING. A SIGN SHOULD BE INSTALLED ADJACENT TO EACH WASHOUT FACILITY TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES.
 2. TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE CONSTRUCTED ABOVE GRADE. TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE CONSTRUCTED AND MAINTAINED IN SUFFICIENT QUANTITY AND SIZE TO CONTAIN ALL LIQUID AND CONCRETE REMAINS FROM GENERATOR TRUCKS.
 3. TEMPORARY WASHOUT FACILITIES SHOULD HAVE A TEMPORARY PIT OR BERMED AREAS OF SUFFICIENT VOLUME TO COMPLETELY CONTAIN ALL LIQUID AND WASTE CONCRETE. EXCESS LIQUID GENERATED DURING WASHING SHOULD BE COLLECTED IN THE PIT.
 4. WASHOUT OF CONCRETE SHOULD BE PERFORMED IN DESIGNATED AREAS ONLY.
 5. ONLY CONCRETE FROM MIXER TRUCK CHUTES SHOULD BE WASHED INTO CONCRETE WASH OUT.
 6. ONCE CONCRETE WASTES ARE WASHED INTO THE DESIGNATED AREA AND ALLOWED TO HARDEN, THE CONCRETE SHOULD BE BROKEN UP, REMOVED, AND DISPOSED OF PER SOLID WASTE MANAGEMENT STANDARDS. DISPOSE OF HARDENED CONCRETE ON A REGULAR BASIS.
 7. TEMPORARY ABOVE GRADE WASHOUT FACILITIES SHOULD BE CONSTRUCTED AS SHOWN IN THIS DETAIL.

SCALE: N.T.S.



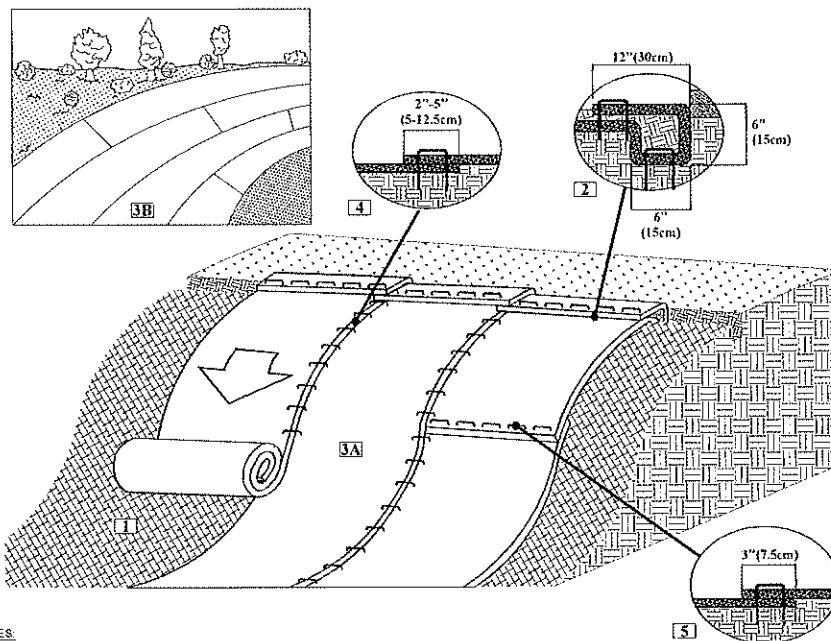
SECTION

PLAN

- INSTALLATION NOTES**
1. COMPOSITE FILTER SOCKS SHALL BE FILTERXX(R) SILT SOCK (TM) OR APPROVED EQUAL.
 2. LAND SURFACE SHOULD BE PREPARED BY MOWING GRASS OR MAKING SOIL OR PAVED SURFACES SMOOTH.
 3. COMPOSITE FILTER SOCKS SHOULD BE PLACED AT AN ANGLE PERPENDICULAR TO STORM WATER FLOW, ACROSS THE SLOPE, SWALE, DITCH OR CHANNEL.
 4. COMPOSITE FILTER SOCKS SHALL BE PLACED ON CONTOURS.
 5. ON SOIL AND VEGETATED SURFACES, UNDER SHEET FLOW CONDITIONS, COMPOSITE FILTER SOCKS SHALL BE STAKED ON 10-FT CENTERS. UNDER CONCENTRATED FLOW CONDITIONS COMPOSITE FILTER SOCKS SHALL BE STAKED ON 5-FT CENTERS.
 6. STAKES SHALL BE PLACED THRU THE CENTER OF THE COMPOSITE FILTER SOCK AND INSTALLED A MINIMUM OF 8 INCHES AND A MAXIMUM OF 12 INCHES INTO THE EXISTING SOIL, LEAVING A MINIMUM STAKE HEIGHT OF 2 INCHES ABOVE THE COMPOSITE FILTER SOCK.
 7. EDGES OF THE COMPOSITE FILTER SOCKS SHALL BE TURNED UPSLOPE TO PREVENT SLOW AROUND THE ENDS OF THE COMPOSITE FILTER SOCKS.
 8. FILTER SOCKS SHALL BE SIZED APPROPRIATELY ACCORDING TO NYSDC STANDARDS & SPECIFICATIONS FOR EROSION & SEDIMENT CONTROL.

- REMOVAL NOTES:**
1. UPON REMOVAL OF THE COMPOSITE FILTER SOCK, THE CONTRACTOR SHALL REMOVE ALL SEDIMENT ACCUMULATION PRIOR TO THE REMOVAL OF THE COMPOSITE FILTER SOCK. THE COMPOSITE FILTER SOCKS SHALL BE REMOVED IN THEIR ENTIRETY.
 2. THE DISTURBED AREA SHALL BE SEEDED, FERTILIZED, AND MULCHED TO ENSURE THE VEGETATIVE COVER IS FULLY RESTORED.
 3. MONITOR THE VEGETATIVE RESTORATION AREA UNTIL EXPOSED AREAS ARE FULLY STABILIZED WITH VEGETATIVE COVER.
 4. THE COMPOSITE MATERIAL MAY BE SPREAD OVER THE LANDSCAPE OR INCORPORATED INTO THE SOIL AT THE END OF THE PROJECT THEREBY INCREASING SOIL QUALITY AND REDUCING WASTE.
 5. THE SOCK MESH SHALL BE PROPERLY DISPOSED.

SCALE: N.T.S.



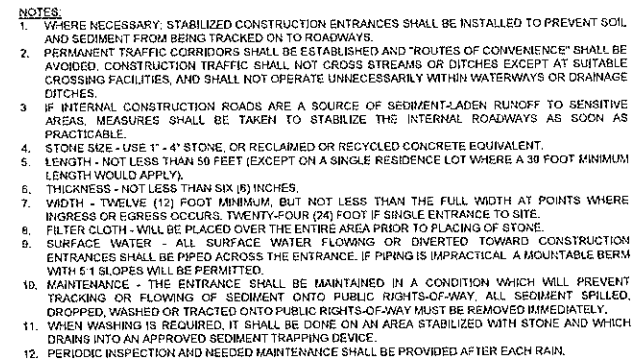
- NOTES**
1. SLOPE STABILIZATION MATTING SHALL BE PLACED ON ALL DISTURBED SLOPES GREATER THAN 10 PERCENT SLOPE.
 2. MATTING SHALL CONSIST OF NORTH AMERICAN GREEN ROLLMAX ROLLED EROSION CONTROL PRODUCT #1505B, WOVEN BIODEGRADABLE JUTE TOP AND BOTTOM NET, 100% STRAW FIBER MATRIX, OR SIMILAR.
 3. ALL ROLLED EROSION CONTROL PRODUCT SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.

SCALE: N.T.S

† Prepare soil before installing rolled

1. Prepare soil before installing repellent control products (RECPs), including any necessary application of lime, fertilizer, and seed.
2. a. Cut along the top of the slope by anchoring the RECPs in a 6"(15cm) deep X 6"(15cm) wide trench with approximately 12" (30cm) of RECPs extended beyond the trench surface. Anchor the RECPs with a row of staples/stapleches approximately 12" (30cm) apart in the bottom of the trench. Backfill and compact the trench after stapling. Apply the repellent to the compacted soil. Fold the remaining 12"(30cm) portion of RECPs back over the seed and compacted soil. Secure RECPs over compacted soil with a row of staples/stapleches spaced approximately 12"(30cm) apart across the width of the RECPs.
3. Roll the RECPs (A) down or (B) horizontally across the slope, RECPs will unroll with the slope side against the soil surface. All RECPs must be securely fastened to soil surface by placing staples/stapleches in appropriate locations as shown in the staple pattern guide.
4. The edges of parallel RECPs must be stapled with approximately 2" - 8" (5-15.2cm) overlap depending on the RECP type.
5. Consecutive RECPs spliced down the slope must be end over end and (3"X15cm) overlap. Staple through overlap area, approximately 12"(30cm) apart across entire RECPs width.

*NOTE:
In loose soil conditions, the use of staple or stake lengths greater than 6"(15cm) may be necessary to properly secure the RECP's.



SCALE N.T.S.

- MULCHING AND SEEDING NOTES:**
1. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICAL IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT NOT MORE THAN 14 DAYS SHALL ELAPSE WITHOUT STABILIZATION AFTER WORK HAS CEASED. ACCEPTABLE TEMPORARY STABILIZATION INCLUDES MULCH, STRAW, HAY, EROSION CONTROL FABRIC, OR OTHER FUNCTIONAL EQUIVALENT.
 2. TEMPORARY EROSION CONTROL PROTECTION BY MULCHING SHALL BE CARRIED OUT WITHIN 14 DAYS OF FILL PLACEMENT TO FINAL FINISHED GRADE IN ORDER TO AVOID ALL POSSIBLE CONTAMINATION OF SURFACE WATERS OR OTHER WATERCOURSES. PLACEMENT OF JUTE MESH OVER THE MULCH IS RECOMMENDED TO PROVIDE POSITIVE "TRACKING" OF THE MULCH AND INCREASED PROTECTION AGAINST EROSION.
 3. DISTURBED AREAS SHALL BE REVEGETATED IN ACCORDANCE WITH RECOMMENDATIONS CONTAINED IN THE LATEST VERSION OF THE NEW YORK GUIDELINES.
 4. UNDISTURBED "HEADQUARTER" AREAS WITHIN THE FENCED IN AREA SHALL BE OVER SEEDD ACCORDING TO THE SEEDING PLAN.

SEEDING PLAN
SEEDING TO REDUCE EROSION AND SEDIMENT TRANSPORT AFTER CONSTRUCTION COMPLETION.

SEED APPLICATION: 250 LBS. PER ACRE MINIMUM.
ERNST SOLAR FARM SEED MIX:

35% FESTUCA RUBRA (CREEPING RED FESCUE)
35% FESTUCA RUBRA SSP. COMMUTATA (CHEWINGS FESCUE)
10% FESTUCA BREVIPILA 'BEACON' (HARD FESCUE, 'BEACON')
10% FESTUCA OVINA VAR. DURRUSCULA (F. LONGIFOLIA, 'JETTY' (HARD FESCUE, 'JETTY')
5% POA PRATENSIS, 'COBSAIR' (KENTUCKY BLUEGRASS, 'COBSAIR')
5% POA PRATENSIS, 'SHAMROCK' (KENTUCKY BLUEGRASS, 'SHAMROCK')

TEMPORARY SEEDING:

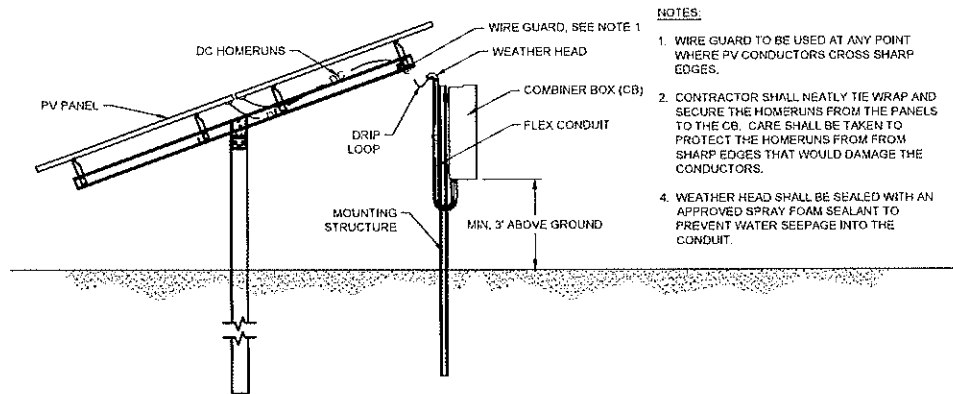
PER THE LATEST VERSION OF THE NEW YORK STANDARDS AND SPECIFICATION FOR EROSION AND SEDIMENT CONTROL *SPRING OR LATE SUMMER OR FALL, THEN SEED THE AREA WITH RYEGRASS AT THIRTY (30) LBS. PER ACRE LATE FALL OR EARLY WINTER, THEN SEED CERTIFIED "AROSTOCK" WINTER RYE AT ONE HUNDRED (100) LBS PER ACRE. MULCH AREA WITH HAY OR STRAW AT TWO (2) TONS PER ACRE.

TURF ESTABLISHMENT:

1. TOPSOIL, SIX INCHES MINIMUM SHALL CONSIST OF NATURAL LOAM TOPSOIL, FREE FROM SUBSOIL. TOPSOIL SHALL BE OF UNIFORM QUALITY, FREE FROM HARD CLODS, STIFF CLAY, HARD PAN, SODS PARTIALLY DISINTEGRATED STONE, OR ANY OTHER UNDESIRABLE MATERIAL.
2. THE CONTRACTOR SHALL PROVIDE NECESSARY WATERING, FERTILIZER, MULCHING, ETC., REQUIRED TO ESTABLISH AND MAINTAIN SEEDED AREAS UNTR. SAME ARE ACCEPTED BY THE OWNER'S FIELD REPRESENTATIVE.

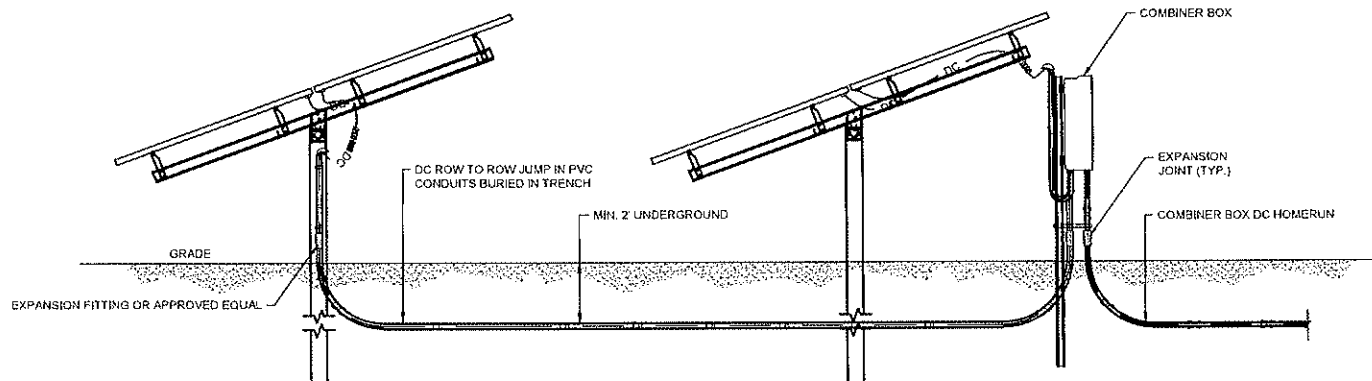
REV #	DESCRIPTION	DATE	BY
ELP MARLBOROUGH SOLAR 335 BINGHAM ROAD			
TOWN OF MARLBOROUGH		ULSTER COUNTY, NY	
CIVIL DETAILS - SHEET 1			
 CRAWFORD & ASSOCIATES ENGINEERING & LAND SURVEYING PC 4411 Route 9, Suite 200, Hudson York NY 12534 www.crawfordandassociates.com Tel: (518) 828-2700 Fax: (518) 828-2723  CDP-19901T			
DATE	DRAWN BY:	IN CHARGE / CHECKED BY:	DRAWING NO.
4/5/2024	FSP	JR	C-501
SCALE	CHECKED BY:	C&A JOB#	
AS SHOWN	GJK	4996_26	

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CONSTRUCTION



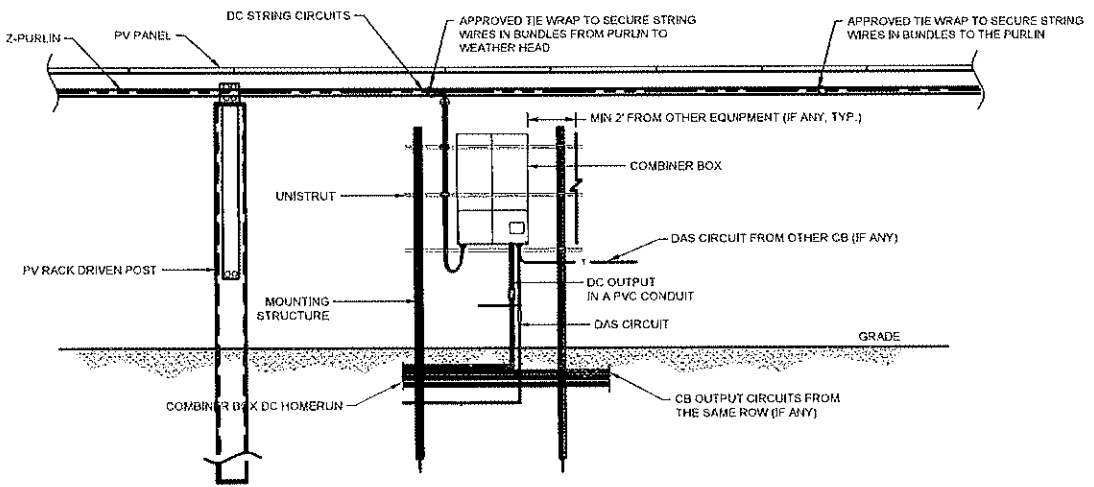
A FIXED TILT DC CONDUCTORS WIRE MANAGEMENT DETAIL
E-501 SCALE: N.T.S.

- NOTES:**
1. WIRE GUARD TO BE USED AT ANY POINT WHERE PV CONDUCTORS CROSS SHARP EDGES.
 2. CONTRACTOR SHALL NEATLY TIE WRAP AND SECURE THE HOMERUNS FROM THE PANELS TO THE CB. CARE SHALL BE TAKEN TO PROTECT THE HOMERUNS FROM SHARP EDGES THAT WOULD DAMAGE THE CONDUCTORS.
 4. WEATHER HEAD SHALL BE SEALED WITH AN APPROVED SPRAY FOAM SEALANT TO PREVENT WATER SEEPAGE INTO THE CONDUIT.

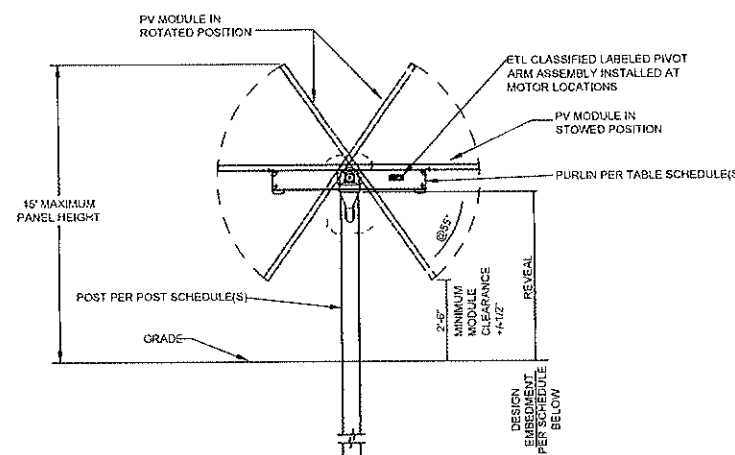


B ROW TO ROW JUMPING DETAIL
E-501 SCALE: N.T.S.

- NOTE:**
1. ELECTRICIANS TO PROVIDE CONDUIT FITTINGS, EXPANSION FITTINGS, AND PROTECTIVE BUSHINGS AS REQUIRED
 2. A WIRE MANAGEMENT TRAY OR APPROVED EQUIVALENT SHALL BE PROVIDED TO HOUSE THE EXPOSED DC CONDUCTORS AT THE COMBINER BOX RACKING STRUCTURE
 3. SPLIT-WIRE LOOM SHALL BE PROVIDED WHERE CABLES COME IN CONTACT WITH SHARP EDGES. IN CASE OF LARGER GAPS BETWEEN RACKING TABLES, AND FOR ADDITIONAL PROTECTION OF EXPOSED PV WIRES AT THE COMBINER BOX MOUNTING STRUCTURE
 4. COMMUNICATION CONDUITS SHALL BE PLACED AT LEAST 1" FROM EITHER AC OR DC CIRCUITS



C EQUIPMENT MOUNTING DETAIL FRONT VIEW
E-501 SCALE: N.T.S.

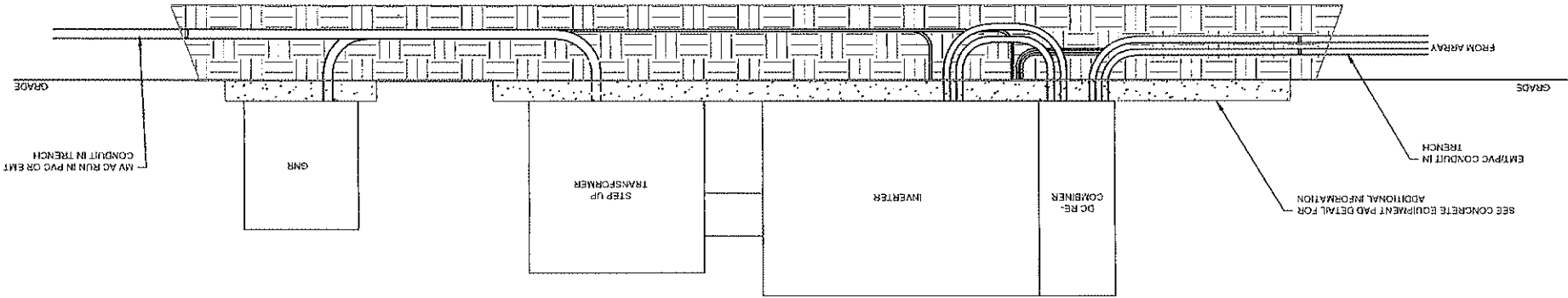


D TRACKER DETAIL, ALT.
E-501 SCALE: N.T.S.

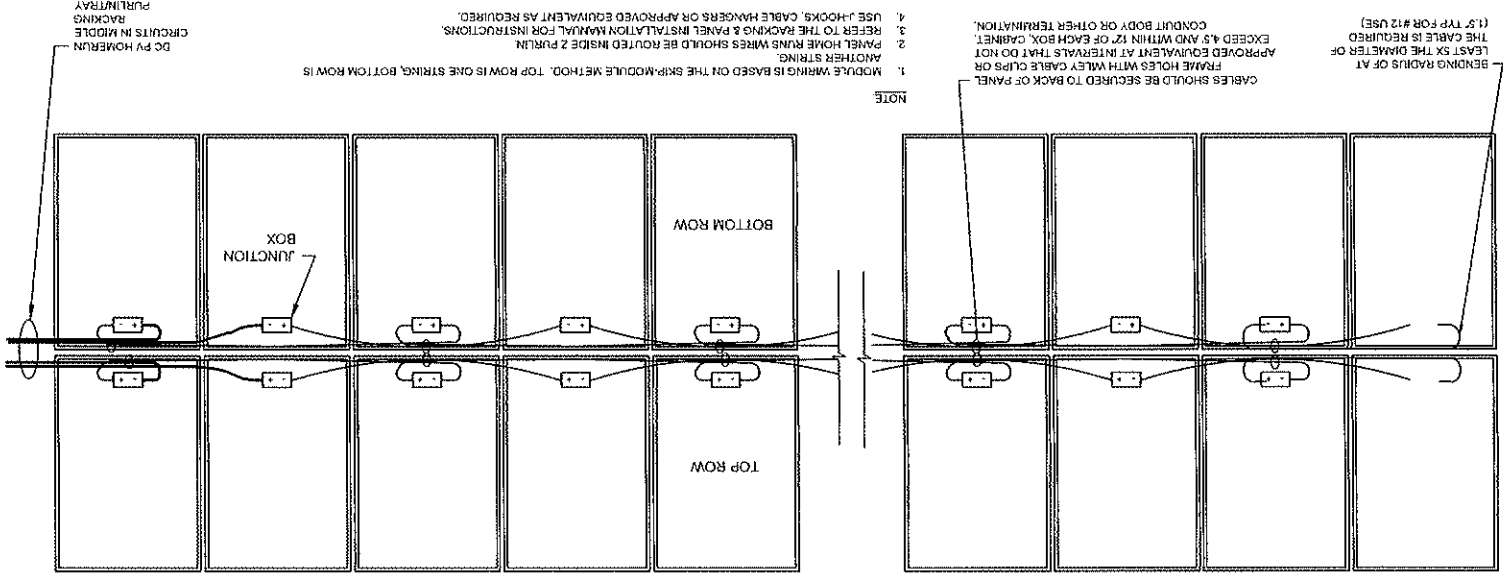
POST SCHEDULE						
MODULE INFORMATION			POST INFORMATION			
NAME	LENGTH (mm)	TYPE	SIZE	REVEAL TYPICAL	REVEAL MAXIMUM	DESIGN EMBEDMENT
HANNA G PEAR DUOL-OS-2-315	2416	A	ROLLED C8X3	4'-9"	8'-16"	10'-0"

- ELECTRICAL DETAIL NOTES**
1. ALL ELECTRICAL DETAILS SHOWN HAVE BEEN INCLUDED FOR GENERAL REFERENCE AND DOES NOT REPRESENT THE SPECIFIC DESIGN OF ALL ELECTRICAL AND/OR RACKING COMPONENTS. THE ELECTRICAL DESIGN AND CONSTRUCTION DRAWINGS SHALL BE REFERENCED FOR ALL ELECTRICAL COMPONENTS DURING CONSTRUCTION OF THIS PROJECT.

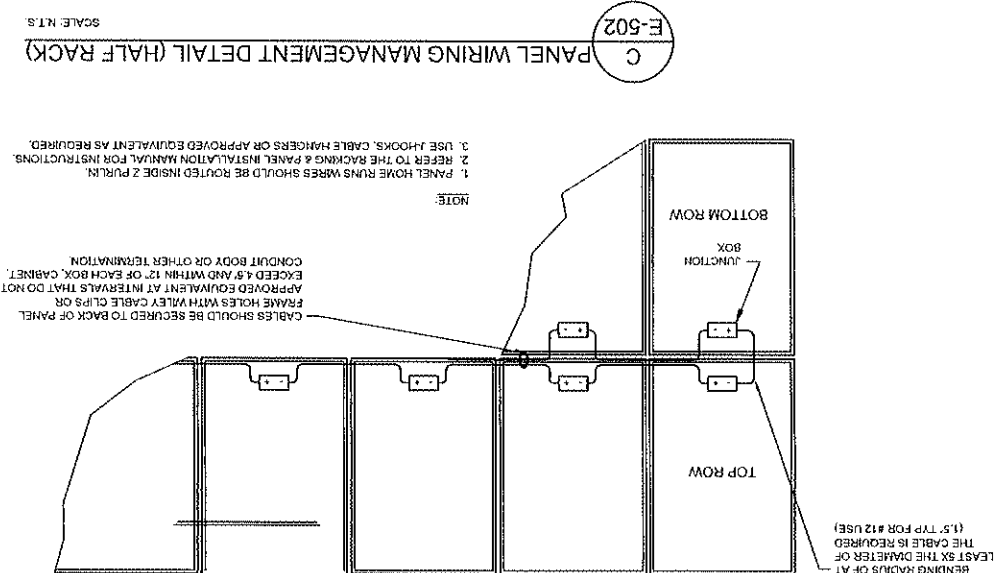
REV #	DESCRIPTION	DATE	BY
ELP MARLBOROUGH SOLAR 335 BINGHAM ROAD TOWN OF MARLBOROUGH, ULSTER COUNTY, NY			
ELECTRICAL DETAILS - SHEET 1			
CRAWFORD & ASSOCIATES ENGINEERING & LAND SURVEYING, P.C. 4111 Route 9, Suite 200, Hudson, New York 12534 Tel: (518) 838-2700 Fax: (518) 838-2723 www.crawfordnaassociates.com			
DATE: 4/15/2024 SCALE: AS SHOWN		DRAWN BY: TSS CHECKED BY: CJK APPROVED BY: DJK	
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A
EQUIPMENT PAD WIRING MANAGEMENT
SCALE: N.T.S.



B
PANEL WIRING MANAGEMENT DETAIL (FULL RACK WITH SKIP WIRING)
SCALE: N.T.S.



C
PANEL WIRING MANAGEMENT DETAIL (HALF RACK)
SCALE: N.T.S.

ELECTRICAL DETAIL NOTES:
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ELP MARLBOROUGH SOLAR
335 BINGHAM ROAD
TOWN OF MARLBOROUGH
ULSTER COUNTY, NY

ELECTRICAL DETAILS - SHEET 2

CRAWFORD & ASSOCIATES
ENGINEERING & LAND SURVEYING, P.C.
4411 Route 9, Suite 200, Marlborough, NY 12534
Tel: (518) 828-2700
Fax: (518) 828-2700
www.crawfordassociates.com
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REV #	DESCRIPTION	DATE	BY

DATE	DESIGNED BY	SCALE	AS SHOWN	APPROVED BY	CLM
4/9/2024					

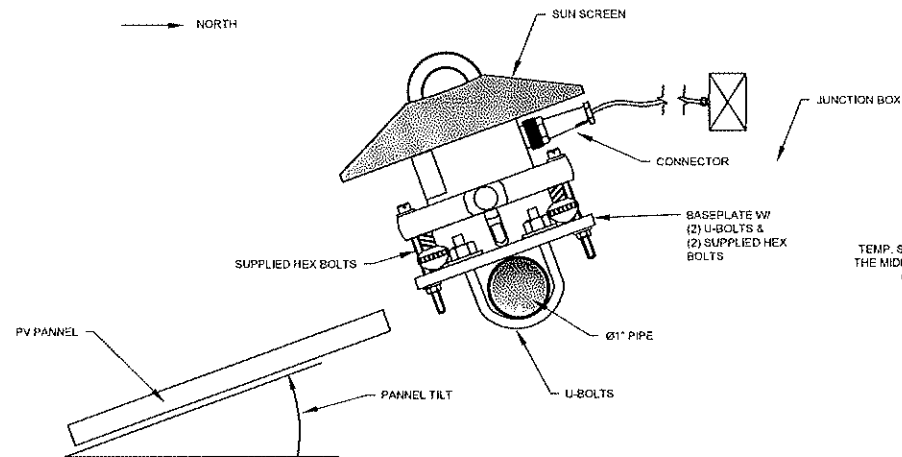
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E-502

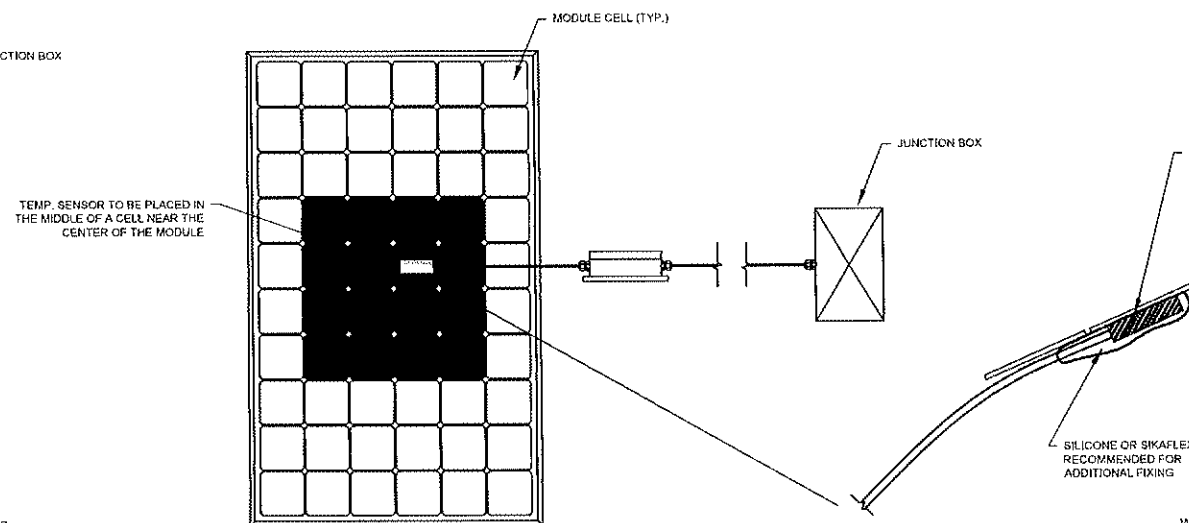
DRAWING



PYRANOMETER NOTE

1. FOR POA PYRANOMETERS, ROTATE ASSEMBLY SO THAT THE BASEPLATE IS PARALLEL TO THE PV ARRAY AND FASTEN SNUGLY. FOR GHI PYRANOMETER, ROTATE ASSEMBLY SO THAT THE BASEPLATE IS PARALLEL TO THE GROUND.
2. PLACE PYRANOMETER ONTO THE MOUNTING BRACKET BASEPLATE AND ENSURE THEY ARE PARALLEL TO EACH OTHER USING THE LEVELING METER.
3. ELECTRICAL DETAILS REFERS TO DAS INFORMATION. IF THE SENSOR IS THE LAST DEVICE IN A MODBUS CHAIN WHICH CONSISTS OF 3 OR MORE DEVICES, THEN ADD A 120Ω RESISTOR BETWEEN THE DATA+ AND DATA- WIRES

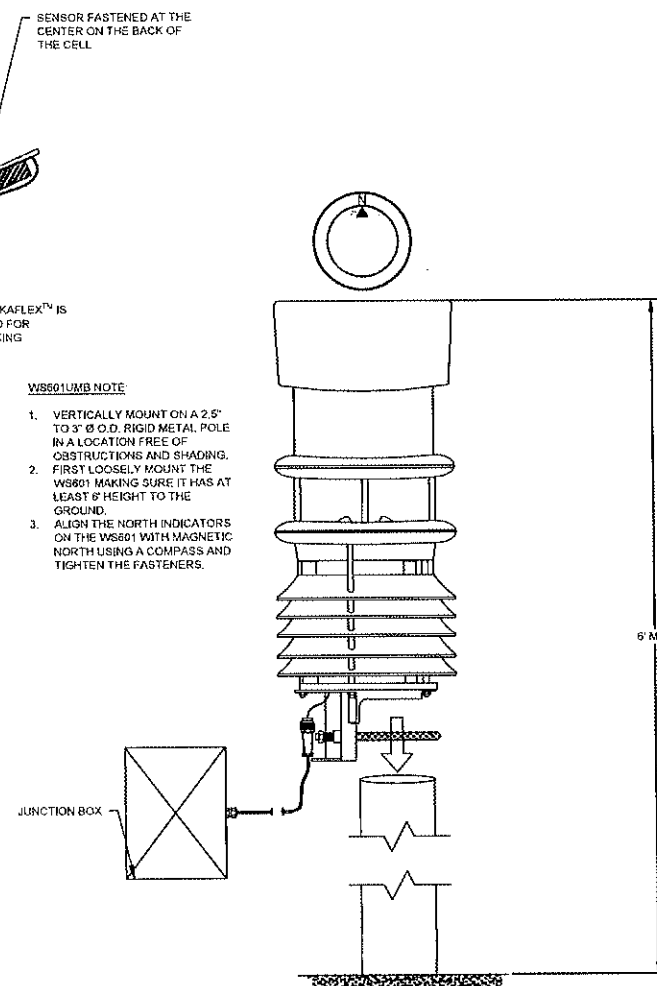
A PYRANOMETER (POA) INSTALLATION
E-503 SCALE: N.T.S.



TEMPERATURE SENSOR NOTE

1. THE SENSOR SHALL BE PLACED ON A MODULE THAT IS AT LEAST 1 MODULE FROM THE EDGE OF THE ARRAY ON ALL SIDES WHEN POSSIBLE.
2. CLEAN THE CELL BEFORE ATTACHING A SENSOR ONTO IT.

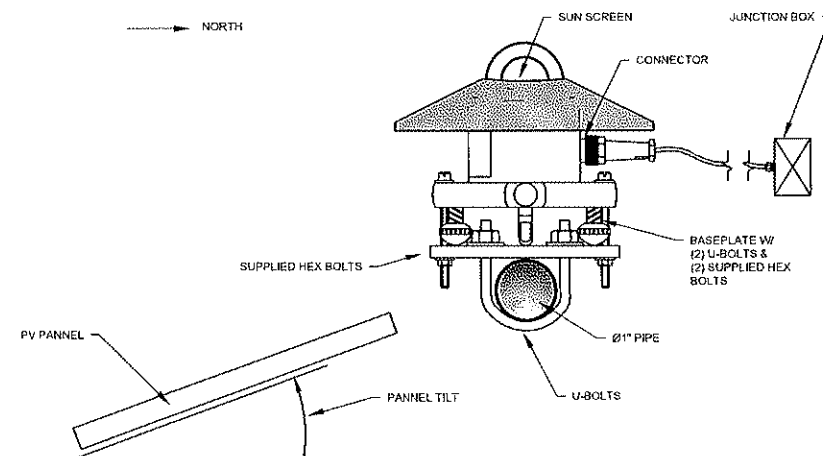
C MODULE TEMPERATURE SENSOR INSTALLATION
E-503 SCALE: N.T.S.



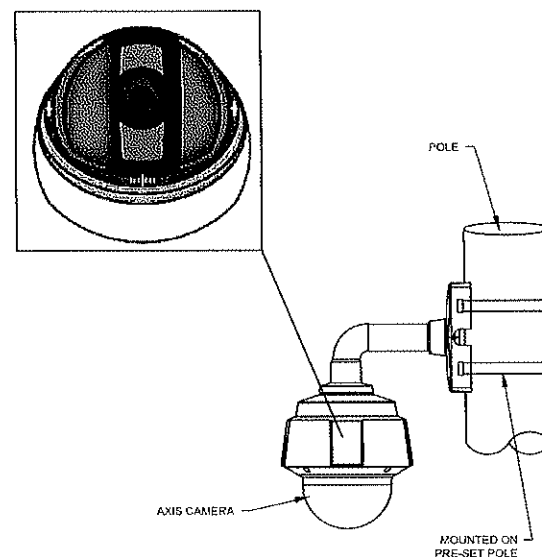
WS601USM NOTE

1. VERTICALLY MOUNT ON A 2.5" TO 3" Ø O.D. RIGID METAL POLE IN A LOCATION FREE OF OBSTRUCTIONS AND SHADING.
2. FIRST LOOSELY MOUNT THE WS601 MAKING SURE IT HAS AT LEAST 6" HEIGHT TO THE GROUND.
3. ALIGN THE NORTH INDICATORS ON THE WS601 WITH MAGNETIC NORTH USING A COMPASS AND TIGHTEN THE FASTENERS.

E LUFFT WS601USM INSTALLATION
E-503 SCALE: N.T.S.



B PYRANOMETER (GHI) INSTALLATION
E-503 SCALE: N.T.S.



D AXIS CAMERA INSTALLATION
E-503 SCALE: N.T.S.

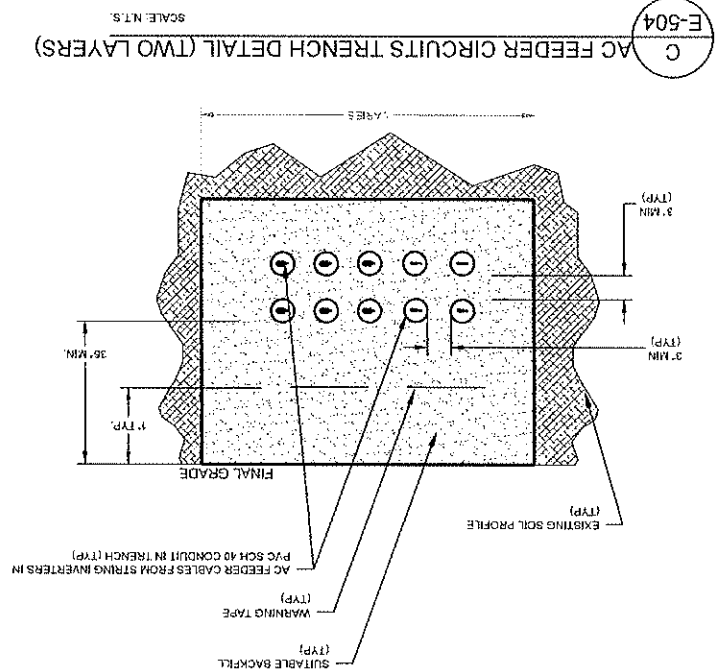
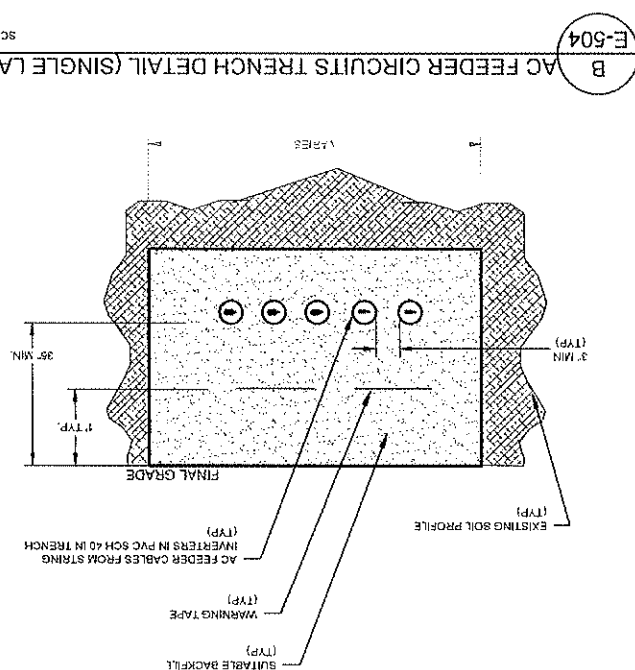
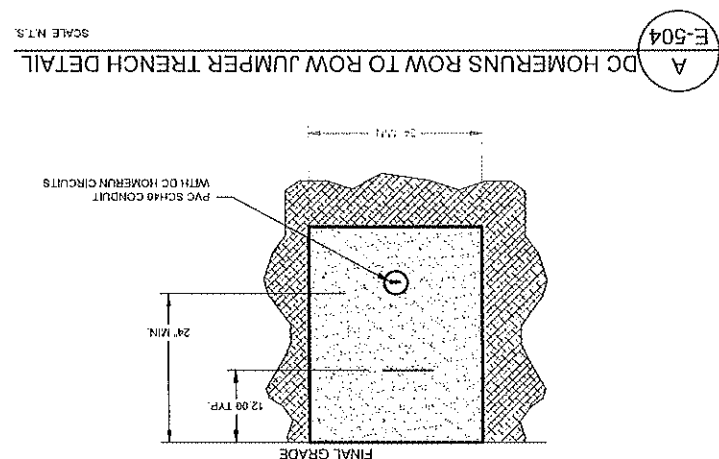
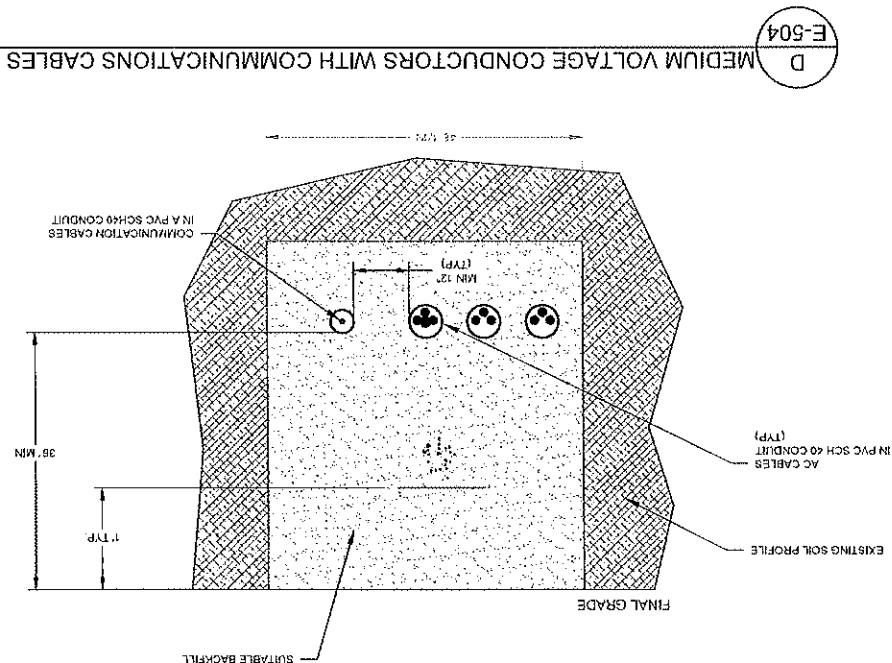
ELECTRICAL DETAIL NOTES

1. ALL ELECTRICAL DETAILS SHOWN HAVE BEEN INCLUDED FOR GENERAL REFERENCE AND DOES NOT REPRESENT THE SPECIFIC DESIGN OF ALL ELECTRICAL AND/OR RACKING COMPONENTS. THE ELECTRICAL DESIGN AND CONSTRUCTION DRAWINGS SHALL BE REFERENCED FOR ALL ELECTRICAL COMPONENTS DURING CONSTRUCTION OF THIS PROJECT.

REV #	DESCRIPTION	DATE	BY
ELP MARLBOROUGH SOLAR 335 BINGHAM ROAD TOWN OF MARLBOROUGH, ULSTER COUNTY, NY			
ELECTRICAL DETAILS - SHEET 3			
CRAWFORD & ASSOCIATES ENGINEERING & LAND SURVEYING, P.C. 6411 Route 9, Suite 200, Hudson New York 12534 (41) (518) 626-2700 fax: (518) 626-2723 www.crawfordassociates.com © COPYRIGHT			
DATE: 4/25/2024		DESIGNED BY: TSP	C&A JOB#
SCALE: AS SHOWN		CHECKED BY: C.K.	4996.26
		APPROVED BY: C.K.	DRAWING: E-503

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CONSTRUCTION

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A LICENSED PROFESSIONAL ENGINEER.



ELECTRICAL DETAIL NOTES

1. ALL ELECTRICAL DETAILS SHOWN HAVE BEEN INCLUDED FOR GENERAL REFERENCE AND DOES NOT REPRESENT THE SPECIFIC DESIGN OF ALL ELECTRICAL AND/OR WORKING COMPONENTS. THE ELECTRICAL DESIGN AND CONSTRUCTION DRAWINGS SHALL BE REFERENCED FOR ALL ELECTRICAL COMPONENTS DURING CONSTRUCTION OF THIS PROJECT.

NOTES:

1. ALL AC CONDUITS TO BE BURIED AT A MINIMUM OF 3'. ALL DC CONDUITS TO BE BURIED AT A MINIMUM OF 2'.
2. COMMUNICATION CABLES TO BE A MINIMUM OF 12" AWAY FROM DC AND AC CABLES.
3. WARNING TAPE TO BE METALLIC WITH THE PHRASE "CAUTION: BURIED ELECTRICAL LINES".
4. MANHOLE TO BE FREE FROM ANY ROCKS OR OTHER DETRIMENTOUS OBJECTS THAT ARE 3/4" IN DIAMETER OR GREATER.
5. ELECTRICIANS TO PROVIDE MATING FITTINGS AND EXPANSION COUPLINGS BY THE SAME MANUFACTURER AS THE CONDUIT

[illegible]