

Site Plans

Issued for	Site Plan Application
Date Issued	August 9, 2024
Latest Issue	August 9, 2024

Orchards on Hudson Residential Development

103-107 Dock Road
Marlboro, New York 12542

Owner/Applicant

SDL Marlboro, LLC
561 Seventh Avenue
Suite 903
New York, New York 10018

**Assessor's Map: Section 109.1 Block 3 Lots 13, 14.2 and 15
Section 108.4 Block 3 Lots 29.1**

School District

Marlboro Central School District



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Reference Drawings

No.	Drawing Title	Latest Issue
SV 1	Boundary & Topographic Survey Overall Boundary	June 3, 2024
SV 2	Boundary and Topographic Plan	June 3, 2024
SV 3	Boundary and Topographic Plan	June 3, 2024

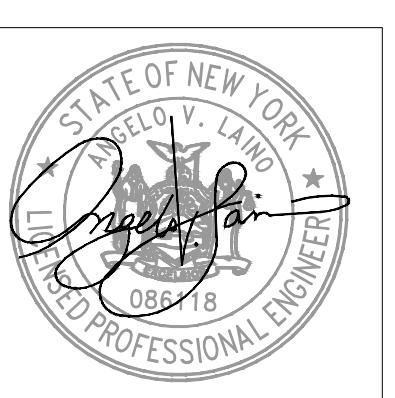
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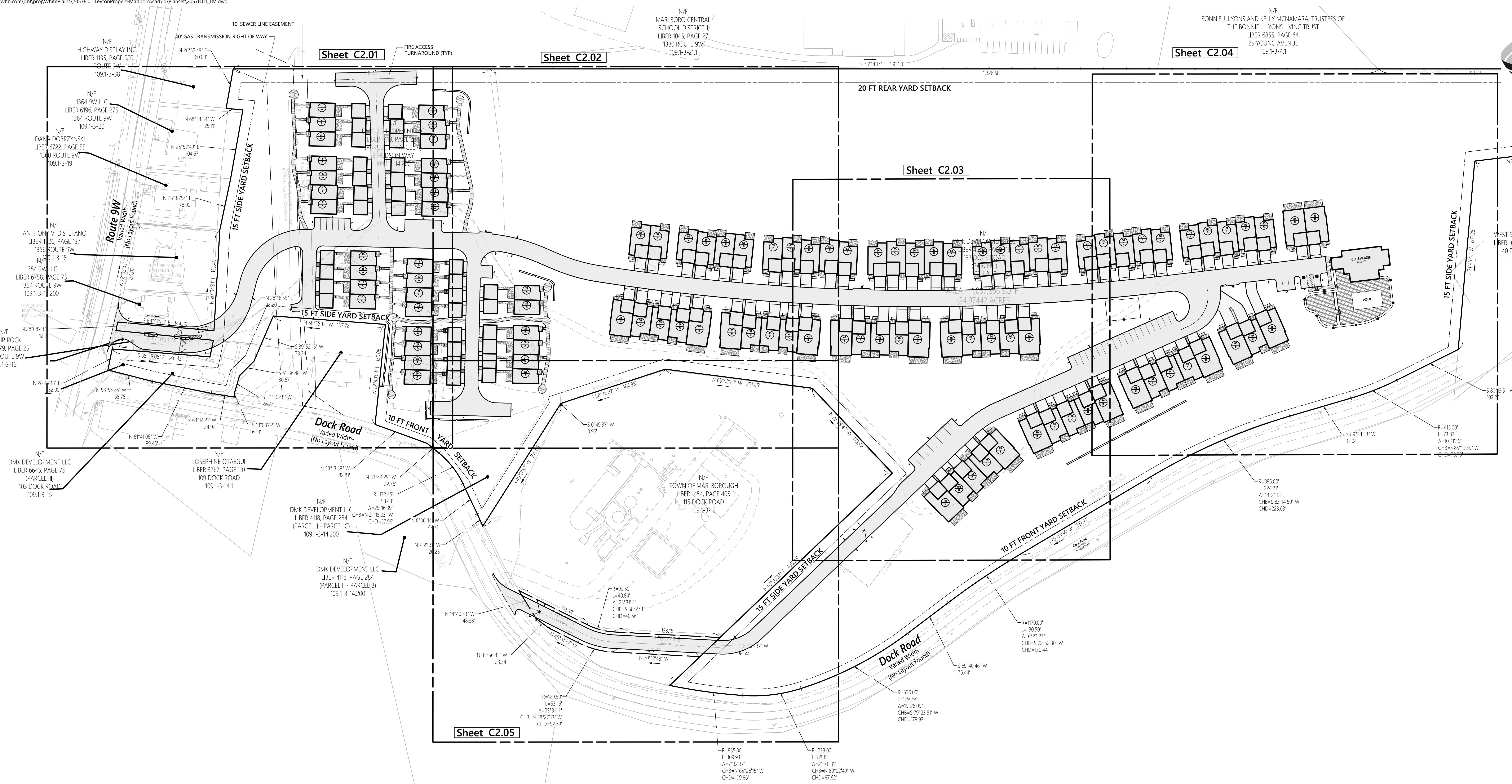


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Geotech
Tectonic Engineering
Consultants, Geologists &
Land Surveyors, D.P.C.
1279 Route 300, 2nd Floor
Newburgh, NY 12550
845.5667.6656

Architect
Sun Homes
575 Lexington Avenue, 14th Floor
New York, NY 10022
914.875.2738





Zoning Summary Chart

Zoning District(S):	Residential (R)
Proposed Use(S):	Townhomes
Existing Use(S):	Vacant / Residences
School District:	Marlboro Central School District
Zoning Regulation Requirements	Required ¹ Provided
MINIMUM LOT AREA ²	7,500 SF 25.0 Acres
FRONT YARD SETBACK	10 Feet 98.90 Feet
SIDE YARD SETBACK (ONE/BOTH)	10/25 Feet 18.30 Feet
REAR YARD SETBACK	20 Feet 50.50 Feet
MINIMUM LOT WIDTH	75 Feet 1,893 Feet
MINIMUM LOT DEPTH	100 Feet 559 Feet
MAXIMUM BUILDING HEIGHT	2 1/2 Stories / 35 Feet 2 1/2 Stories / 35 Feet
MAXIMUM BUILDING COVERAGE	30.0 % 14.0 %

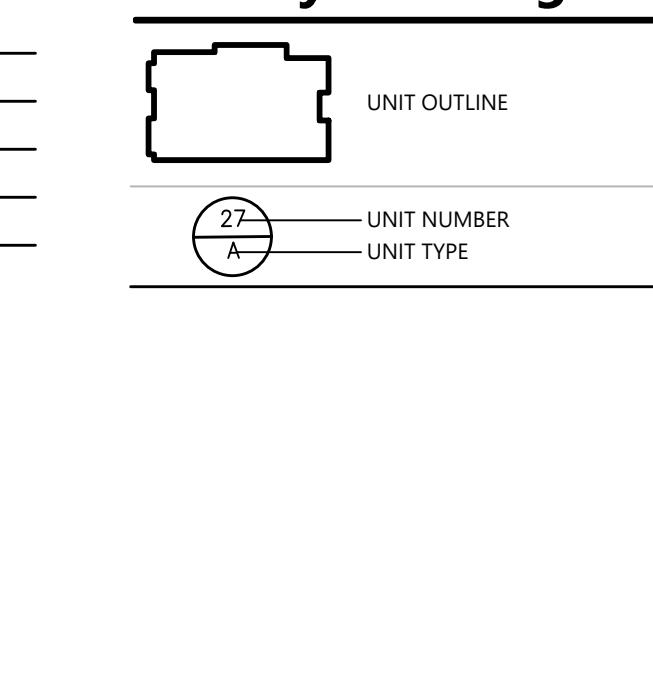
¹ Zoning regulation requirements as specified in "Code of the Town of Marlboro" adopted through April 12, 2021.

² Minimum lot area with public water and sewer and natural gas.

UNIT SUMMARY

Unit	Provided
A	32
B	18
C	53
TOTAL	103

Unit Symbol Legend



Parking Summary Chart

Description	Size		Spaces	
	Required	Provided	Required	Provided
STANDARD SPACES	162 SF (MIN)	9x18 (162 SF)	154*	206**
VISITOR PARKING SPACES *	162 SF (MIN)	9x18 (162 SF)	15	46
STANDARD ACCESSIBLE SPACES ***	8x19 (MIN)	10x19	2	2
TOTAL SPACES			171**	254

* BASED ON SECTION 155-27 (TABLE 3) OF THE TOWN CODE. RESIDENTIAL CLUSTER USES ARE REQUIRED TO PROVIDE 2 SPACES EACH FOR VISTOR PARKING ROUNDED DOWN TO A WHOLE NUMBER, PLUS 10% OF ALL OFF-STREET PARKING FOR VISTOR PARKING
 ** EACH DWELLING UNIT HAS A DEDICATED ENCLOSED GARAGE PROVIDING TWO STANDARD PARKING SPACES
 *** 2 AD STALLS REQUIRED FOR 26-50 TOTAL PARKING STALLS PROVIDED (ONLY APPLIED TO SURFACE VISITOR PARKING)

Density Calculations

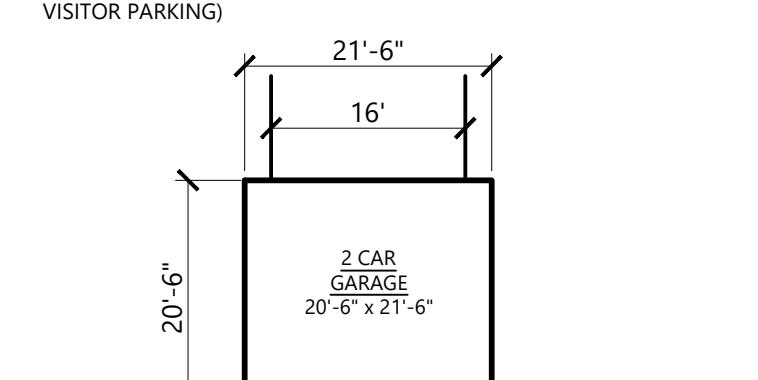
PROPOSED DENSITY:
 162 UNITS / 25 ACRES = 4.12 UNITS / ACRE
 4.12 UNITS / ACRE = 6 UNITS / ACRE OK
 *SECTION 155-30 STATES MAXIMUM DENSITY SHALL BE SIX DWELLING UNITS PER ACRE

Sign Summary

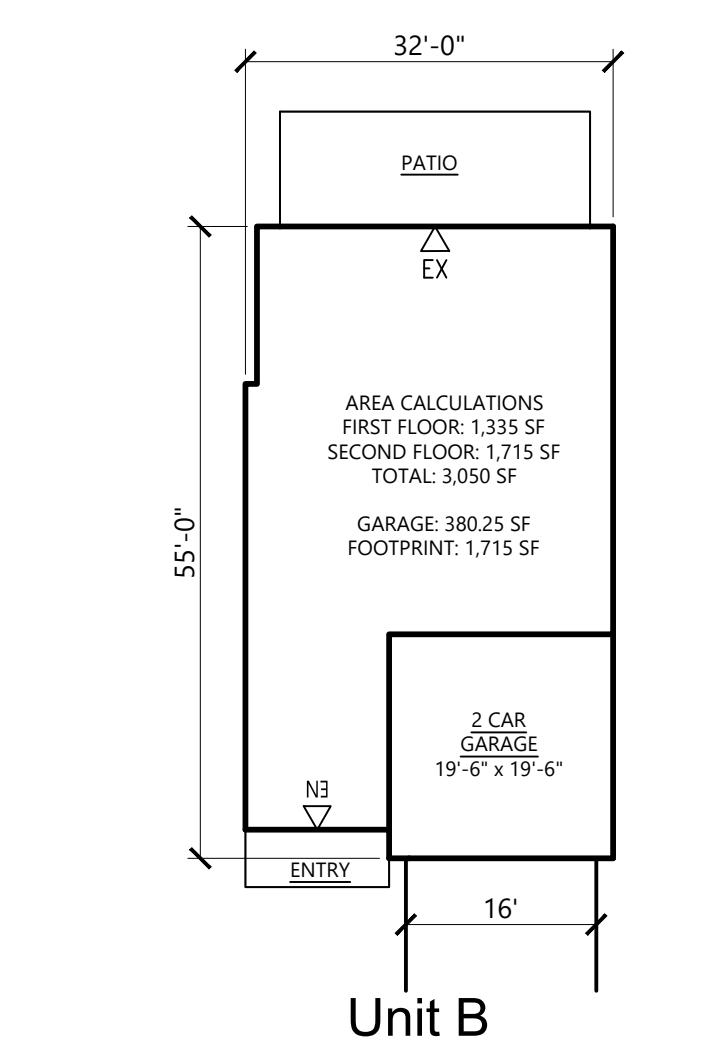
M.U.T.C.D. Number	Specification	Width	Height	Desc.
R1-1	STOP	30"	30"	
R2-1	SPEED LIMIT 20	18"	24"	
RS-1	DO NOT ENTER	30"	30"	
R7-1	NO PARKING ANY TIME	12"	18"	
R7-8	RESERVED PARKING	12"	18"	

Notes

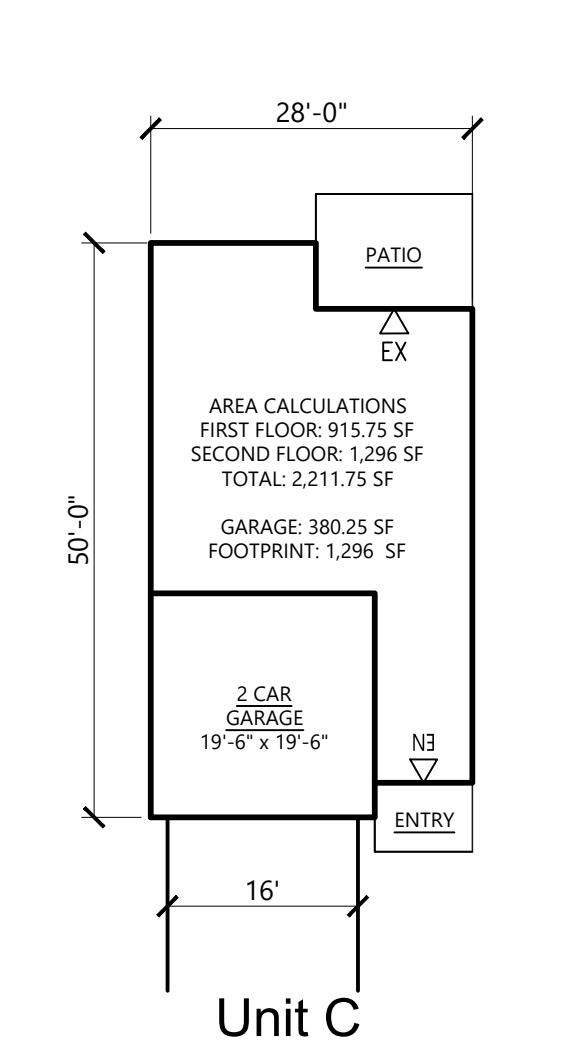
- General
 1. MAIL FOR ALL UNITS TO BE IN LOCATED IN THE CLUBHOUSE
 2. PRIVATE TRASH PICKUP FOR EACH UNIT



UNIT A
 AREA CALCULATIONS:
 FIRST FLOOR: 819 SF
 SECOND FLOOR: 700 SF
 TOTAL: 1519 SF
 FOOTPRINT: 819 SF



UNIT B
 AREA CALCULATIONS:
 FIRST FLOOR: 915.75 SF
 SECOND FLOOR: 515 SF
 TOTAL: 1,430.75 SF
 GARAGE: 380.25 SF
 FOOTPRINT: 1,715 SF



UNIT C
 AREA CALCULATIONS:
 FIRST FLOOR: 915.75 SF
 SECOND FLOOR: 515 SF
 TOTAL: 1,430.75 SF
 GARAGE: 380.25 SF
 FOOTPRINT: 1,296 SF

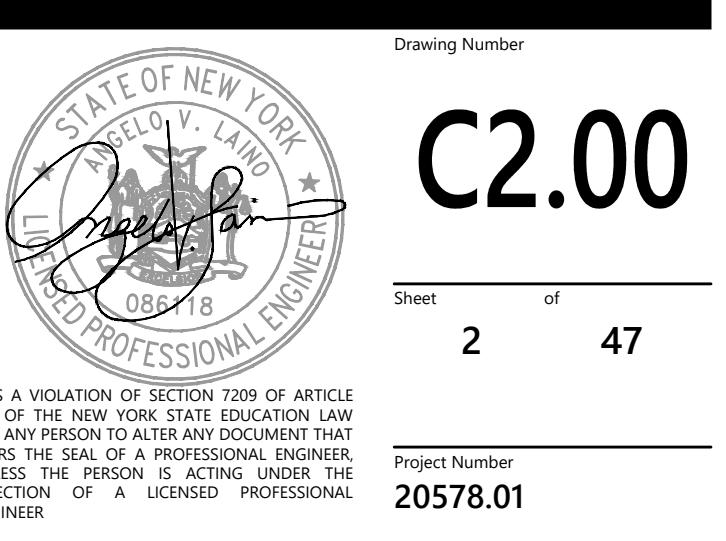
Orchards on Hudson Residential

Dock Road
Marlborough, NY

No.	Revision	Date	Appd

Designed by DB Checked by AL
 Issued for Site Plan Approval Date August 9, 2024

Not Approved for Construction
 Overall Layout and Materials Plan



C2.00

Sheet 2 of 47
 Project Number 20578.01

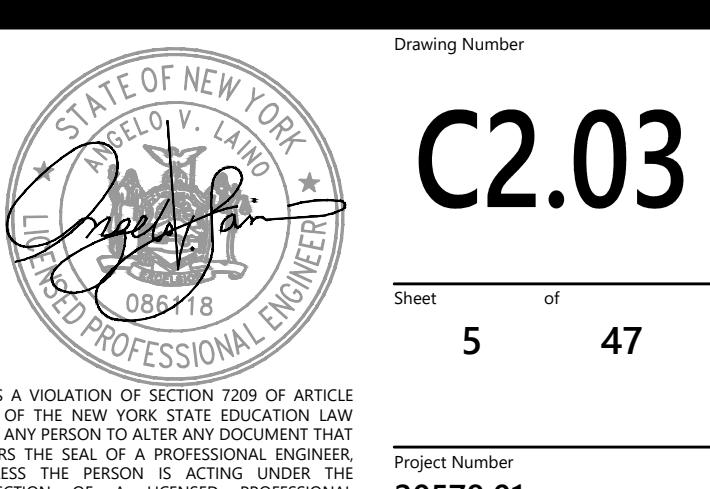


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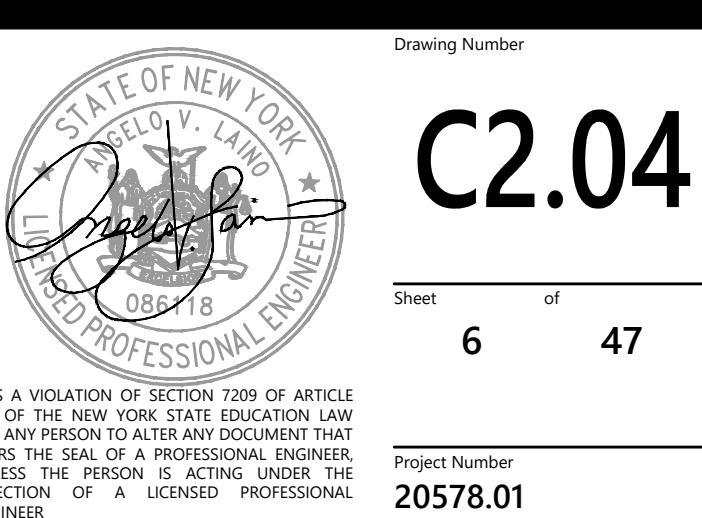


Orchards on Hudson
Residential
Dock Road
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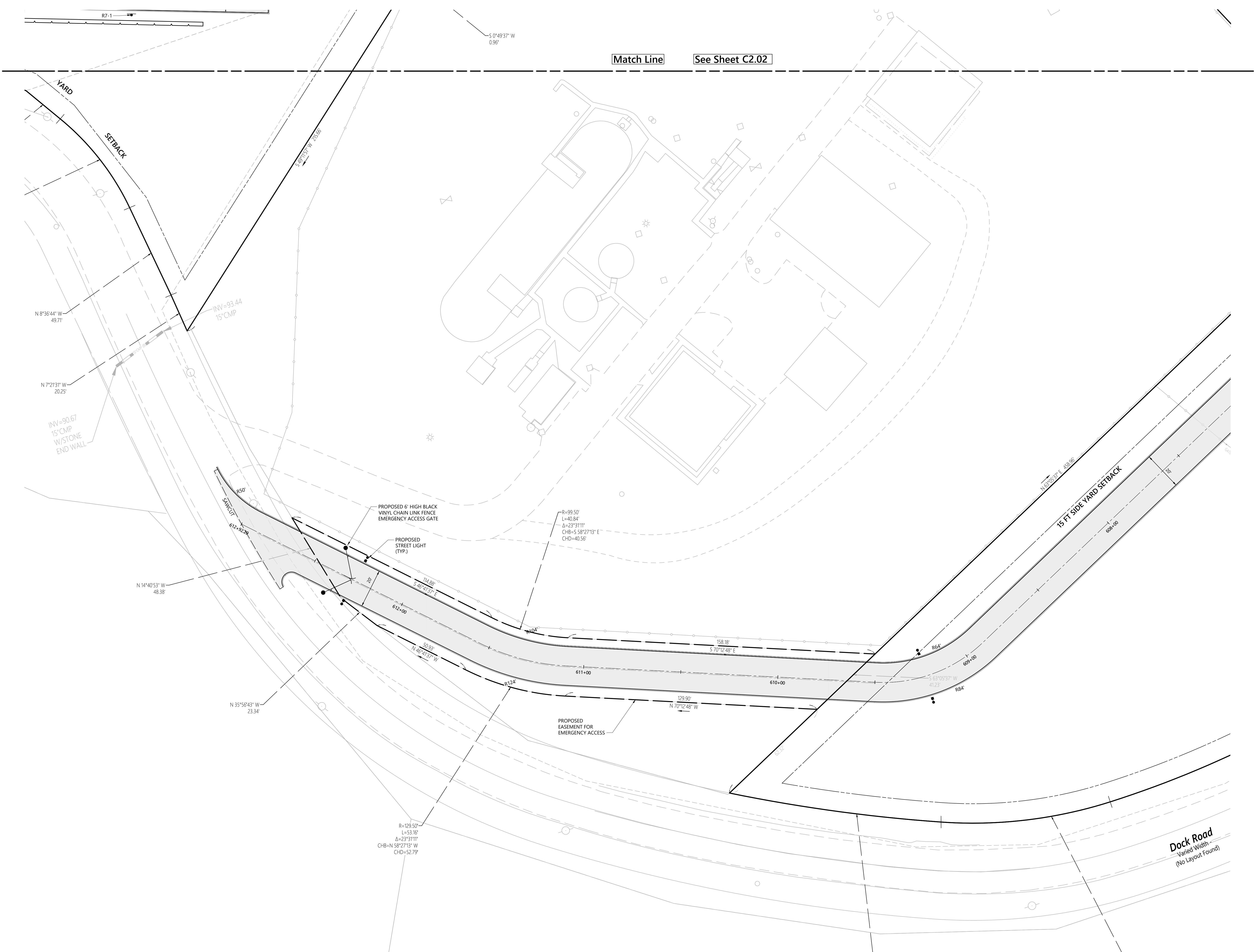
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Drawing Title Layout and Materials Plan
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C2.04

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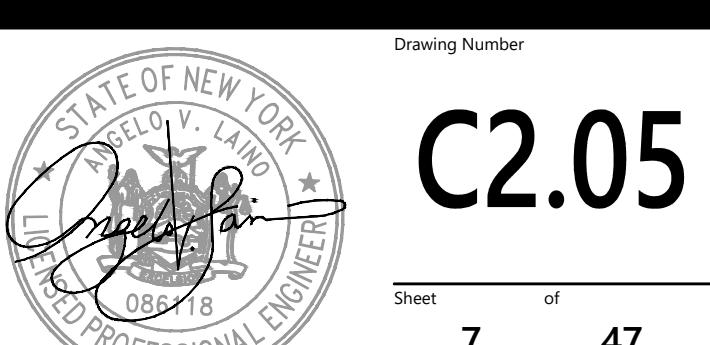
Orchards on Hudson
Residential
Dock Road
Marlborough, NY

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Layout and Materials
Plan

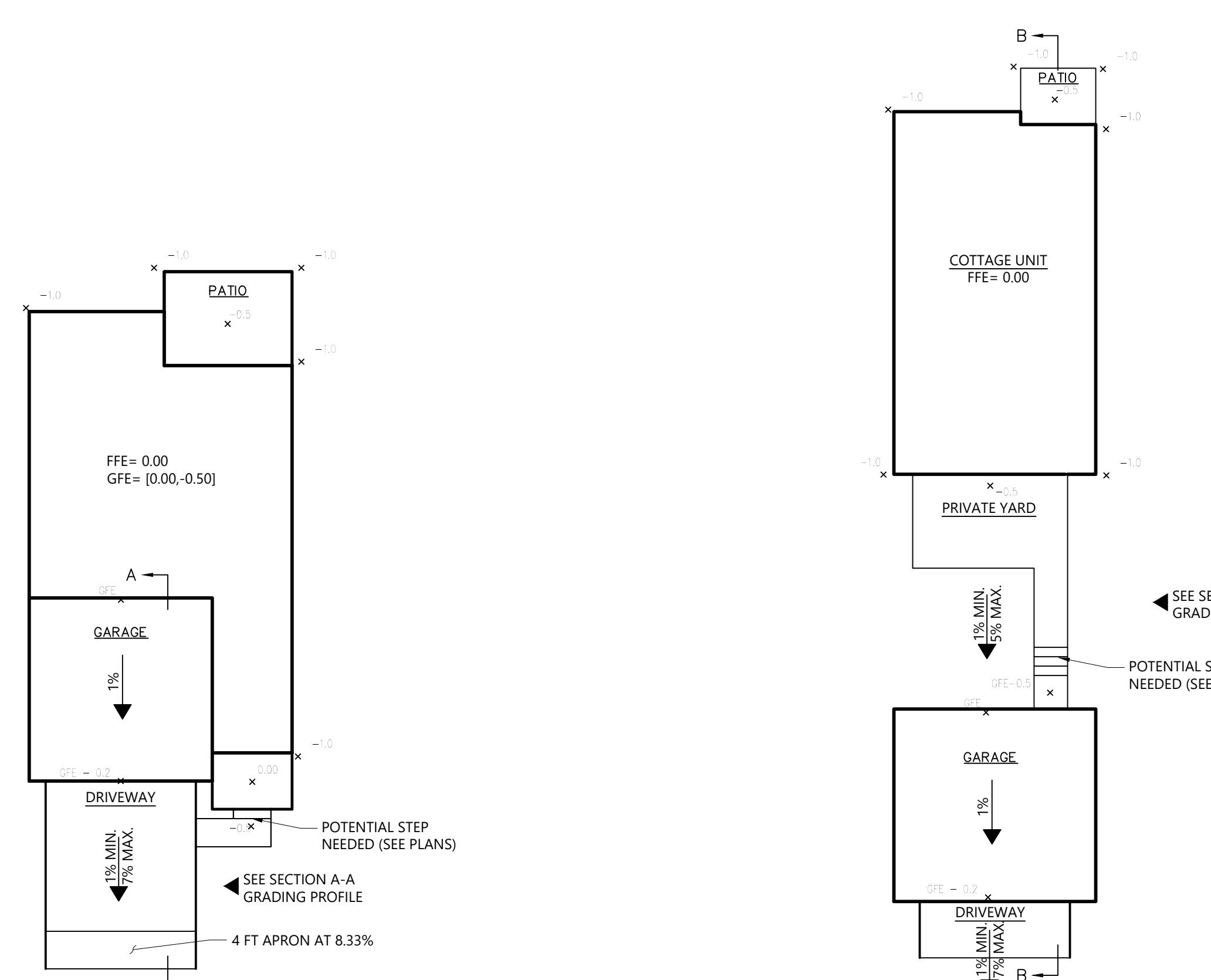
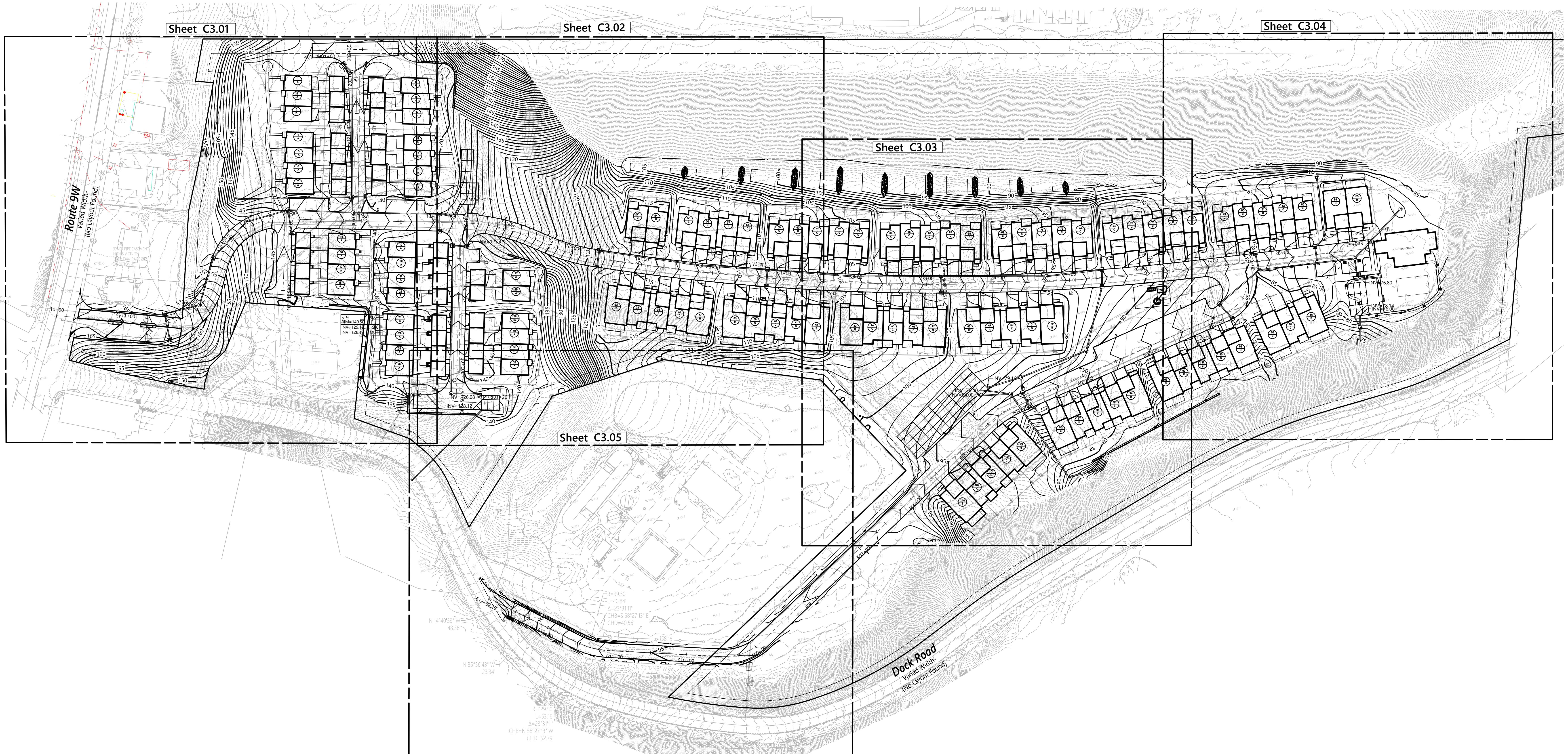


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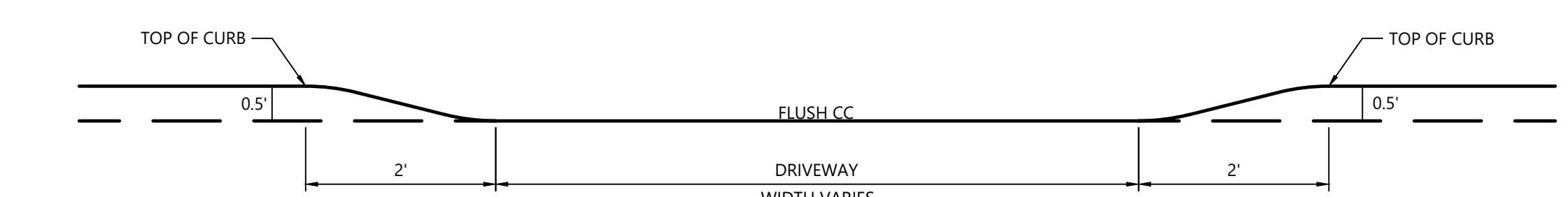


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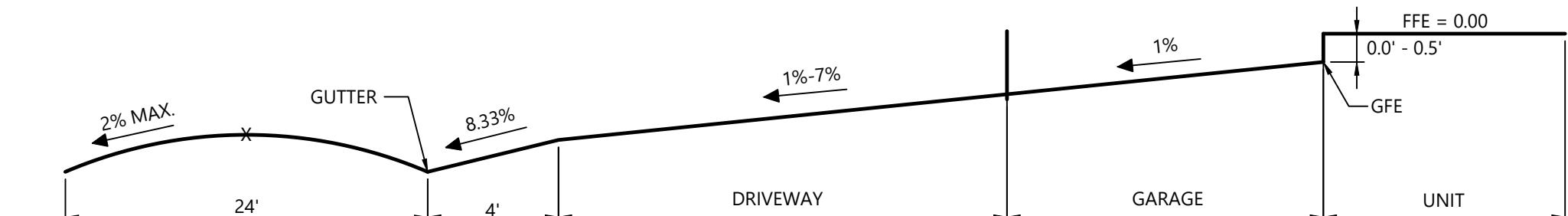


Typical Driveway Grading Scheme (Townhouse)
N.T.S.

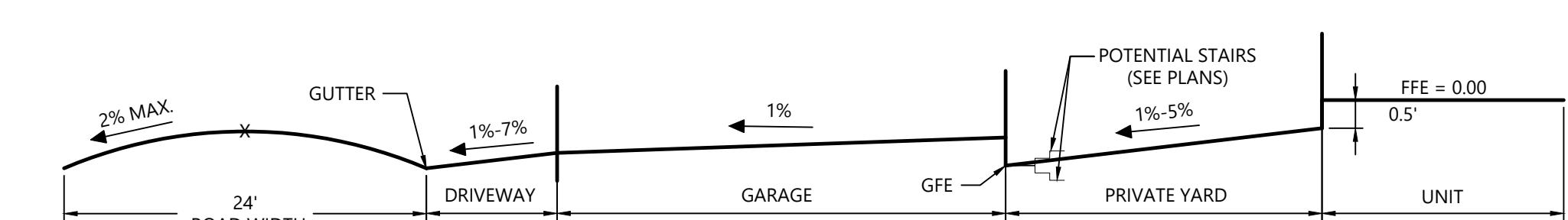
Typical Driveway Grading Scheme (Cottages)
N.T.S.



Typical Curb Transition Section
N.T.S.



Typical Driveway Grading Profile (Townhouse) - Sección A-A
N.T.S.



Typical Driveway Grading Profile (Cottages) - Sección B-B
N.T.S.

Grading and Drainage Notes

- ELEVATIONS ARE BASED ON NAVD88.
- THE CONTRACTOR SHALL MEET LINES AND GRADES DEPICTED ON THIS PLAN OR AS DIRECTED BY THE ENGINEER. GRADE SHALL PITCH AWAY FROM BUILDINGS AND WHERE APPROPRIATE SWALES SHALL BE INCORPORATED BETWEEN BUILDINGS TO TAKE WATER AWAY FROM FOUNDATIONS.
- GRADES IN ALONG ADA WALKWAYS SHALL NOT EXCEED 5% IN THE DIRECTION OF TRAVEL AND 2% CROSS SLOPE.
- ALL ADA ACCESS AISLES AND PARKING SPACES SHALL BE AT THE SAME LEVEL, WITH MAXIMUM SLOPES NOT GREATER THAN 2% IN ANY DIRECTION.
- CONTRACTOR SHALL PROVIDE A SMOOTH TRANSITION BETWEEN THE ADA ACCESS AISLES/PARKING SPACES AND THE EXISTING PAVEMENT AT THE WORK LIMITS.
- GRADES IN LANDSCAPED AREAS SHALL NOT EXCEED A SLOPE OF 3H:IV UNLESS OTHERWISE NOTED ON THE PLANS.
- CONTRACTOR RESPONSIBLE TO PROVIDE POSITIVE DRAINAGE FLOW OVER THE SITE. BIRD BATHS AND PONDING AREAS OTHER THAN AS DESIGNED ARE NOT PERMITTED AND SHALL BE CORRECTED AT NO ADDITIONAL EXPENSE TO THE OWNER.
- DRAINAGE PIPE TO BE AS FOLLOWS UNLESS OTHERWISE NOTED:
 - DRAINAGE PIPE SIZE AS NOTED ON PLANS
 - UNDER LANDSCAPING: HDPE SIZE AS NOTED ON PLANS
 - ROOF DRAIN HEADERS: 6" DR-18 PVC MIN. SLOPE 1%
- ROOF DRAIN HEADERS AND DOWN SPOUT LOCATIONS PENDING FINAL ARCHITECTURAL DESIGN.

Earthwork Notes

- THE CONTRACTOR SHALL PERFORM THEIR OWN CUT/FILL ANALYSIS BASED ON THE APPROVED SITE PLANS TO DETERMINE IF FILL IS NEEDED TO BE IMPORTED TO CONSTRUCT THE PROJECT.
- THE CONTRACTOR IS PERMITTED TO UTILIZE NATIVE SOILS EXCAVATED FROM THE SITE FOR USE AS FILL MATERIAL IN OTHER AREAS OF THE SITE. NATIVE SOILS SHALL BE EXCAVATED TO A DEPTH DETERMINED BY THE GEOTECHNICAL ENGINEER FOR TESTING TO DETERMINE MAXIMUM ALLOWABLE DENSITY.
- CUT AND REMOVE TREES, REMOVE STUMPS AND BRUSH. LEGALLY DISPOSE OF OFF-SITE WOOD WASTES MAY BE CHIPPED AND SHREDDED ON-SITE AND REUSED ON-SITE WITH PRIOR APPROVAL OF THE GEOTECHNICAL ENGINEER. REMOVE ALL UNSUITABLE MATERIALS TO ITS FULL DEPTH WITHIN THE CONTRACT LIMITS. TOPSOIL FREE OF ROOTS, STUMPS AND DELETERIOUS MATERIAL CAN BE STOCKPILED FOR REUSE IN LANDSCAPED AREAS.
- FILL SHALL BE PLACED ON LIFTS NOT GREATER THAN EIGHTEEN INCHES THICK AND COMPACTION TO A MINIMUM COMPACTION OF 95% OF THE MODIFIED PROCTOR DENSITY.
- FILL BROUGHT TO THE SITE SHALL BE COMPRISED OF MAINLY SAND AND GRAVEL AND SHALL BE CLEAN, INERT, HARD, DURABLE GRAINS OF QUARTZ OR OTHER HARD, DURABLE ROCK FREE FROM LOAM OR CLAY. SUBSTRATE SHALL NOT EXCEED 10% BY WEIGHT OF THE TOTAL DRY DENSITY OF MATERIAL. THE DRY UNIT WEIGHT AND 200 SPIKE AS DETERMINED BY ASHTO-T11 OR ASHTO-D422 SHALL NOT EXCEED 10 PERCENT BY WEIGHT. THE MAXIMUM PARTICLE SIZE SHALL BE 1/4-INCH (I.E., 100 PERCENT PASSING THE NO. 4 SIEVE).
- FILL MATERIAL SHALL BE FREE OF TRASH, ICE, SNOW, TREE STUMPS, ROOTS, AND ORGANIC MATERIAL.
- THE ENGINEER/OWNER RESERVES THE RIGHT TO REJECT MATERIAL BROUGHT TO THE SITE BASED ON VISUAL INSPECTION OF THE SUITABILITY OF ALL MATERIALS. RE-TESTING OF THE MATERIALS DURING EARTHWORK OPERATIONS WOULD BE PERFORMED AT THE COST OF THE CONTRACTOR.
- BASED ON THE GEOTECHNICAL REPORT, BED ROCK IS NOT ANTICIPATED DURING EXCAVATION OPERATIONS. IF BED ROCK IS ENCOUNTERED, THE CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING AND ADVISE OF THE PLAN TO EXCAVATE IF NECESSARY.

Orchards on Hudson
Residential
Dock Road
Marlborough, NY

No. Revision Date App'd

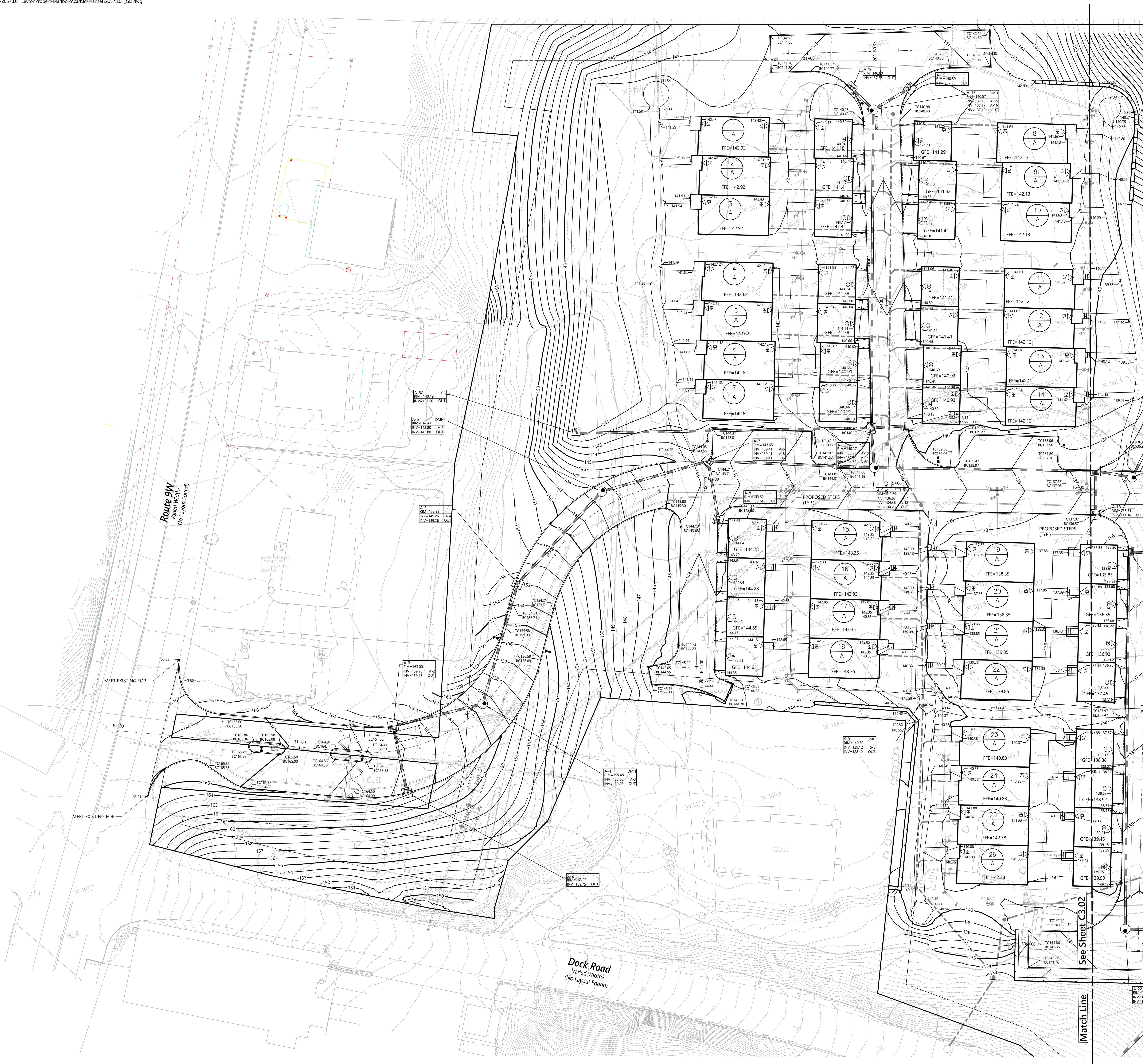
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Drawing No. Overall Grading and
Drainage Plan

C3.00
Sheet 8 of 47
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Dock Road Marlborough, NY

DB	AL
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August

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Drawing Title

Grading and Drainage

Not Approved for Construction

Drawing Title

Grading and Drainage

Plan

THE INFLUENCE OF THE CULTURE OF THE PARENTS ON THE CHILD'S LANGUAGE 11

Drawing Number

STATE OF NEW YORK
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PROFESSIONAL 9 47

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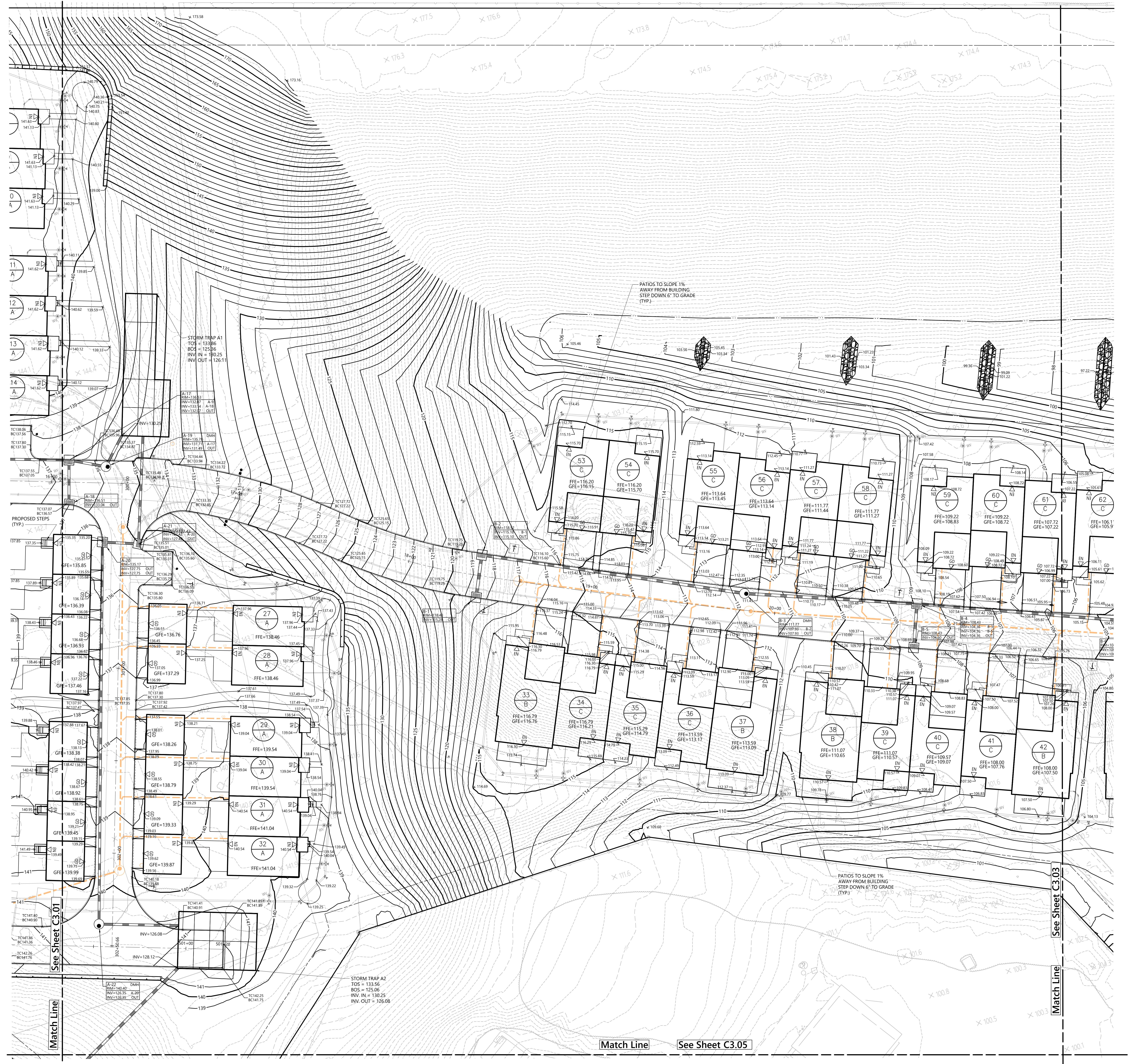
C3.01

6 of 6

heet of 9 47

Project Number

20578.01





Dock Road
Marlborough, NY

11

11. *What is the primary purpose of the following statement?*

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Drawing Title

Grading and Drainage

Plan

Drawing Number

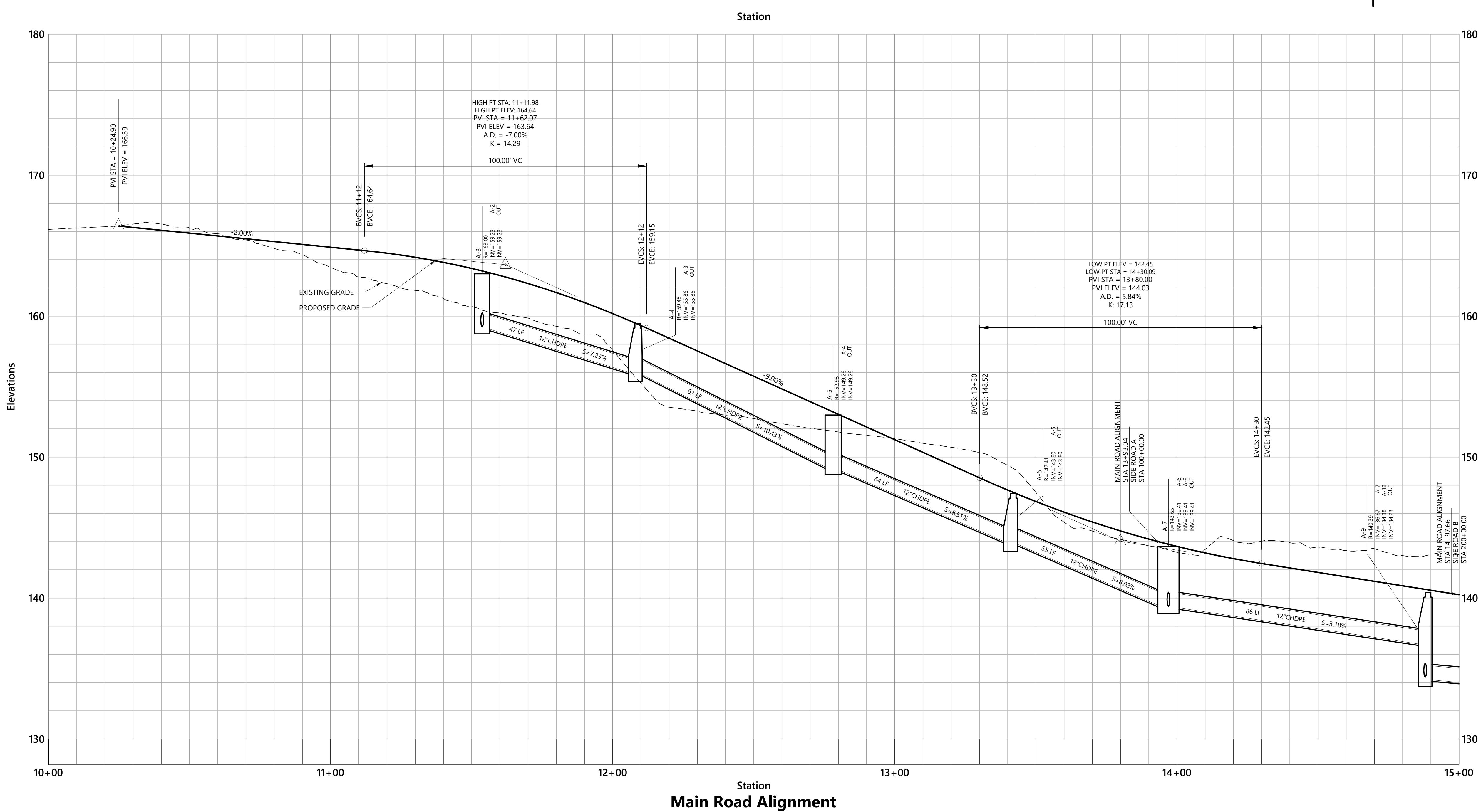
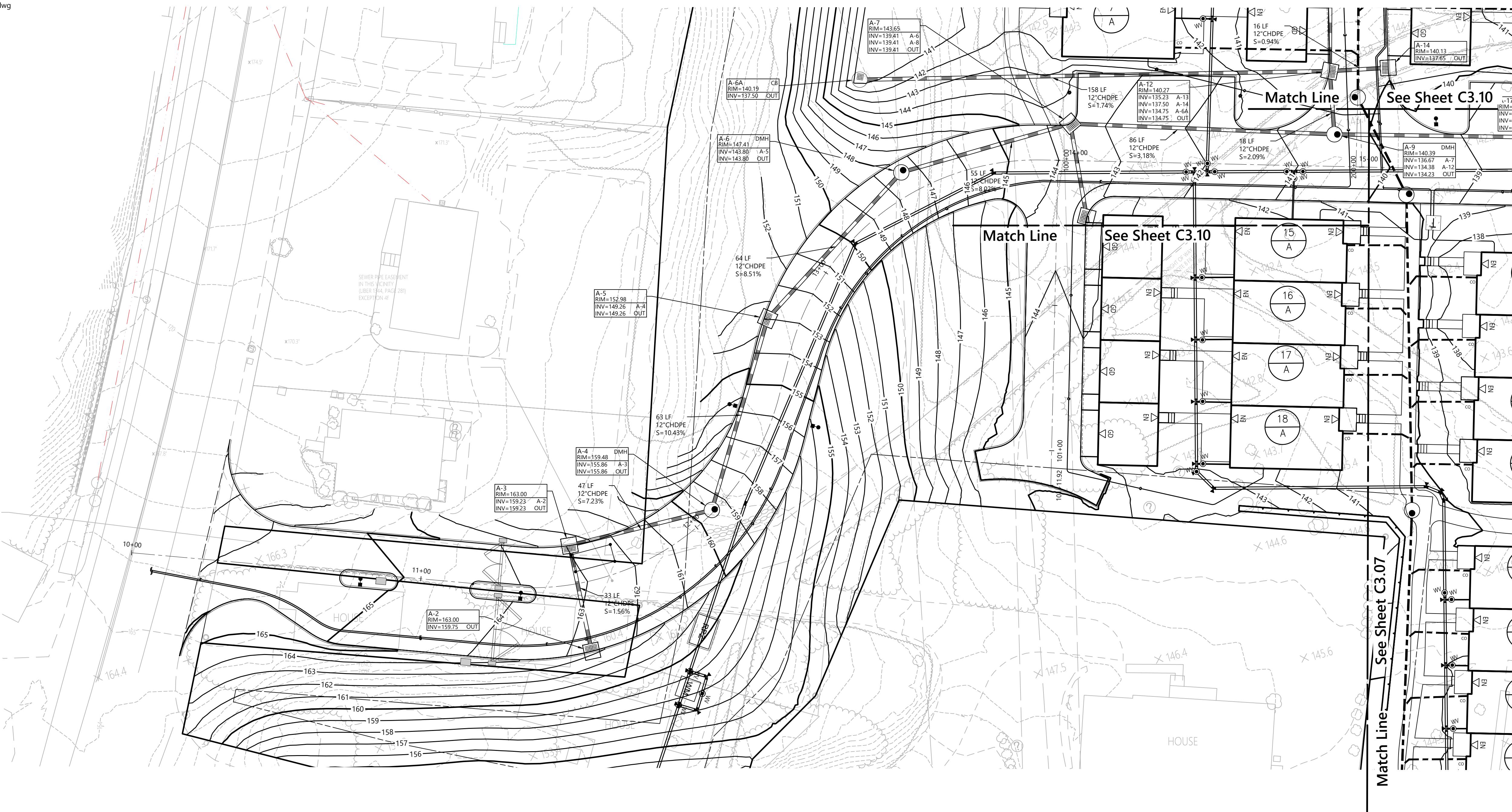
The seal of the City of Los Angeles, featuring a central figure and the text "CITY OF LOS ANGELES" around the border.

EXPLANATION OF SECTION 7002 OF ARTICLE

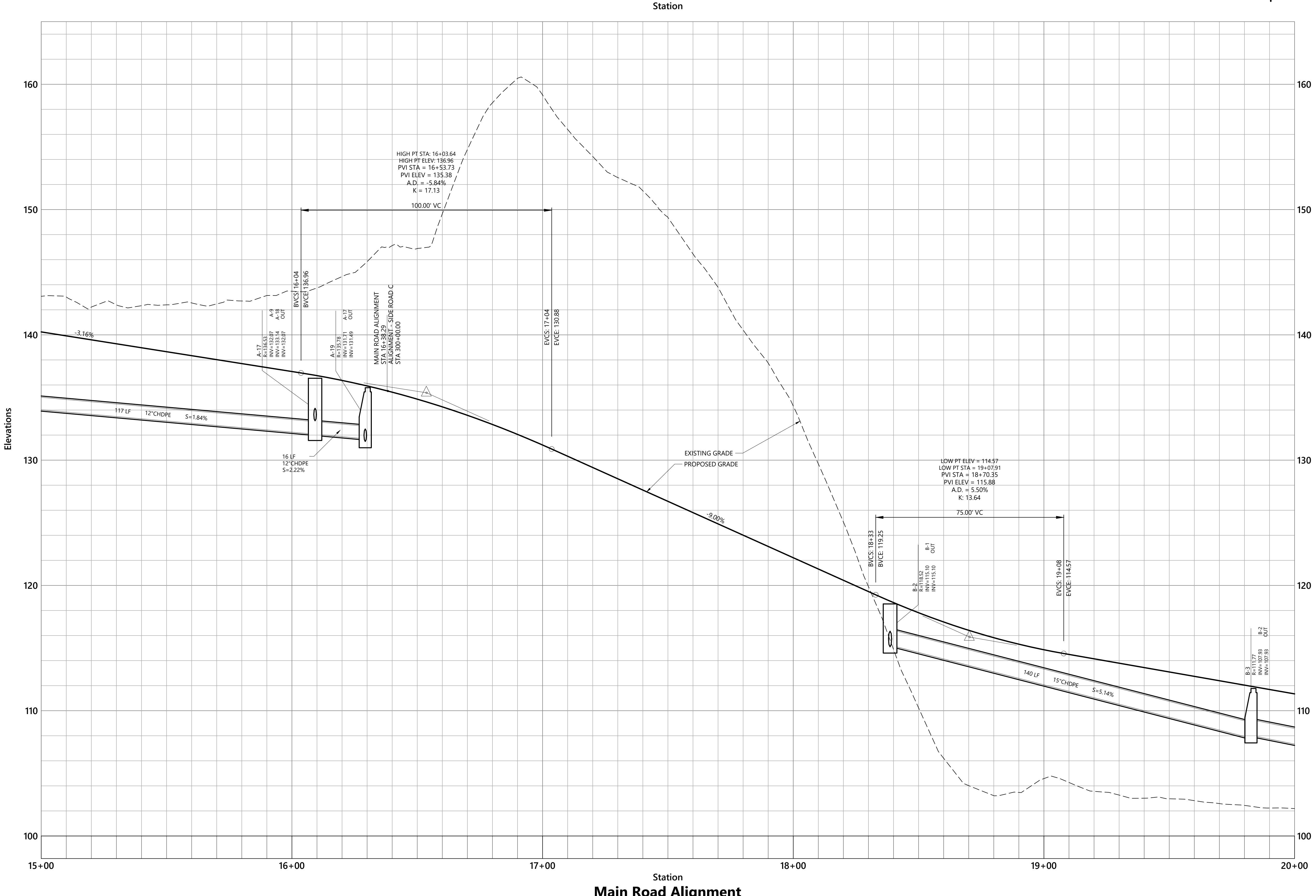
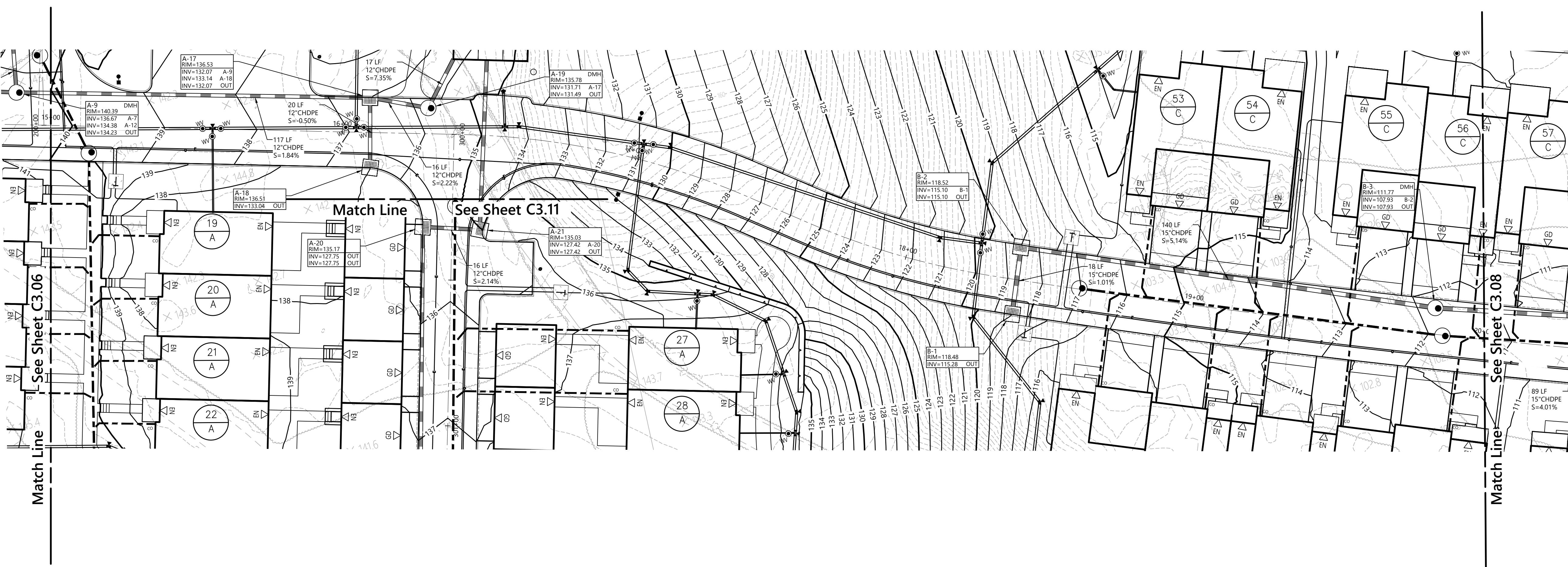
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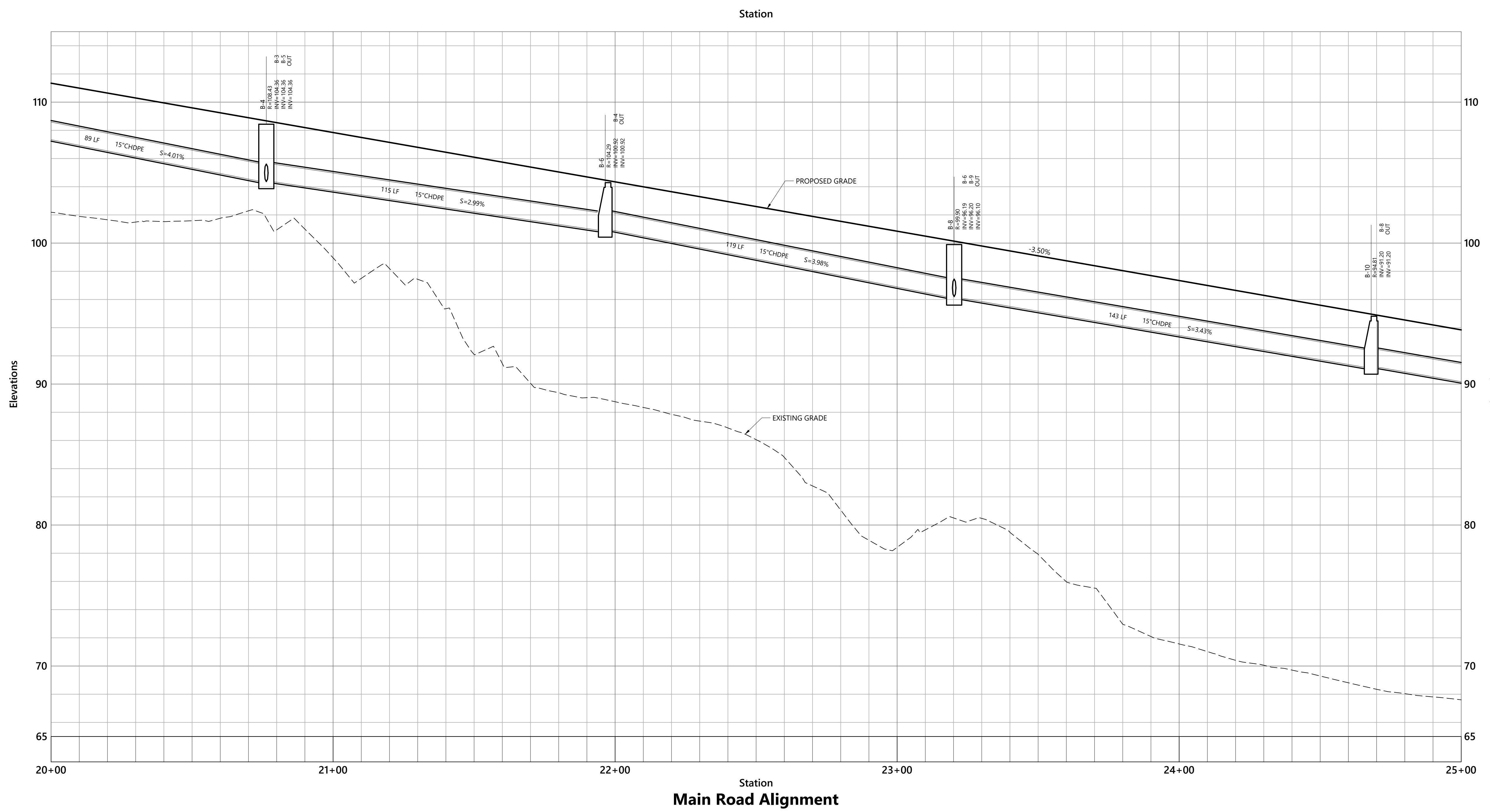
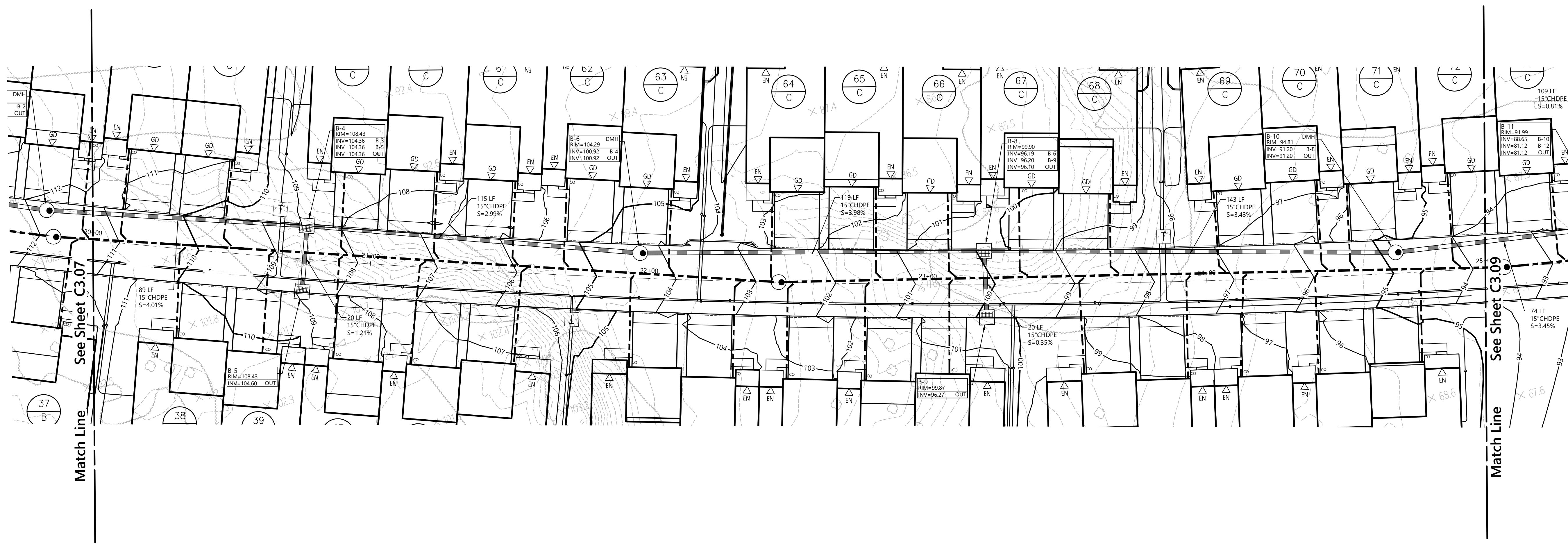
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**Leyton Properties
Residences**
Dock Road
Marlborough, NY

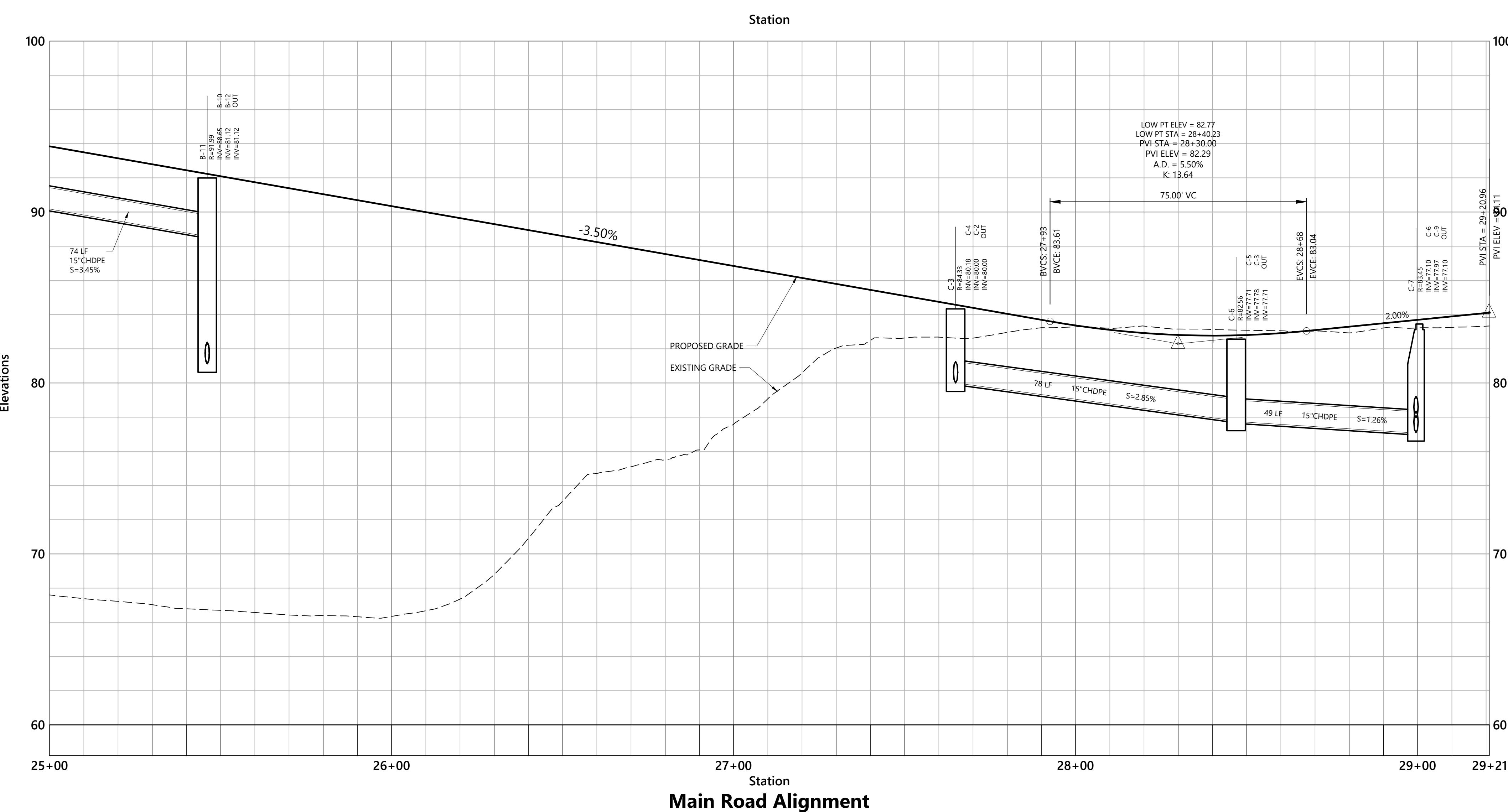
No.	Revision	Date	Approved

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Not Approved for Construction
Drawing Title Main Road Plan Over Profile Station 20+00 to 25+00

C3.08

STATE OF NEW YORK
CITY OF NEW YORK
PROFESSIONAL ENGINEER
REGISTRATION NO. 089718
Drawing Number 20578.01
Sheet 16 of 48
Project Number 20578.01
It is a violation of section 7209 of article 8 of the professional engineer law for any person to alter any document that bears my signature, unless I am acting under the direction of a licensed professional engineer.



Property Type	Percentage
Residential	10%
Commercial	10%
Industrial	10%
Other	10%

pproved for Construction

title

in Road

n Over Profile

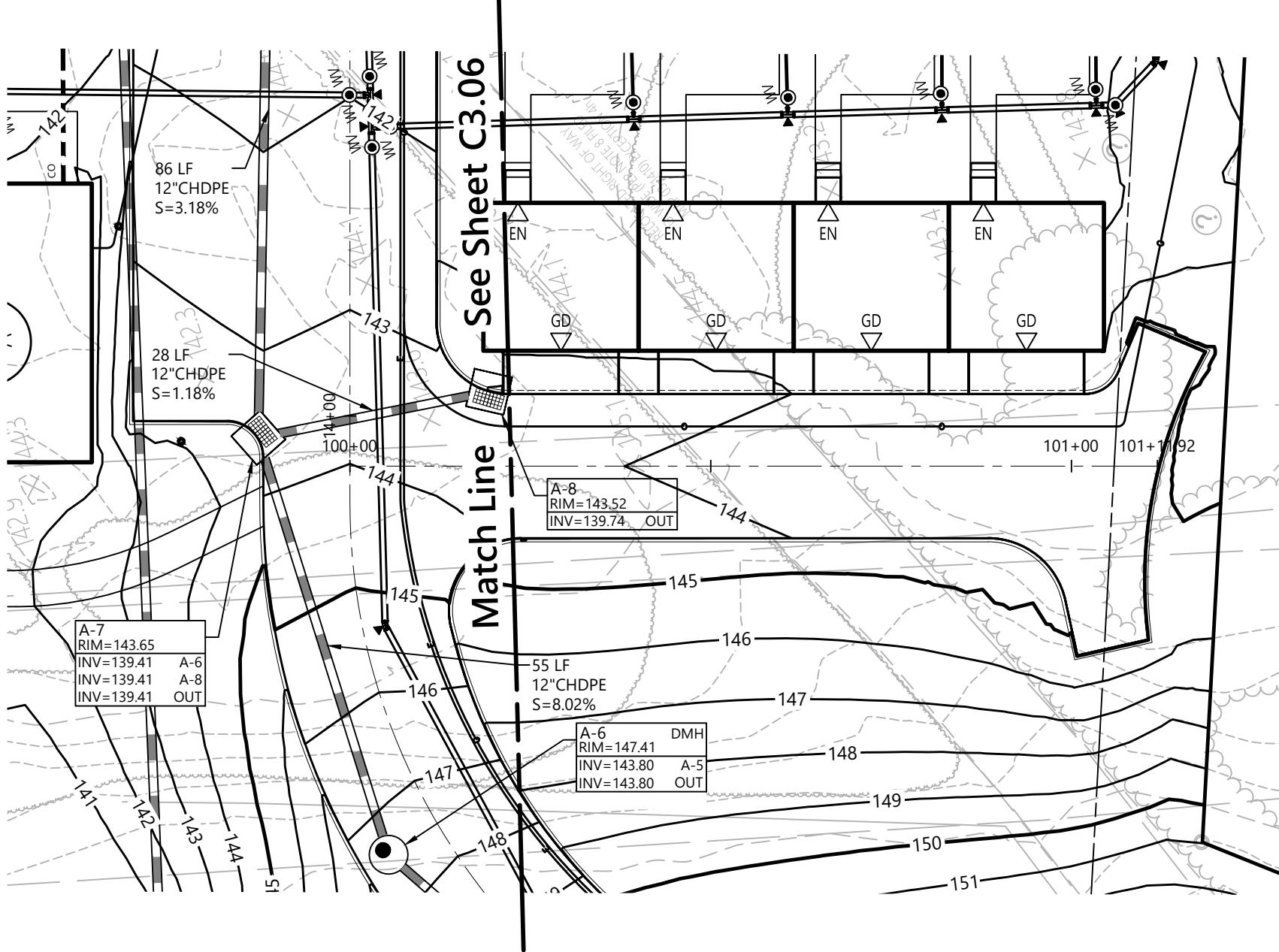
ction 25+00 to 29+21

Drawing Number

5.0

heet 17 of 48

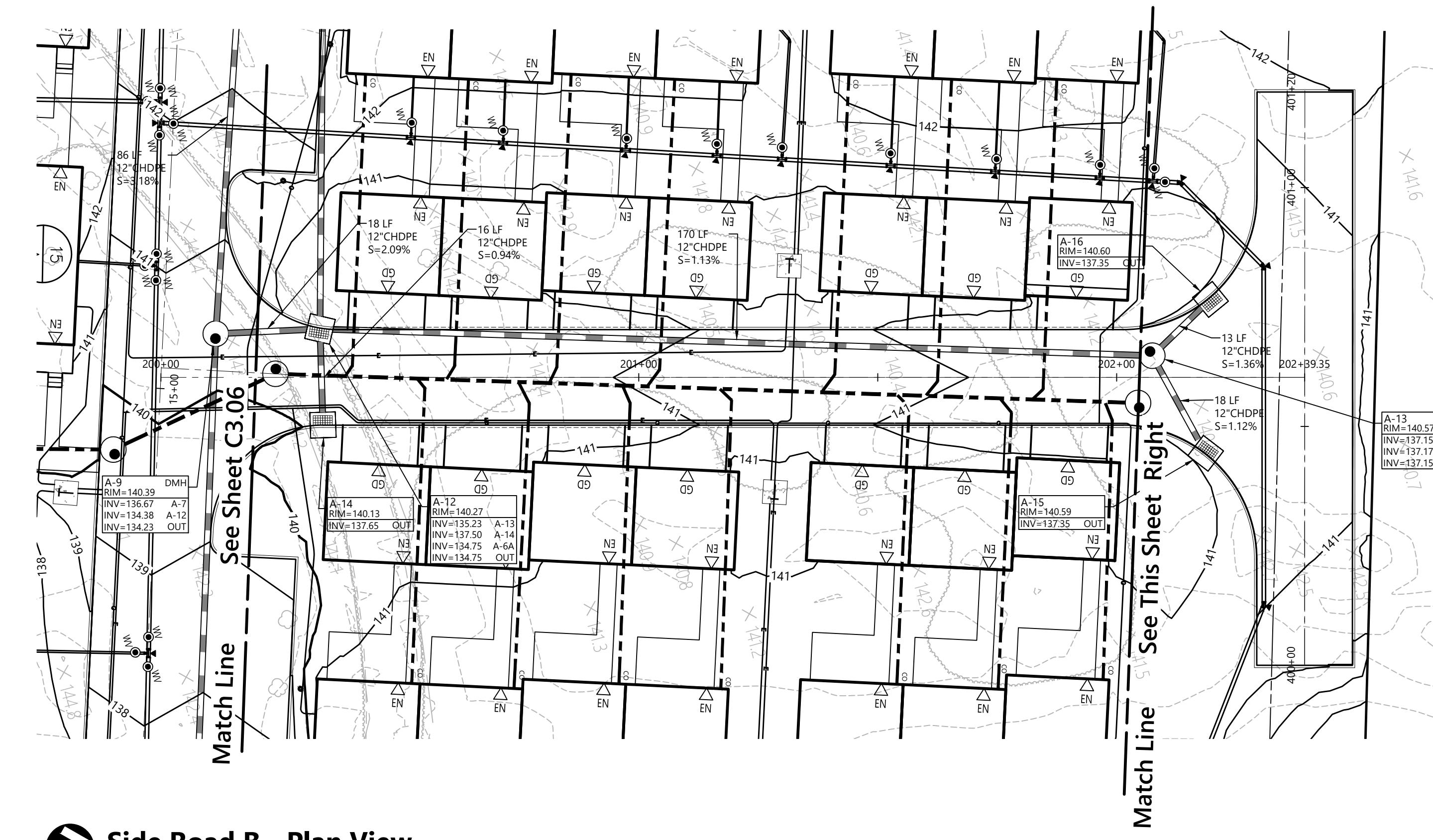
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Side Road A - Plan View

1" = 20'

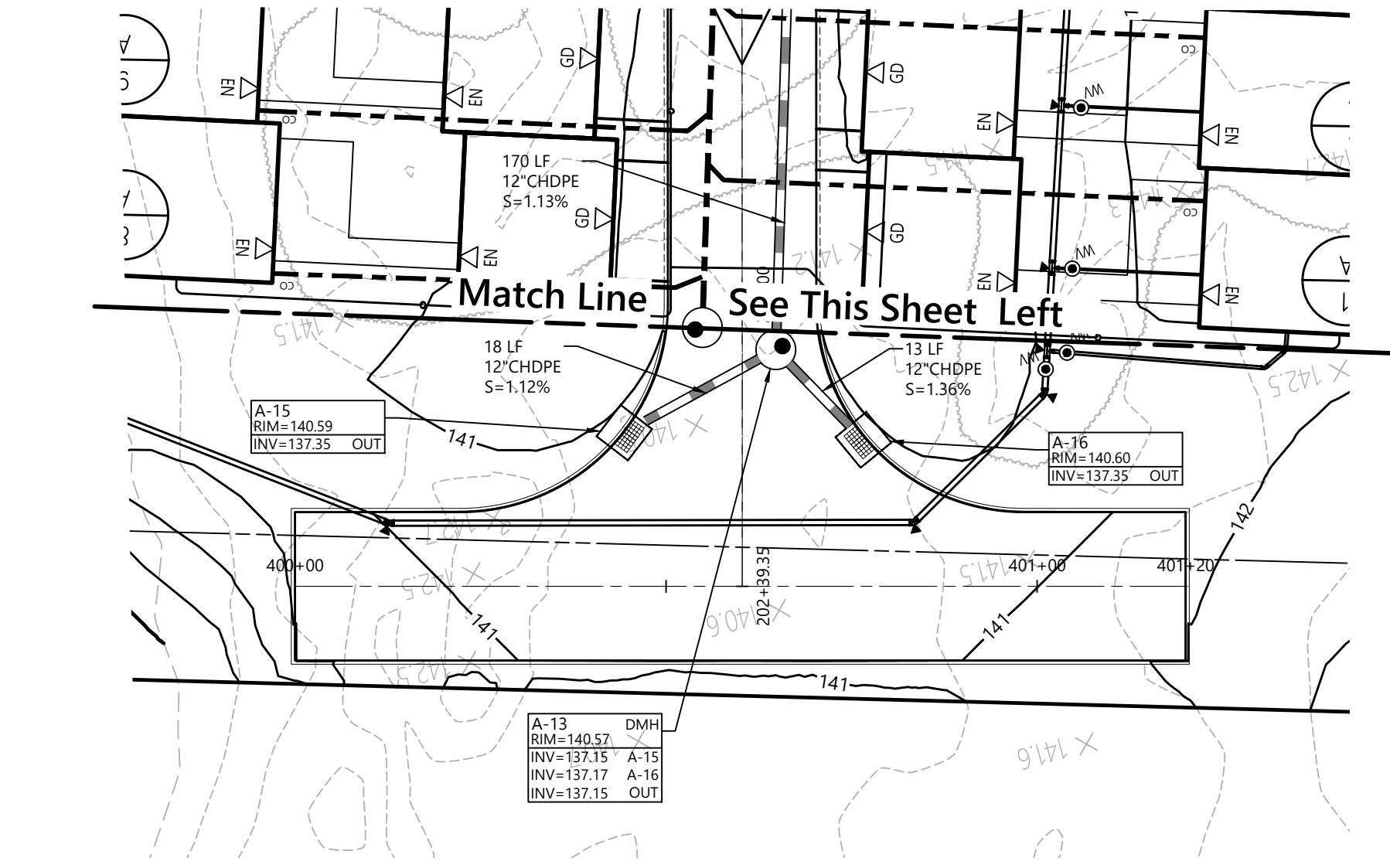
Source: VHB



Side Road B - Plan View

1" = 20'

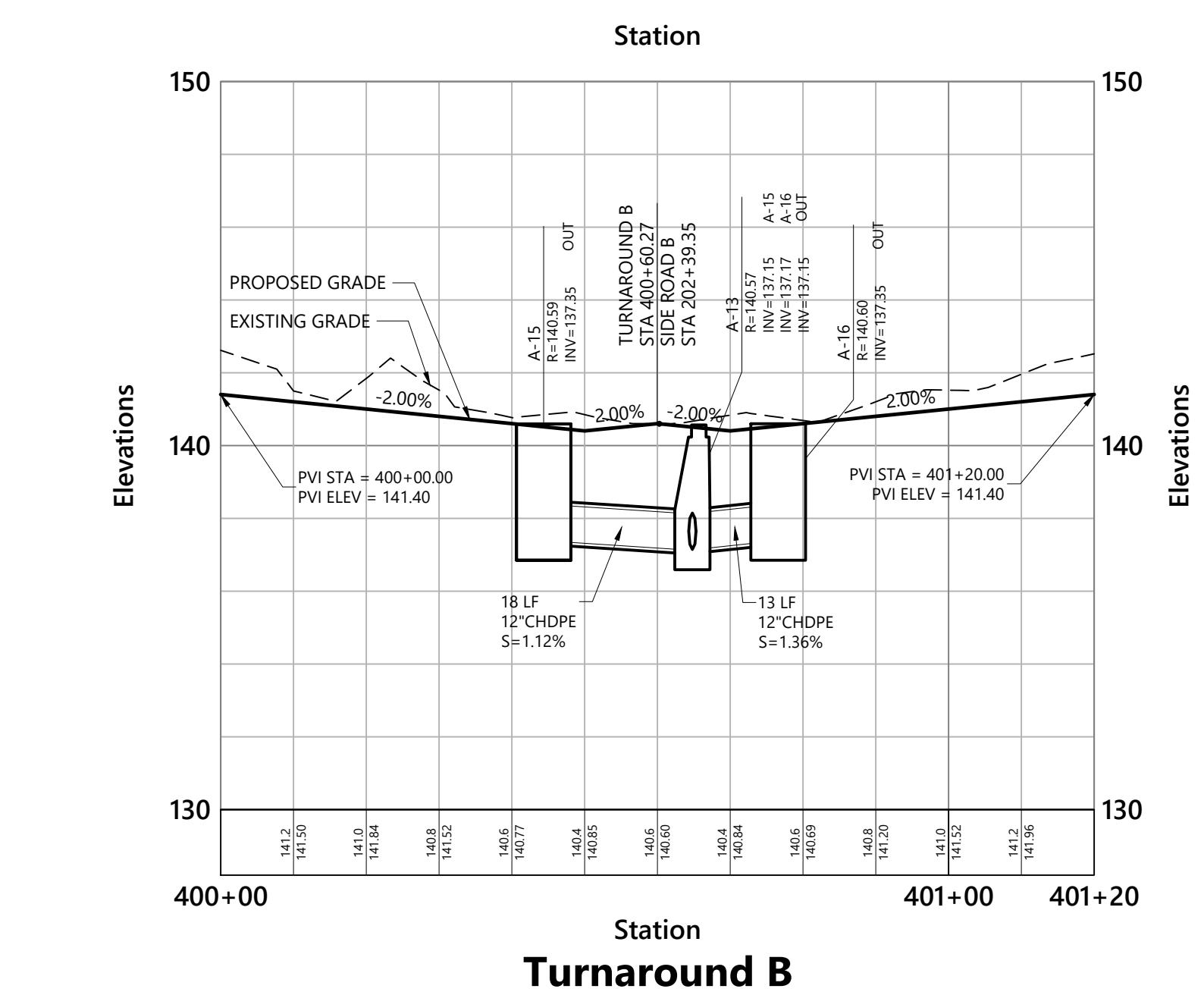
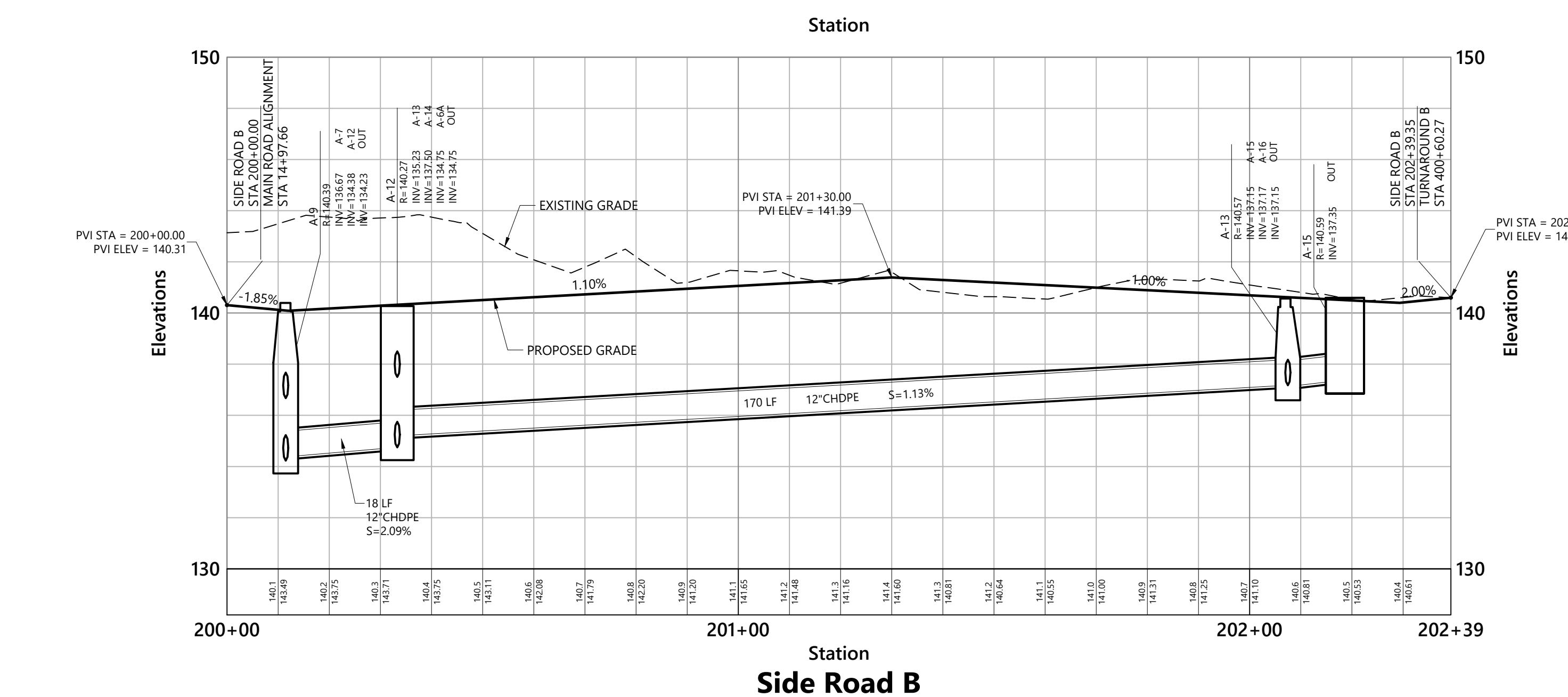
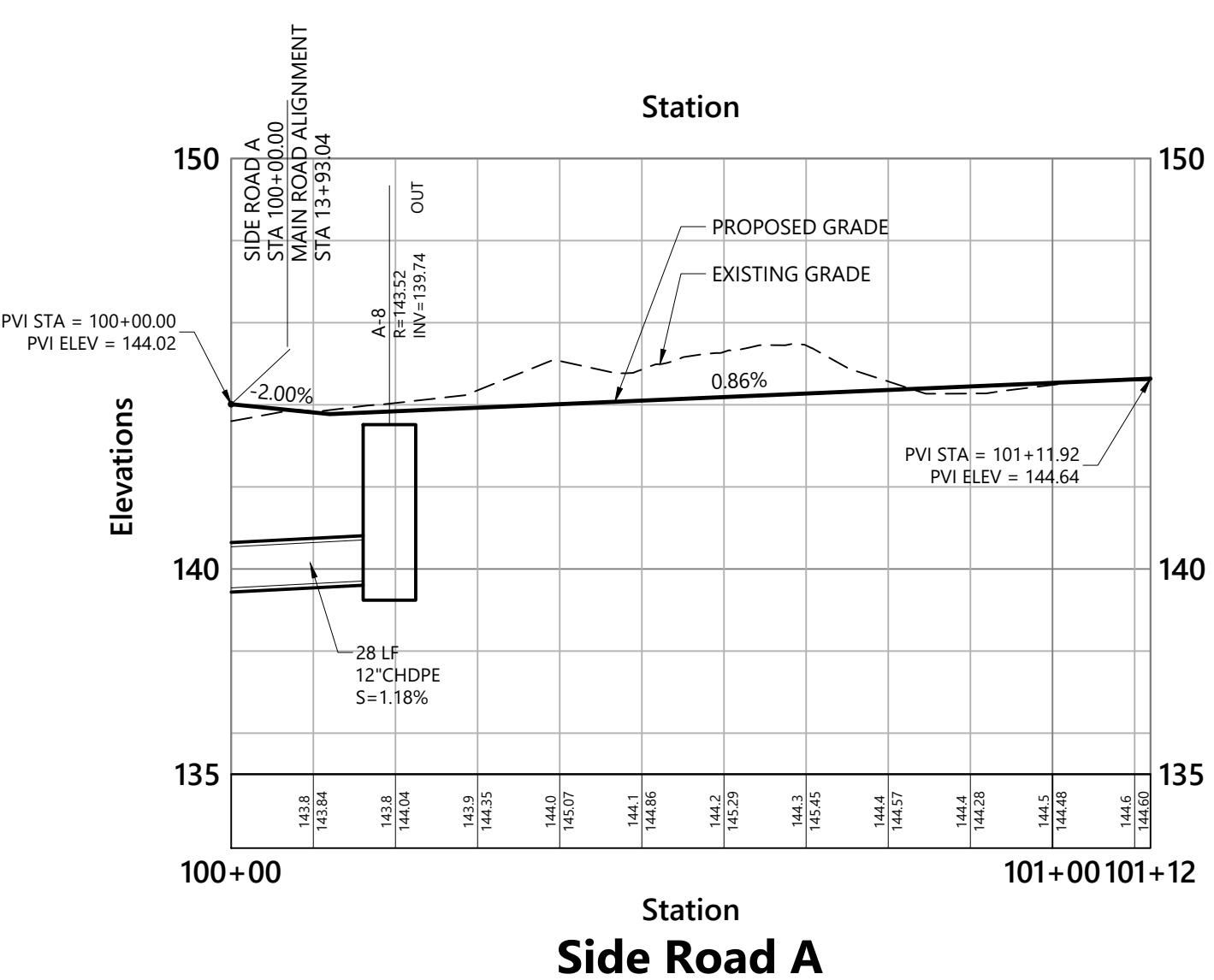
Source: VHB



Turnaround B - Plan View

1" = 20'

Source: VHB

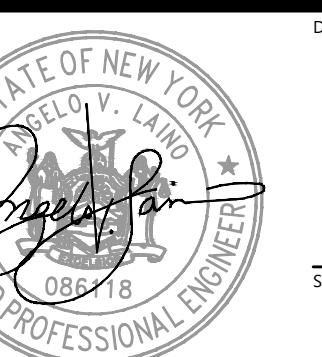


**Leyton Properties
Residences**
Dock Road
Marlborough, NY

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Drawing Title Side Road A and B
Plan Over Profile



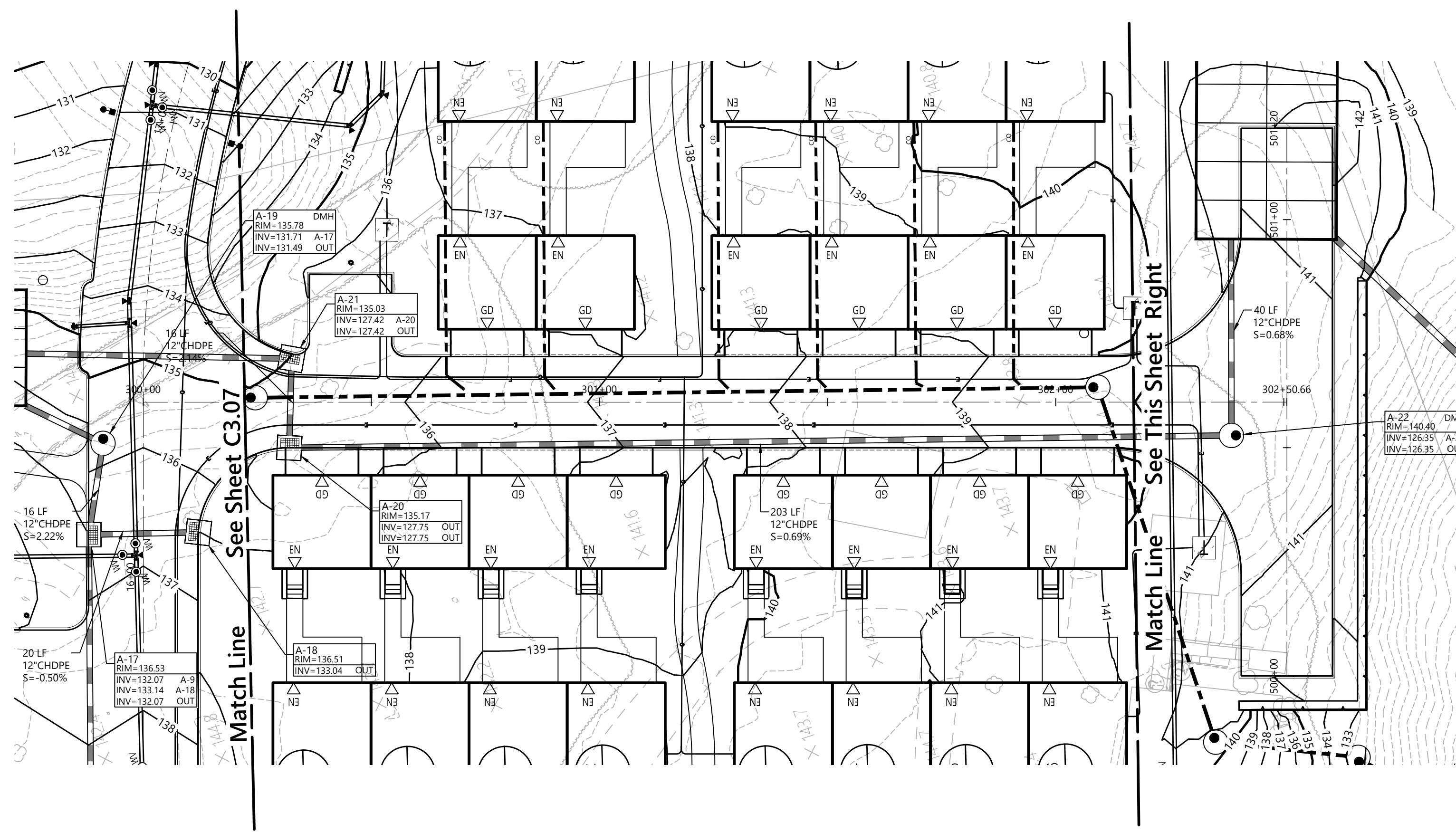
C3.10
Sheet 18 of 48

IT IS A VIOLATION OF SECTION 7209 OF ARTICLE 86 OF THE GENERAL BUSINESS LAW FOR ANY PERSON TO ALTER ANY DOCUMENT THAT IS A RECORD OF A PLAT, SURVEY, OR MAP, UNLESS THE PERSON IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER.

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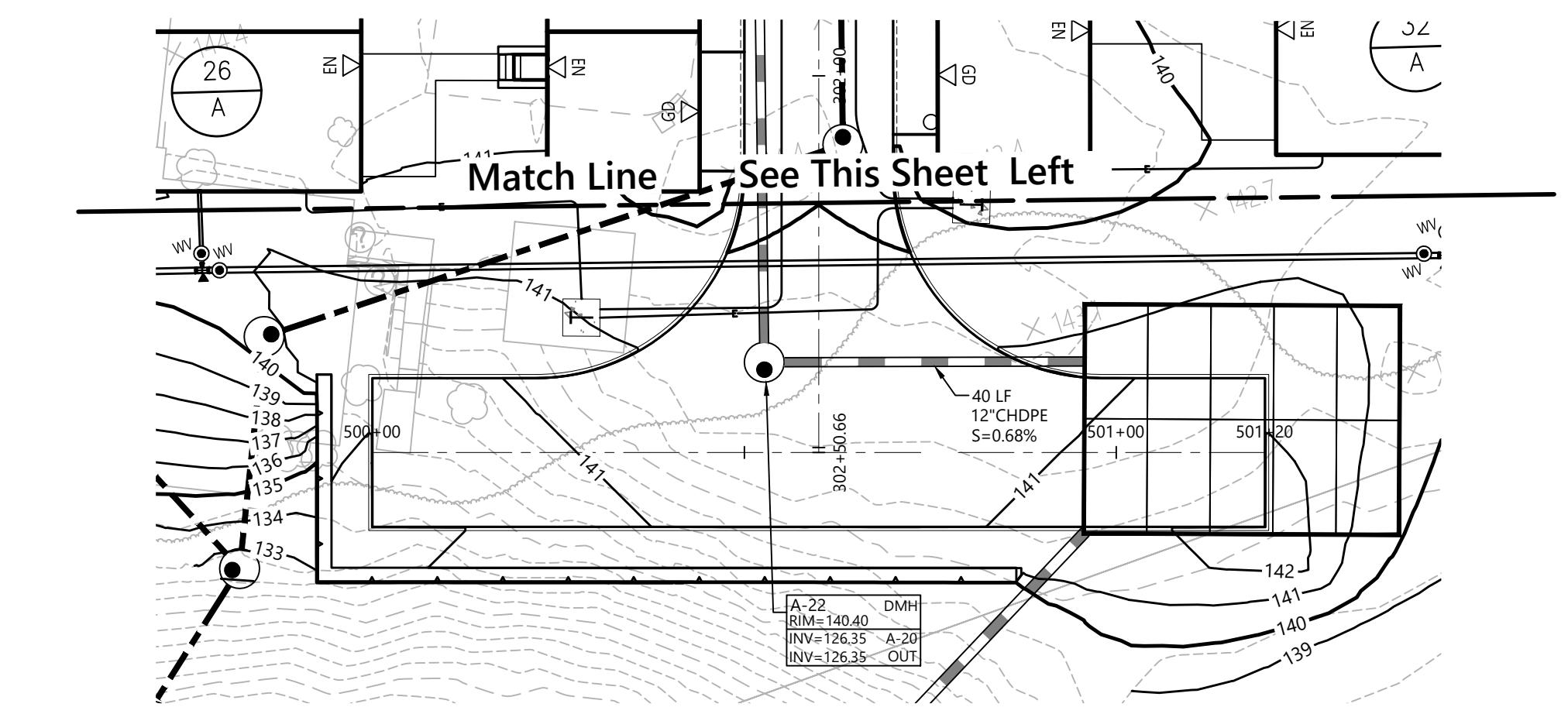
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Side Road C - Plan View

1" = 20'

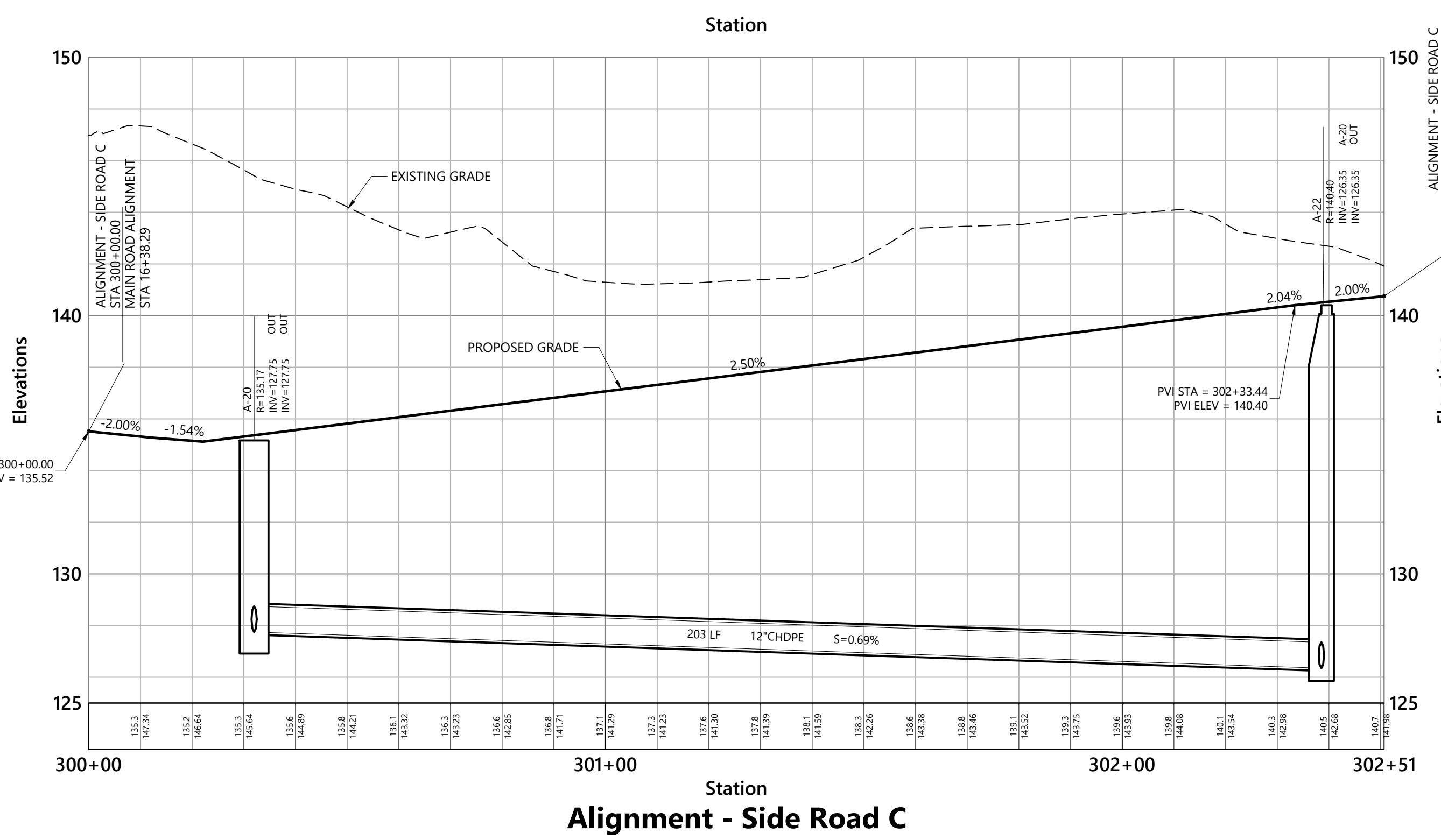
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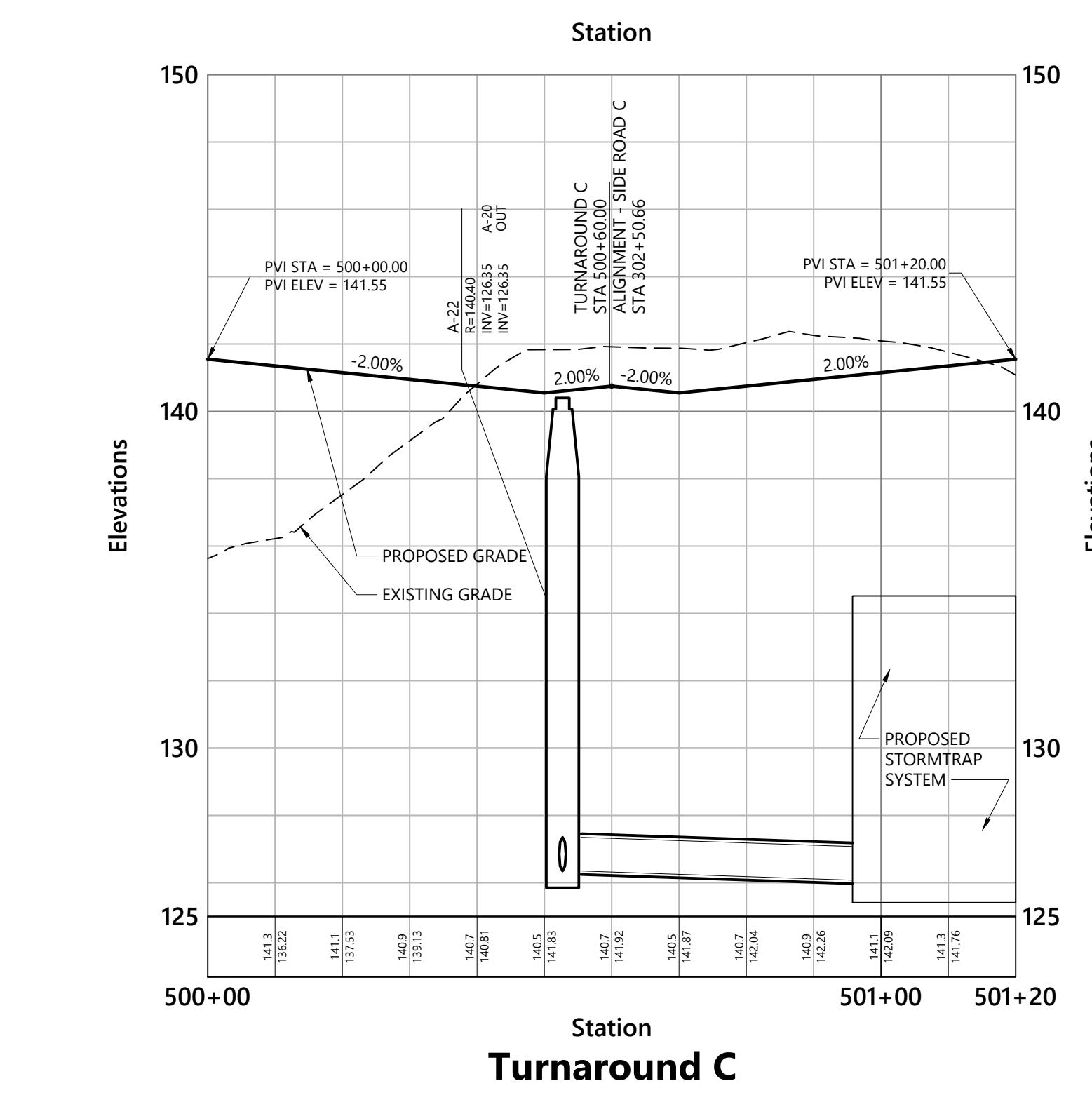
Turnaround C - Plan View

1" = 20'

Source: VHB



Alignment - Side Road C



Turnaround C

Leyton Properties
Residences
Dock Road
Marlborough, NY

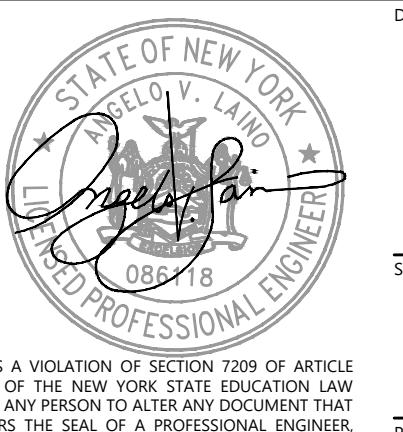
No. Revision Date App'd

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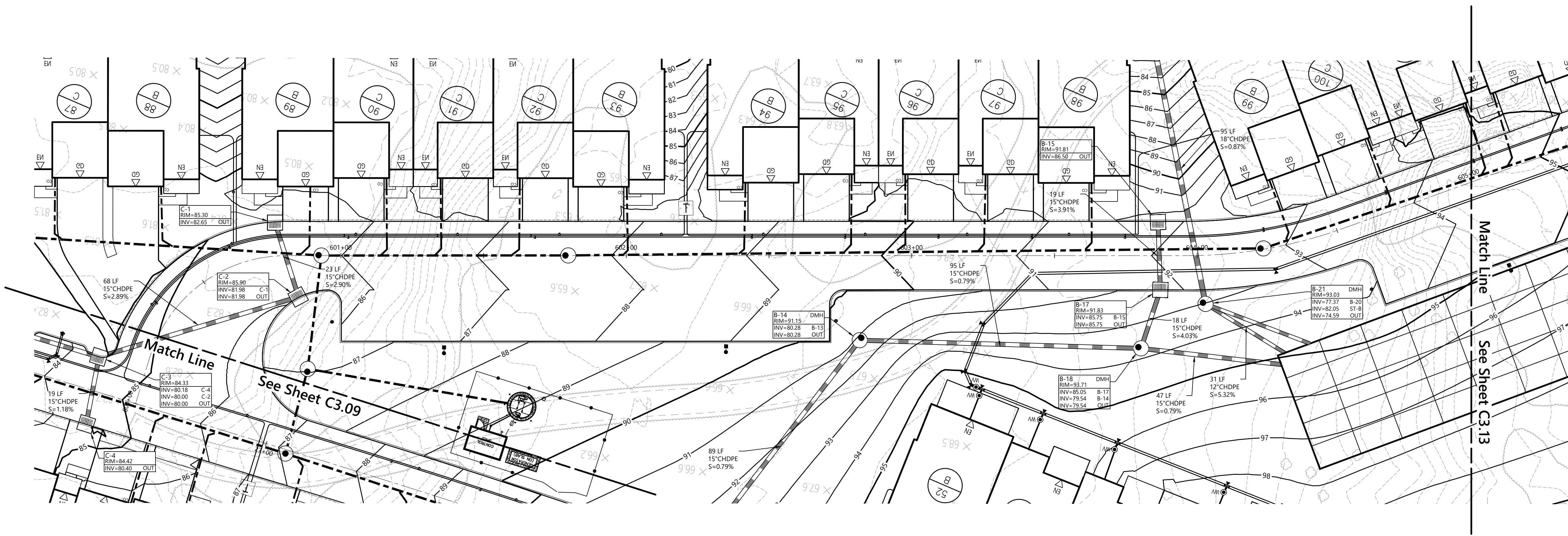
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Drawing Title Side Road C
Plan Over Profile

C3.11

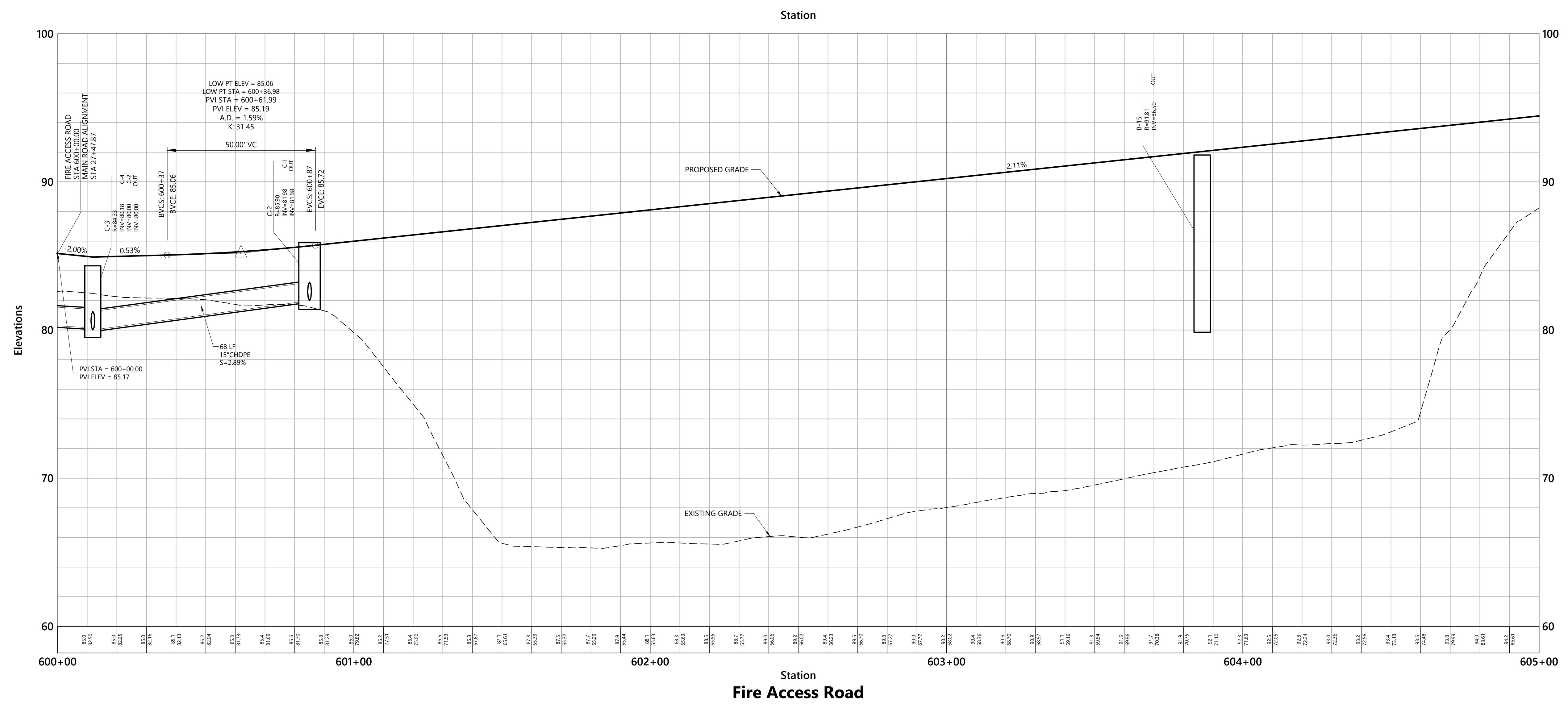


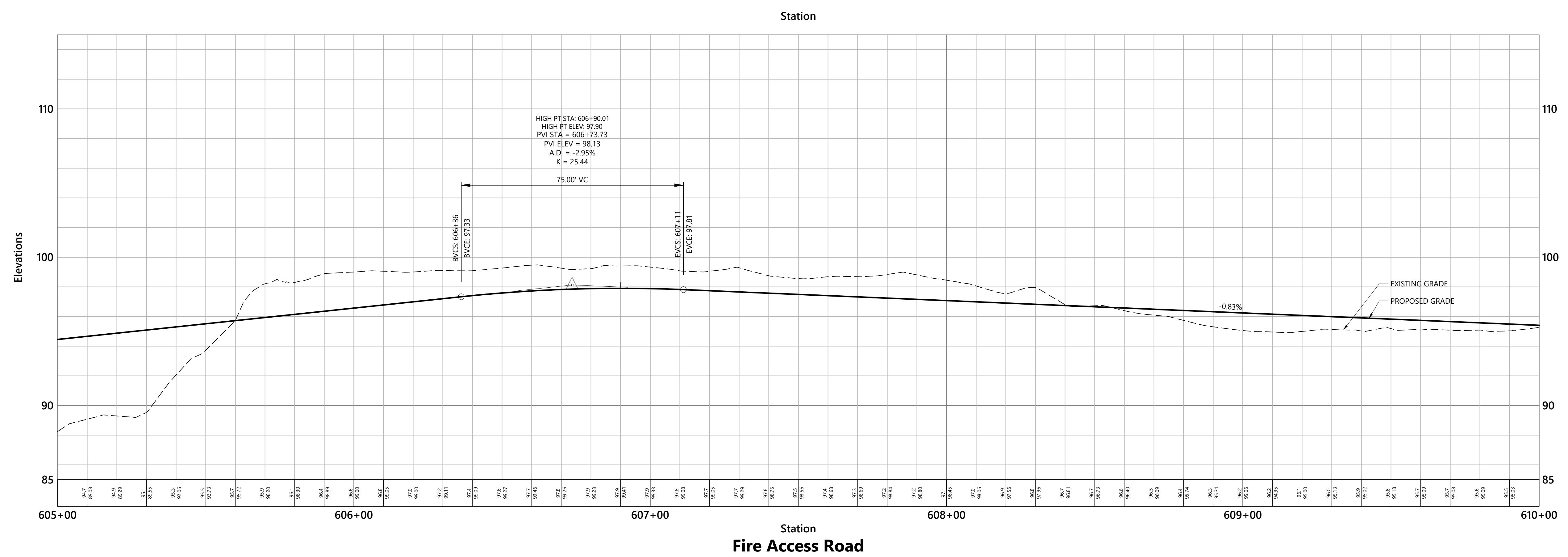
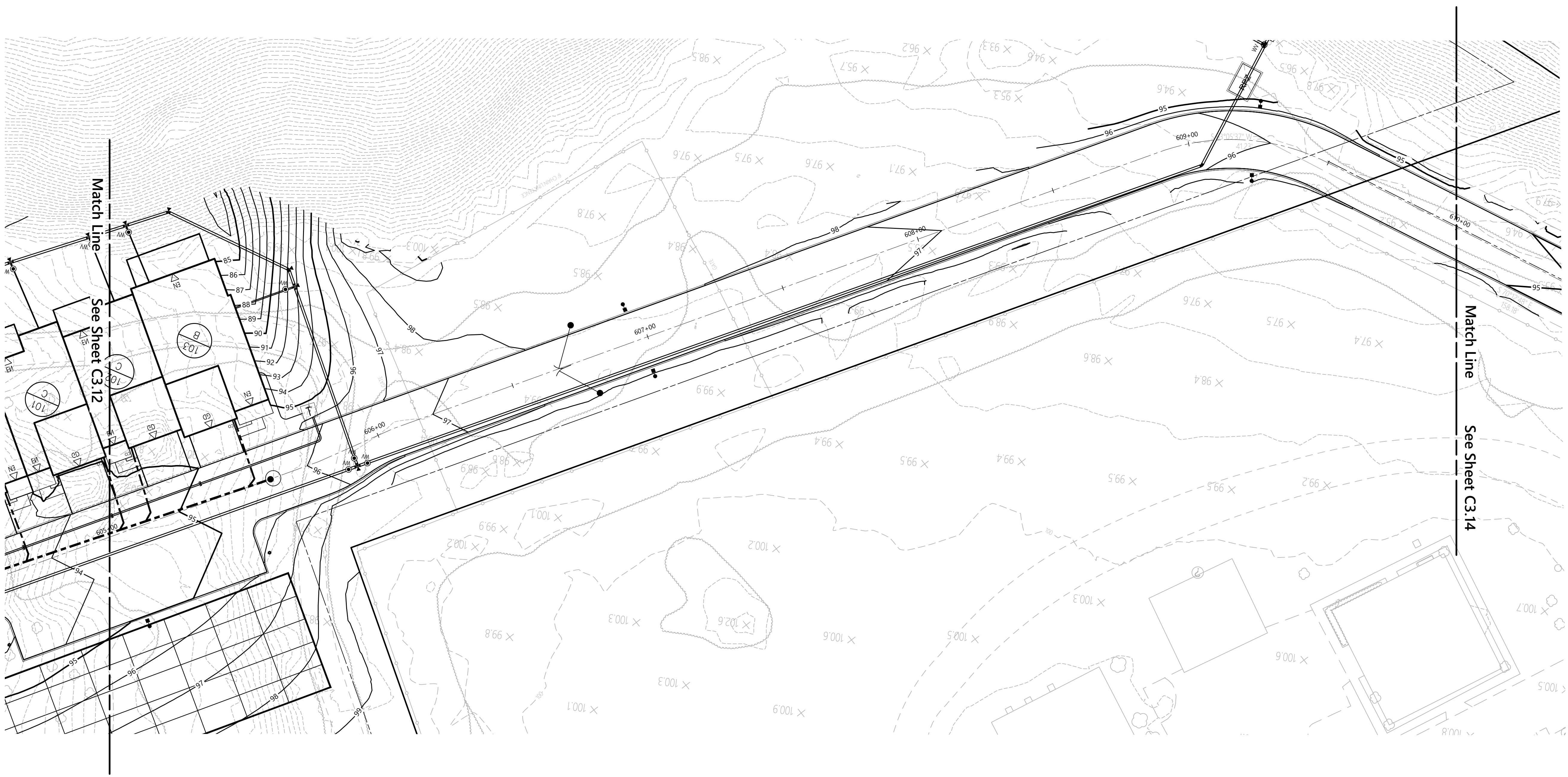
Sheet 19 of 48
Project Number 20578.01

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**Leyton Properties
Residences**
Dock Road
Marlborough, NY

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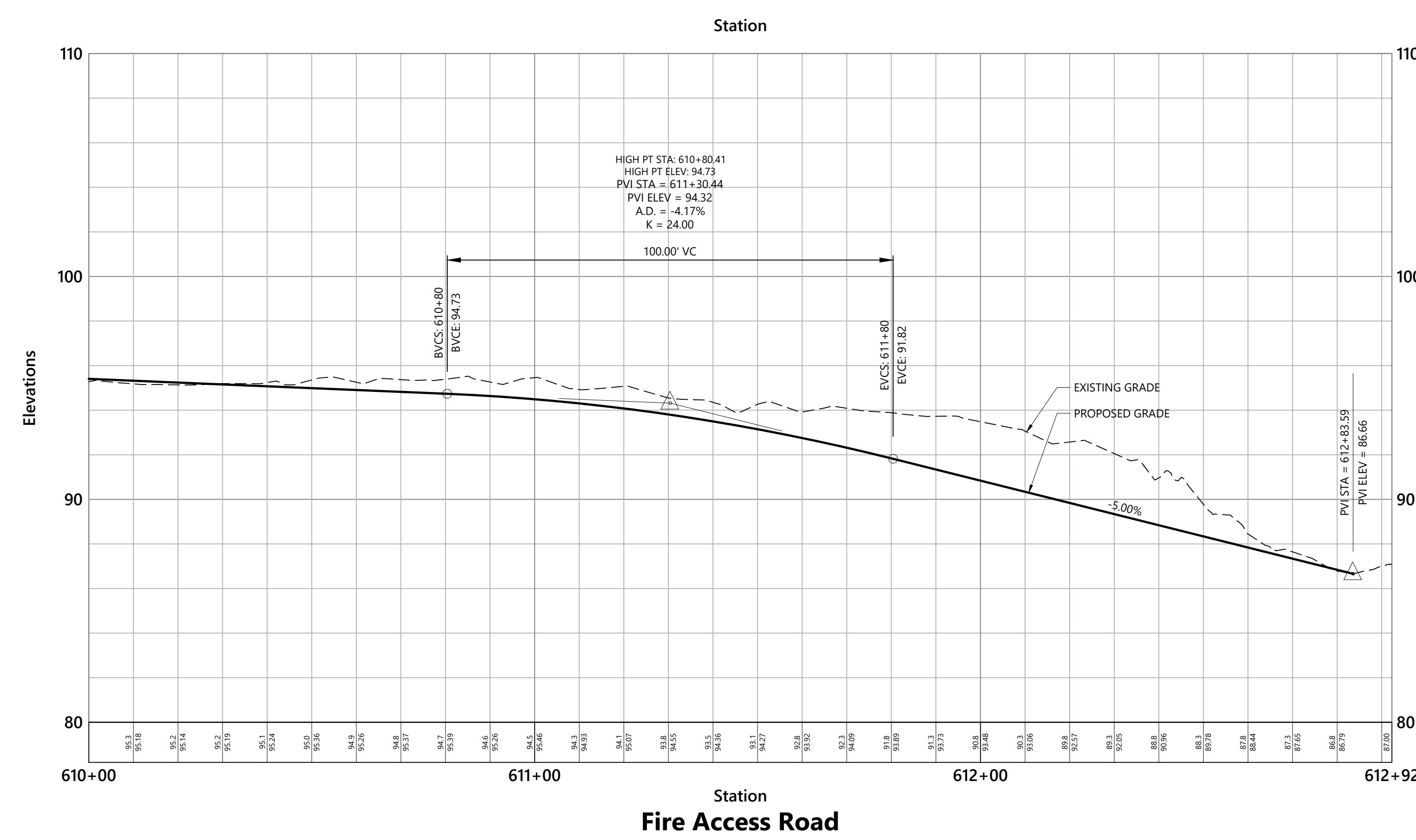
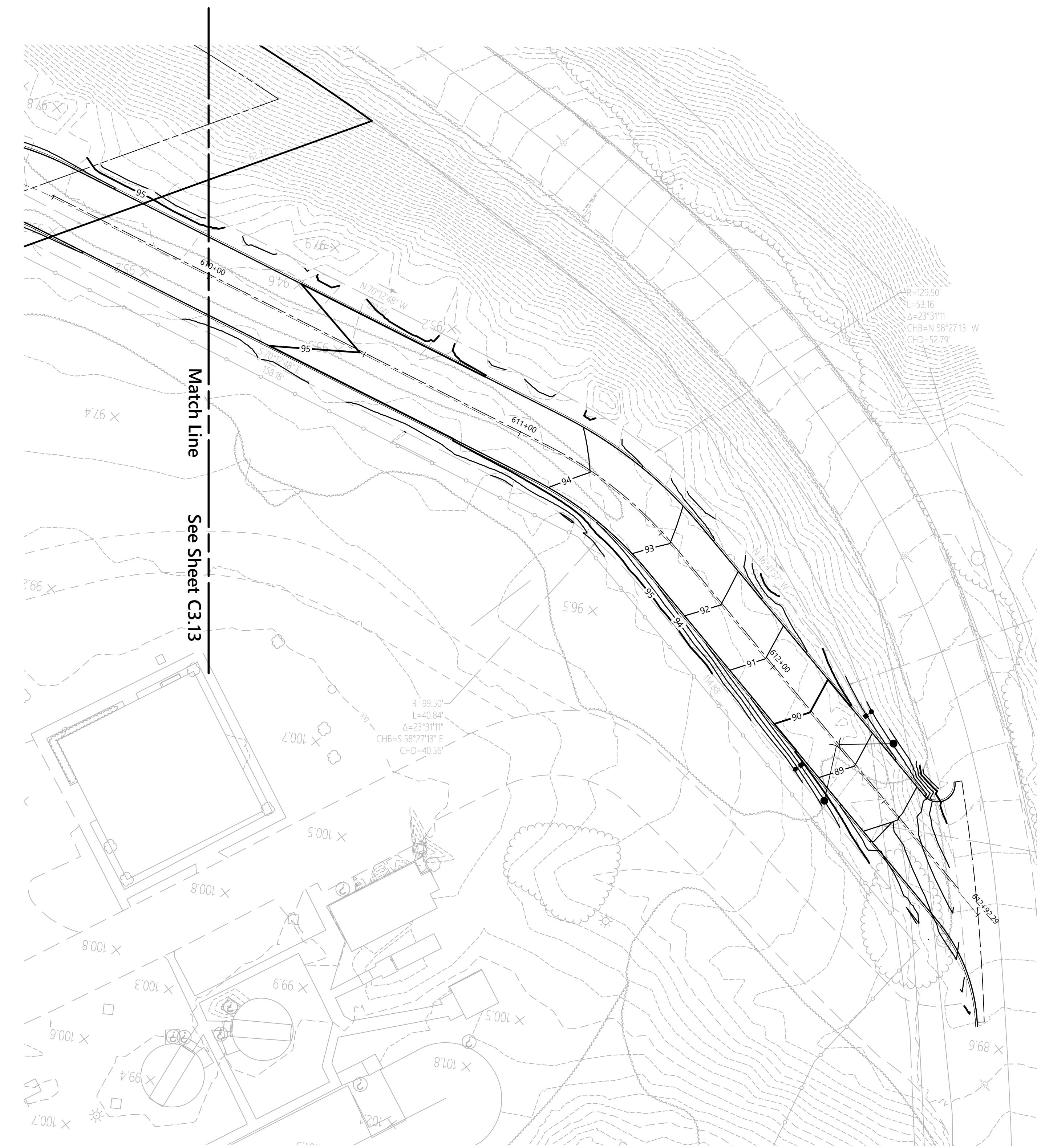
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Not Approved for Construction
Drawing Title
Fire Access Road
Plan Over Profile
Station 605+00 to 610+00

C3.13
Drawing Number
Sheet 21 of 48
Project Number 20578.01
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CITY OF NEW YORK
PROFESSIONAL ENGINEER
LICENSING BOARD
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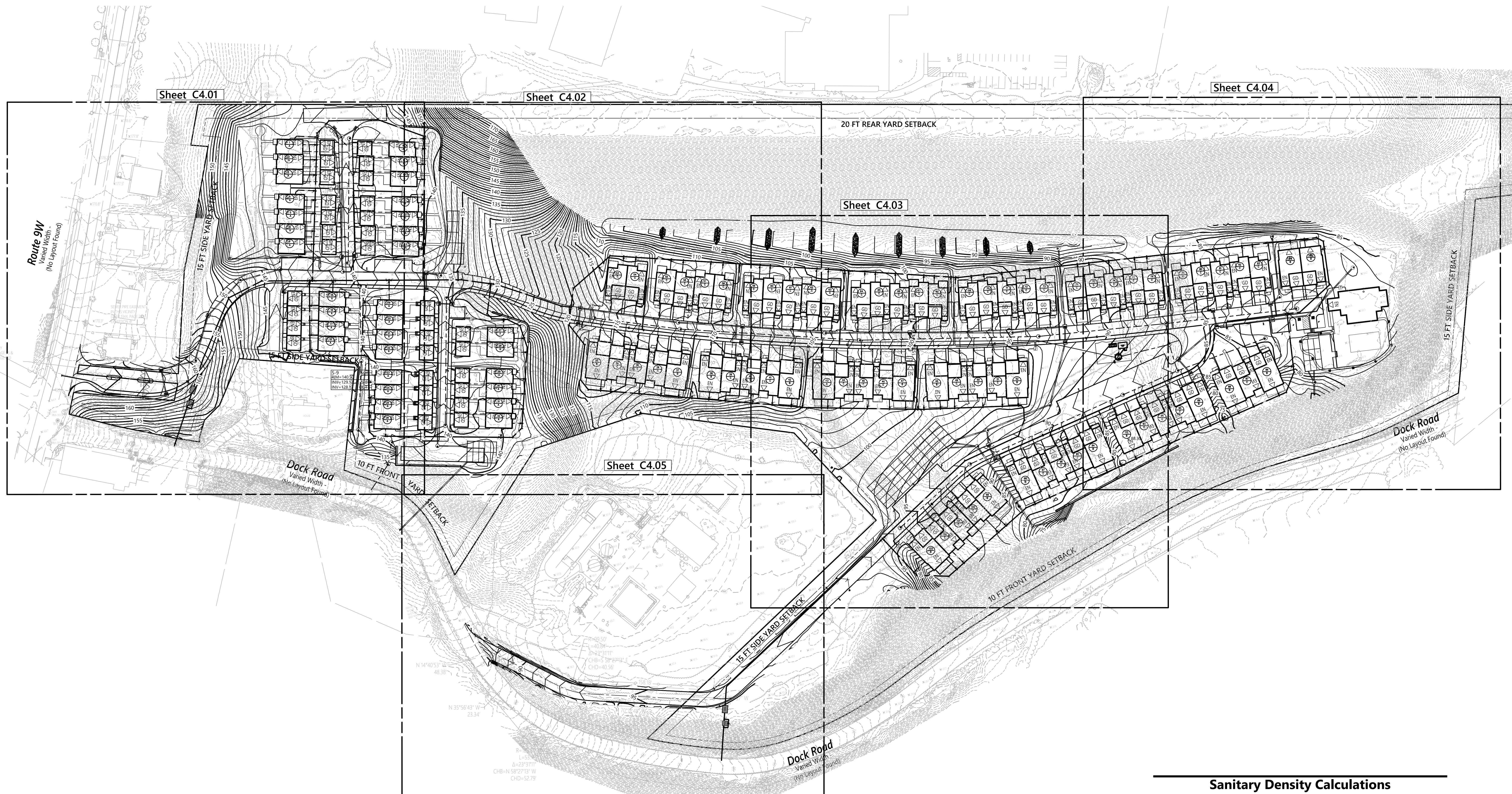
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C3.14

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Project Number
20578.01



Sanitary Density Calculations

Structure Use	Minimum Design Flow	Bedrooms Per Unit	Unit Count	Flow
RESIDENTIAL	110 GPD/BEDROOM	3 BEDROOMS/UNIT	103 UNITS	33,990 GPD
TOTAL				33,990 GPD

Notes

- ALL DRAINAGE PIPE TO BE 15" UNLESS OTHERWISE NOTED ON PLAN.
- ALL WATER PIPE TO BE 8" UNLESS OTHERWISE NOTED ON PLAN. DOMESTIC HOUSE SERVICE LINES ARE 2" AND FIRE SERVICE LINES ARE 4".
- TRANSFORMER LOCATIONS AS WELL AS ELECTRIC AND GAS SERVICES TO BE COORDINATED WITH CENTRAL HUDSON GAS & ELECTRIC.
- ALL WATER AND SANITARY DESIGN SUBJECT TO APPROVAL BY TOWN OF MARLBOROUGH DEPARTMENT OF HEALTH SERVICES/WATER DEPARTMENT AND SHALL MEET ALL OF THE REQUIREMENTS OF THE SAME.
- ALL SANITARY PIPES SHALL BE AS FOLLOWS. UNLESS OTHERWISE NOTED:
 - MINIMUM 2 FEET OF CAST IRON PIPE FROM THE FOUNDATION WALL.
 - SANITARY HOUSE CONNECTIONS TO BE 6" DR-18 WITH MINIMUM SLOPE OF 2%.
 - SANITARY MAINS TO BE MINIMUM 8" DR-18 PVC.
- THERE SHALL BE A MINIMUM SEPARATION OF 10 FEET BETWEEN SANITARY LINES AND WATER/DRAINAGE LINES.
- WATER AND SEWER CROSSINGS SHALL MAINTAIN MINIMUM 18 INCHES VERTICAL SEPARATION.

**Orchards on Hudson
Residential**
Dock Road
Marlborough, NY

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Drawing No. Utility Plan

C4.00
Drawing Number
STATE OF NEW YORK
ELDORADO, V. LAND
PROFESSIONAL ENGINEER
08/09/18
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Project Number 20578.01



A map showing the Hudson River flowing from north to south. A scale bar at the bottom indicates distances of 0, 10, 20, and 40 units. A north arrow is located in the top left corner.

Dock Road Marlborough, NY

Designed by	Checked by
DB	AL
Issued for	Date

Site Plan Approval

Not Approved for Construction

Drawing Title

Overall Utility Plan

JOURNAL OF POLYMER SCIENCE: PART A: POLYMERS IN MEDICAL AND BIOMATERIALS APPLICATIONS

Drawing Number

STATE OF NEW YORK
ANGELO V. LAI

4.01

Sheet **24** of **47**

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145 OF THE NEW YORK STATE EDUCATION LAW
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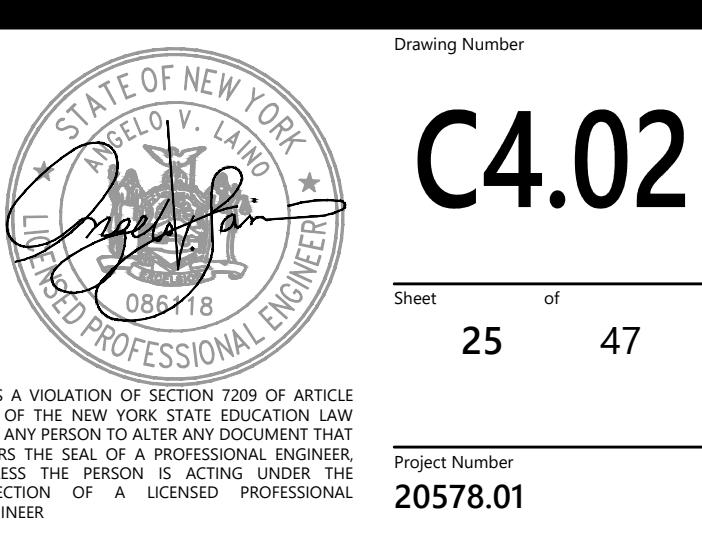
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 **Orchards on Hudson**
Residential
Dock Road
Marlborough, NY
 No. Revision Date App'd
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 Issued for Site Plan Approval Date August 9, 2024
 Not Approved for Construction Drawing Title
Utility Plan
 Drawing Number

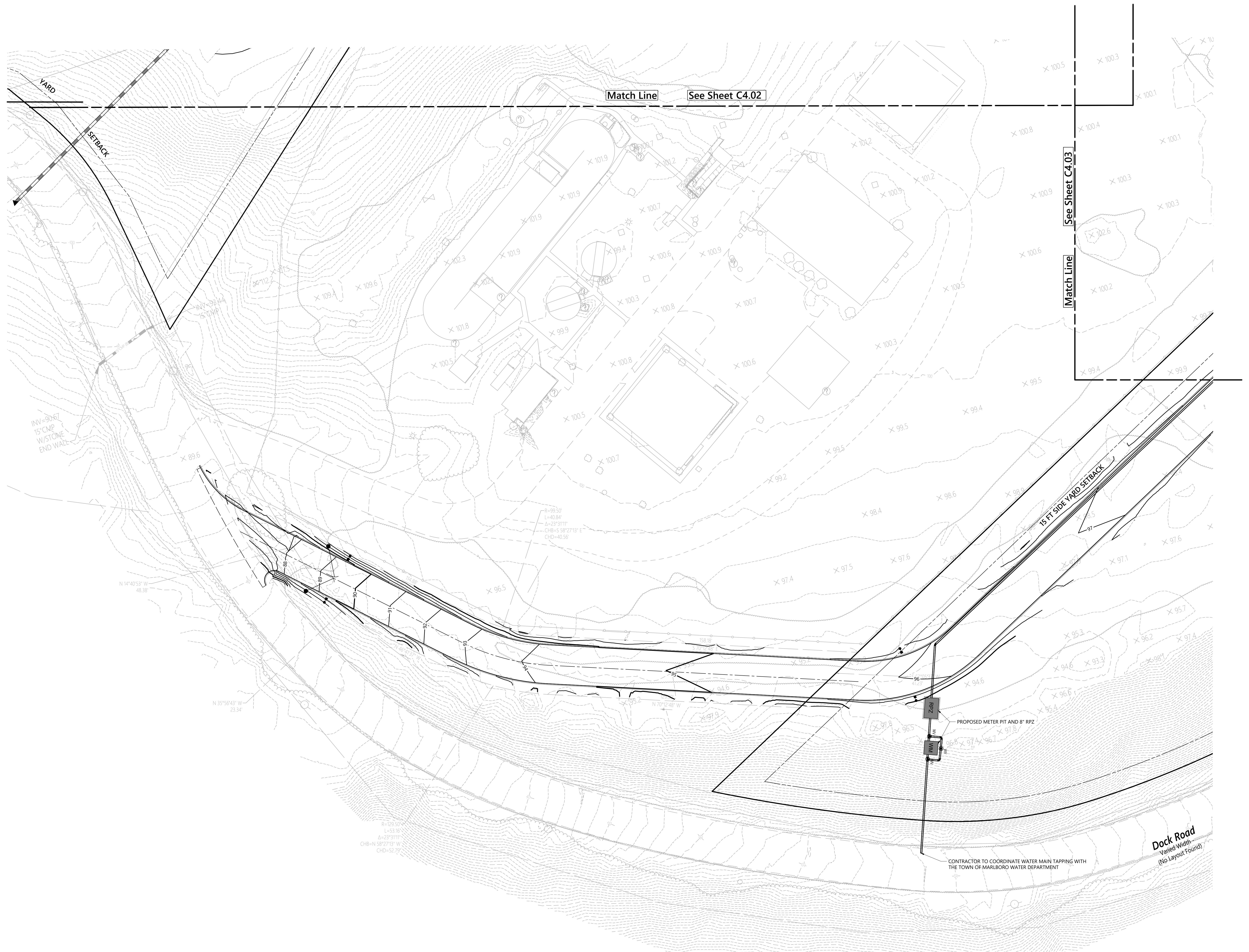


C4.02

Sheet 25 of 47
 Project Number 20578.01



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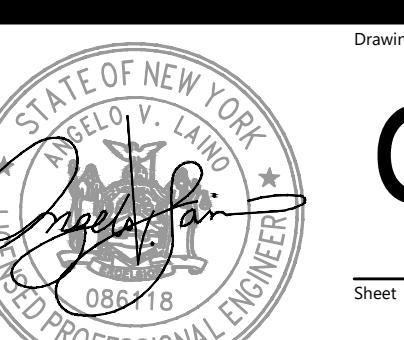


Orchards on Hudson
Residential
Dock Road
Marlborough, NY

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Drawing No. Utility Plan



C4.05

Sheet 28 of 47
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Erosion Control Notes

- PRIOR TO STARTING WORK ON THE SITE, INCLUDING DEMOLITION, CONTRACTOR SHALL NOTIFY THE APPROPRIATE AGENCIES AND INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE PLANS AND AS REQUIRED BY STATE, LOCAL AND FEDERAL REGULATIONS. EROSION CONTROL MEASURES WILL BE DICTATED BY FIELD CONDITIONS AS CONSTRUCTION PROGRESSES. EROSION CONTROL MEASURES TO BE ADJUSTED AS CONSTRUCTION PROGRESSES AS NECESSARY TO ENSURE THAT SEDIMENT IS TRAPPED ON-SITE.
- SPECIFIC METHODS AND MATERIALS EMPLOYED IN THE INSTALLATION AND MAINTENANCE OF EROSION CONTROL MEASURES SHALL CONFORM TO "THE NEW YORK GUIDELINES FOR EROSION AND SEDIMENT CONTROL".
- SEDIMENT BARRIERS (SILT FENCE OR APPROVED EQUAL) SHALL BE INSTALLED AND MAINTAINED AS SHOWN ON THE PLANS FOR THE DURATION OF THE WORK. NO SEDIMENT FROM THE SITE SHALL BE PERMITTED TO WASH ONTO ADJACENT PROPERTIES, WETLANDS OR ROADS.
- DRAINAGE INLETS INSTALLED AS PART OF THE PROJECT SHALL BE INSPECTED FOR SEDIMENT BUILDUP THROUGH THE USE OF SEDIMENT BARRIERS, SEDIMENT TRAPS, DANDY BAGS, ETC. AS REQUIRED.
- PROPER MAINTENANCE OF EROSION CONTROL MEASURES IS TO BE PERFORMED AS INDICATED BY PERIODIC INSPECTION AND AFTER HEAVY OR PROLONGED STORMS. MAINTENANCE MEASURES MAY INCLUDE, BUT ARE NOT LIMITED TO, CLEANING OF SEDIMENT TRAPS AND TRAPS, CLEANING OR REPAIR OF SEDIMENT BARRIERS, CLEANING AND REPAIR OF BERMS AND DIVERSIONS, AND CLEANING AND REPAIR OF INLET PROTECTION.
- APPROPRIATE MEANS SHALL BE USED TO CONTROL DUST DURING CONSTRUCTION.
- A STABILIZED CONSTRUCTION ENTRANCE SHALL BE MAINTAINED TO PREVENT SOIL AND LOOSE DEBRIS FROM BEING TRACKED ONTO LOCAL ROADS. THE CONSTRUCTION ENTRANCE SHALL BE MAINTAINED UNTIL THE SITE IS PERMANENTLY STABILIZED.
- SEDIMENT BARRIERS AND OTHER CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL DISTURBED AREAS ARE REGRADED AND STABILIZED. ANY SEDIMENT FROM THE REGRADED AREAS SHALL BE CLEANED AND DRAINAGE SYSTEMS CLEANED AND FLUSHED AS NECESSARY.
- LOCATION AND EXTENT OF EROSION & SEDIMENT CONTROL MEASURES TO BE ADJUSTED AS NECESSARY DURING THE COURSE OF CONSTRUCTION AS CONSTRUCTION PROGRESS AND FIELD CONDITIONS DEMAND.
- CONCRETE WASHOUT SHALL BE LOCATED A MINIMUM OF 50 FT FROM ANY DRAINAGE INLET OR CONCENTRATED FLOW. ONCE CONCRETE WASTE HAS BEEN WASHED IN THE WASHOUT AREA AND ALLOWED TO HARDEN, THE CONCRETE SHALL BE BROKEN UP AND REMOVED FROM THE SITE. CONCRETE WASHOUT FACILITIES SHALL BE MAINTAINED ON A REGULAR BASIS. PLASTIC LINING SHALL BE A MINIMUM OF 10 MIL POLYETHYLENE SHEETING AND SHALL BE FREE OF HOLES AND TEARS AND SECURED TO THE GROUND. CONCRETE WASHOUT FACILITIES OF THE LINER CONCRETE WASHOUT FACILITIES SHALL BE CLEARED OUT ONCE 75% CAPACITY IS REACHED. STRAW BALES MAY BE SUBSTITUTED WITH ALTERNATE SECURING MEASURES SUCH AS CONCRETE BLOCKS.

Concrete Washout Note

- CONCRETE WASHOUT SHALL BE LOCATED A MINIMUM OF 50 FT FROM ANY DRAINAGE INLET OR CONCENTRATED FLOW. ONCE CONCRETE WASTE HAS BEEN WASHED IN THE WASHOUT AREA AND ALLOWED TO HARDEN, THE CONCRETE SHALL BE BROKEN UP AND REMOVED FROM THE SITE. CONCRETE WASHOUT FACILITIES SHALL BE MAINTAINED ON A REGULAR BASIS. PLASTIC LINING SHALL BE A MINIMUM OF 10 MIL POLYETHYLENE SHEETING AND SHALL BE FREE OF HOLES AND TEARS AND SECURED TO THE GROUND. CONCRETE WASHOUT FACILITIES OF THE LINER CONCRETE WASHOUT FACILITIES SHALL BE CLEARED OUT ONCE 75% CAPACITY IS REACHED. STRAW BALES MAY BE SUBSTITUTED WITH ALTERNATE SECURING MEASURES SUCH AS CONCRETE BLOCKS.

Dandy Bag Notes

- INSTALLATION AND MAINTENANCE GUIDELINES (SEE DETAIL)
- INSTALLATION: EMPTY DANDY BAG SHOULD BE PLACED OVER THE GROUTE AS THE CONCRETE IS Poured. IF USING OPTIMUM OIL ABSORBENT, PLACE ABSORBENT PILLOW IN POUCH ON BOTTOM OF THE UNIT. ATTACH ABSORBENT PILLOW TO TETHER LOOP HOLDING THE LIFTING DEVICE DO NOT PLACE ON LIFTING DEVICE TO SUPPORT ENTIRE WEIGHT OF GROUTE. PLACE THE GROUTE INTO THE POUCH.
 - Maintenance: ACCUMULATED SEDIMENT AND DEBRIS FROM THE SURFACE AND VICINITY OF THE UNIT AFTER EACH STORM EVENT. REMOVE THE SEDIMENT THAT HAS ACCUMULATED WITHIN THE CONTAINMENT AREA OF THE DANDY BAG AS NEEDED. IF USING OPTIMUM OIL ABSORBENT, REMOVE AND REPLACE ABSORBENT PILLOW WHEN NEAR SATURATION.

Legend

- SF SILT FENCE
- CONSTRUCTION FENCE
- CONCRETE WASHOUT AREA
- SOIL STABILIZATION BLANKETS AND OR MATTING
- STORM DRAIN INLET PROTECTION
- STABILIZED CONSTRUCTION ENTRANCE

Leyton Properties
Residences
Dock Road
Marlborough, NY

No. Revision Date Approved

Designed by DB Checked by AL

Issued for Site Plan Approval Date August 9, 2024

Not Approved for Construction
Overall Erosion and Control Plan

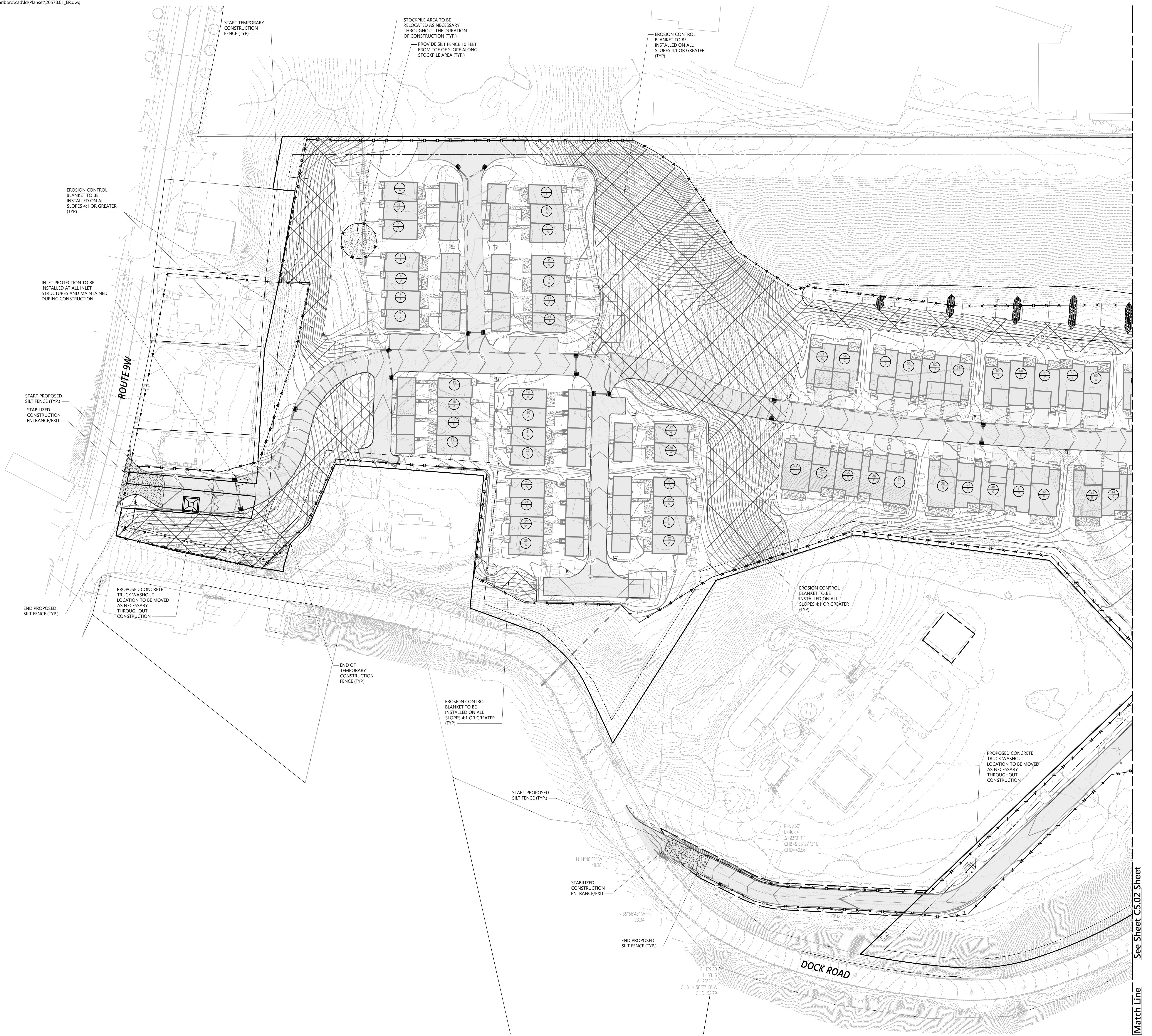
C5.00

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EDWARD V. LANGE
PRESIDENTIAL PROFESSIONAL ENGINEER
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Sheet 29 of 47
Project Number 20578.01



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Orchards on Hudson
Residential
Dock Road
Marlborough, NY

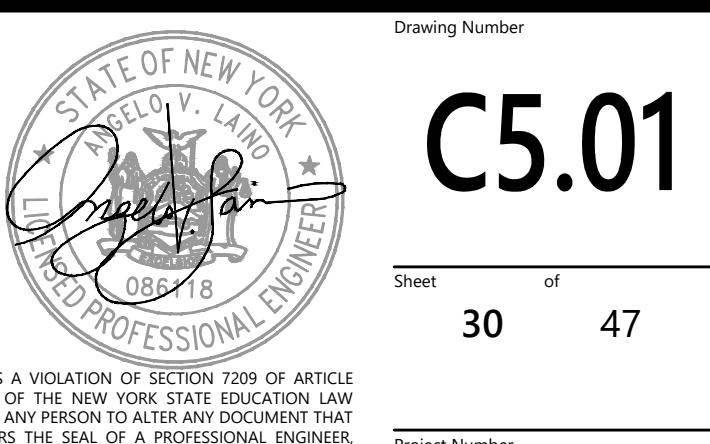
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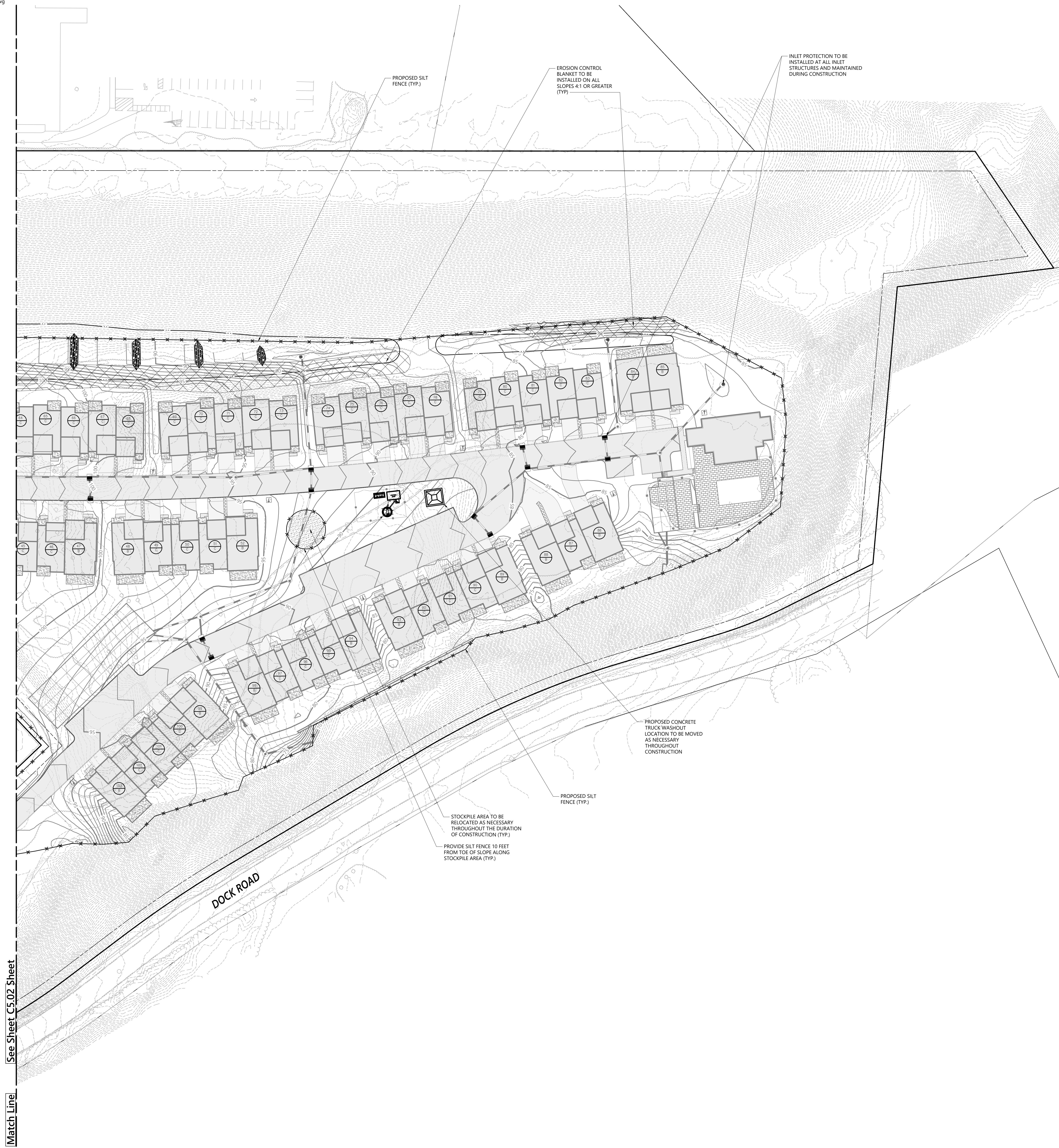
Erosion and Control Plan



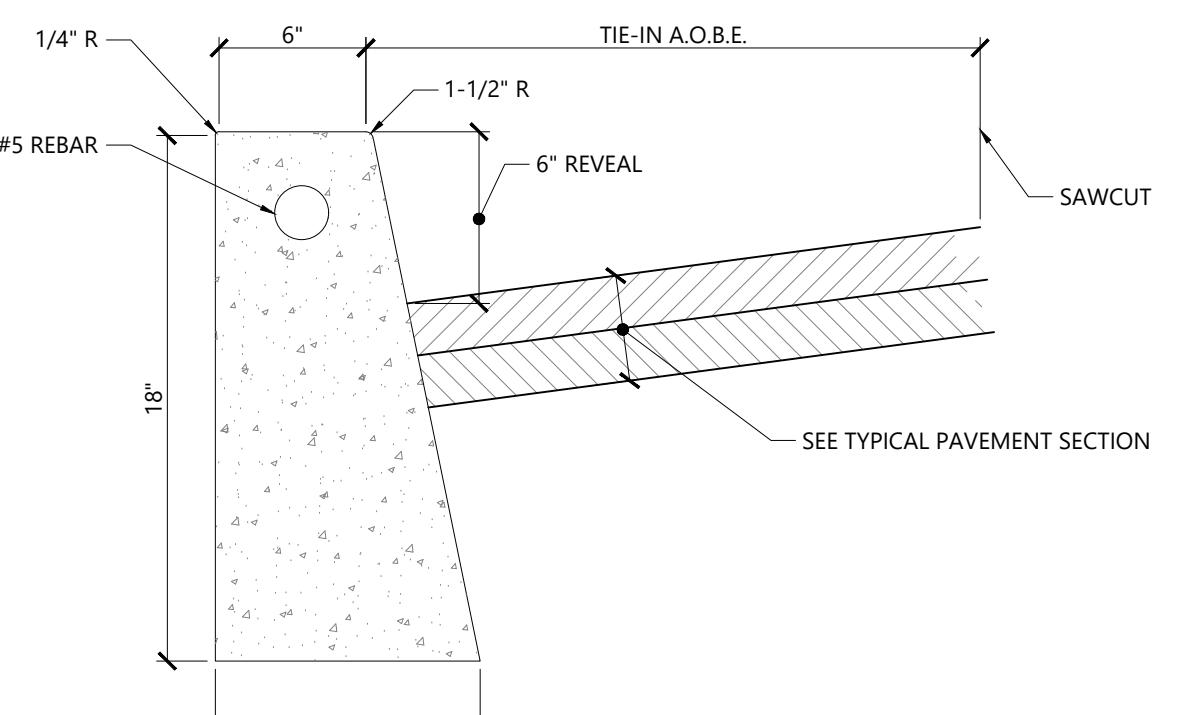
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Sheet 30 of 47
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NOTES:

1. ALL CONCRETE TO BE 4,000 PSI AIR ENTRAINED.
2. FOR LOCATION OF CURB FROM PROPERTY LINE, SEE STANDARD ROAD SECTION.
3. STEEL FORMS OR EQUAL SHALL BE USED.
4. EXPANSION JOINTS 1/2" THICK 20' O.C. SHALL BE USED.
5. ALL CONCRETE SHALL BE TAMPED IN PLACE, NO HONEYCOMB WILL BE ALLOWED. FINISH SHALL BE SMOOTH AND EVEN - RUBBED WITH A WOOD FLOAT.
6. ALL EDGES SHALL BE TOOL ROUNDED.
7. CYLINDER TESTING REQUIRED AS PER TOWN ENGINEER
8. ALL EXPANSION JOINTS SHALL BE PRE-CUT TO CURB PROFILE PRIOR TO INSTALLATION
9. ALL CONCRETE CURBS SHALL UTILIZE A #5 REBAR

Standard Concrete Curb

2004

Source: VHB

Curb Transition Lengths (L)

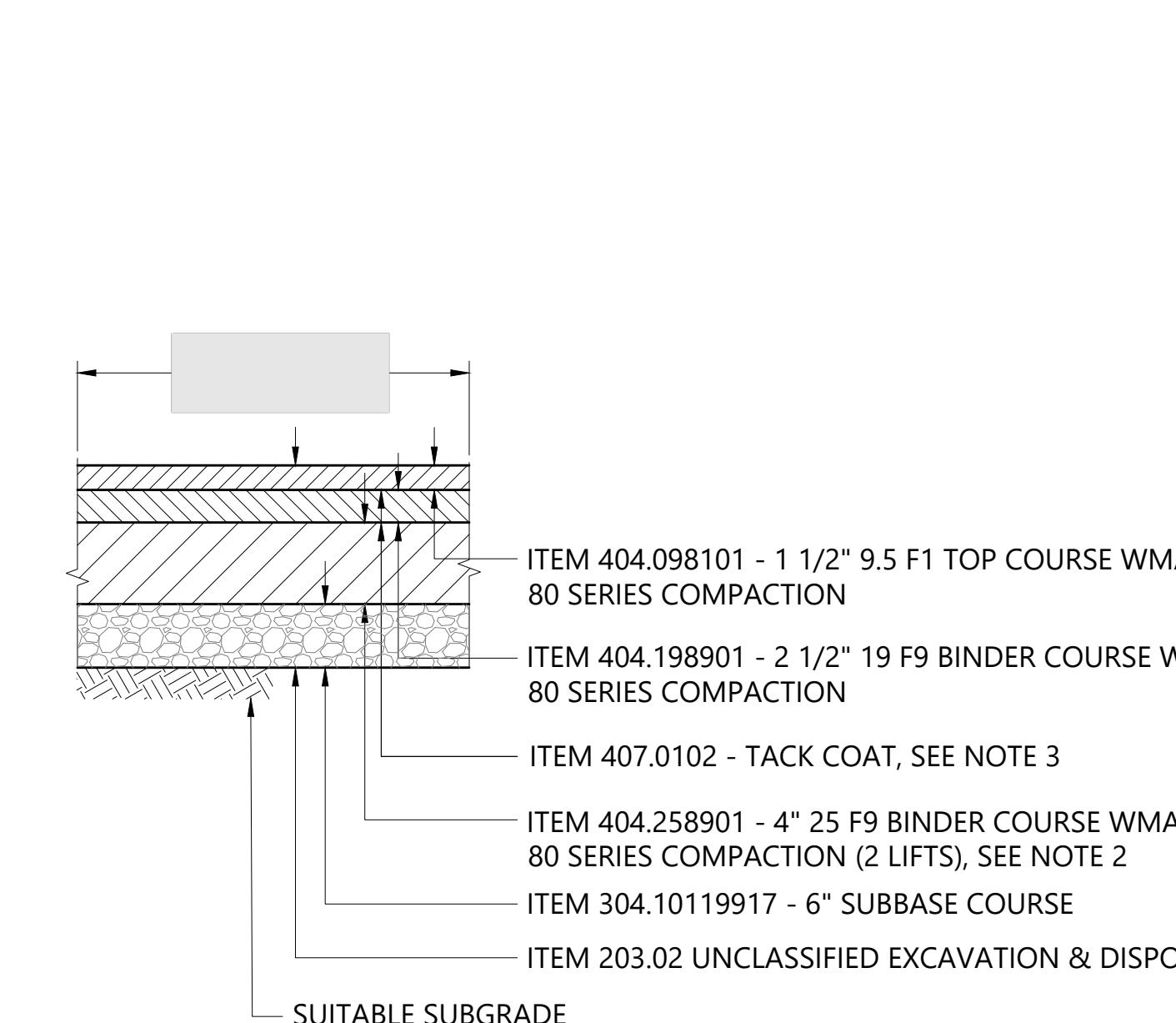
H	1:4	1:6	1:12	1:20
4"	16"	48"	80"	
6"	24"	72"	120"	

NOTES:

1. USE 1" REVEAL AND CONTINUE CURB ACROSS DRIVEWAY ENTRANCES ONLY IF SHOWN IN THE CONTRACT DOCUMENTS, OR DIRECTED BY THE ENGINEER AS A FIELD CONDITION.
2. TERMINATE CURB, CURB AND GUTTER, AND ASPHALT CURB BY TRANSITIONING ON A MAXIMUM SLOPE OF 1/12 TO PAVEMENT SURFACE, EXCEPT WHEN BEHIND GUIDE RAIL.

Cast-in-Place Concrete Curb Transition

N.T.S.

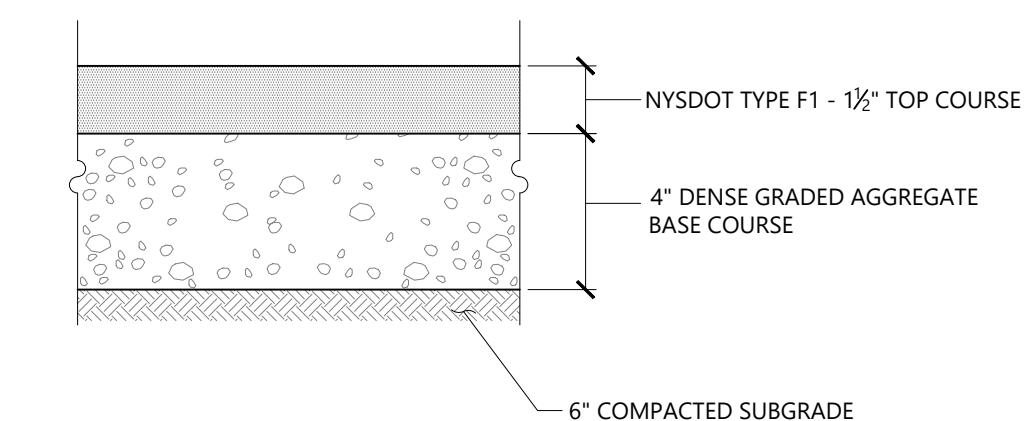


PAVEMENT RESTORATION NOTES:

1. CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING EXISTING FLOWLINE GRADES AND RE-ESTABLISHING THESE GRADES IN THE PROPOSED CURB/FLOWLINE WORK.
2. VARY DEPTH OF ASPHALT BINDER TO ENSURE PROPOSED PAVEMENT DEPTH MATCHES ADJACENT EXISTING PAVEMENT.
3. PLACE TACK COAT BETWEEN EVERY ASPHALT LIFT REGARDLESS OF WHEN PLACED AND AT THE JOINTS BETWEEN NEW AND EXISTING ASPHALT PAVEMENT EDGES.
4. ALL COLD JOINTS SHALL BE SEALED AS PER ITEM 633.13 - CLEANING, SEALING AND/OR FILLING JOINTS.
5. THE REMOVAL OF THE EXISTING CONCRETE CURB SHOULD BE DONE FROM THE BACK SIDE OF THE EXISTING CURB TO MINIMIZE ANY DAMAGE TO THE EXISTING PAVEMENT. CONSIDER "FACE FORMING" THE NEW CURB WHERE THE EXISTING CURB WILL BE REMOVED. THIS INVOLVES PULLING THE CURB OUT FROM THE BACK AND POURING NEW CURB UP AGAINST THE EXISTING PAVEMENT. IF ANY DAMAGE TO THE EXISTING PAVEMENT OCCURS, THE PERMITTEE SHALL REPLACE THE EXISTING PAVEMENT PER THE DETAILS SHOWN ON MD-1 OR PER NYSDOT STANDARD SHEETS.
6. SHOULD THE CONTRACTOR ENCOUNTER COMPOSITE PAVEMENT DURING CONSTRUCTION, THE CONTRACTOR SHALL REFER TO THE NYSDOT REGION 10 PAVEMENT REPAIR DETAILS INCLUDED AT THE BACK OF THIS PLAN SET.

Asphalt Pavement Construction Detail

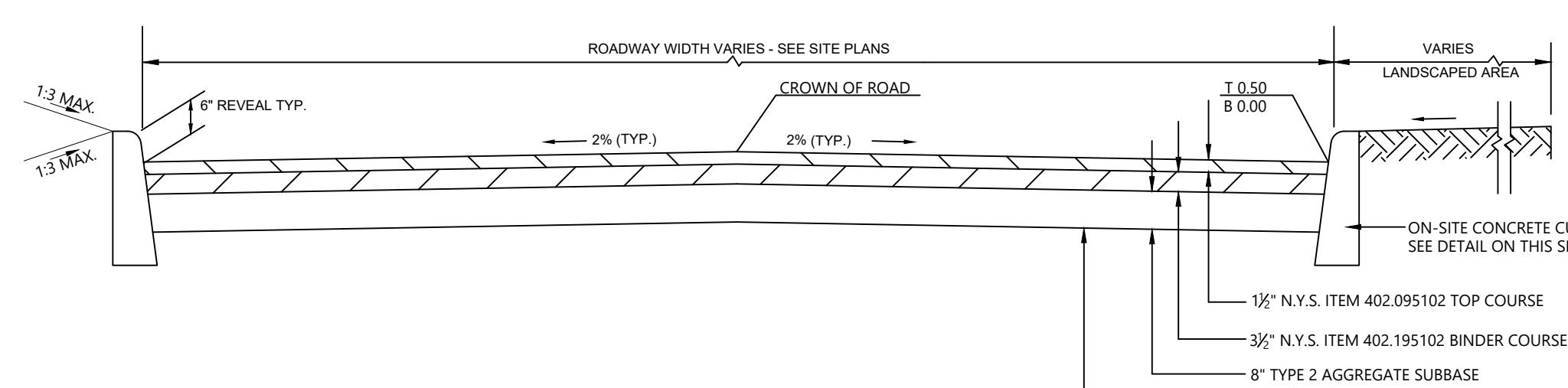
N.T.S.



Bituminous Concrete Pavement Section (Driveway)

9/04

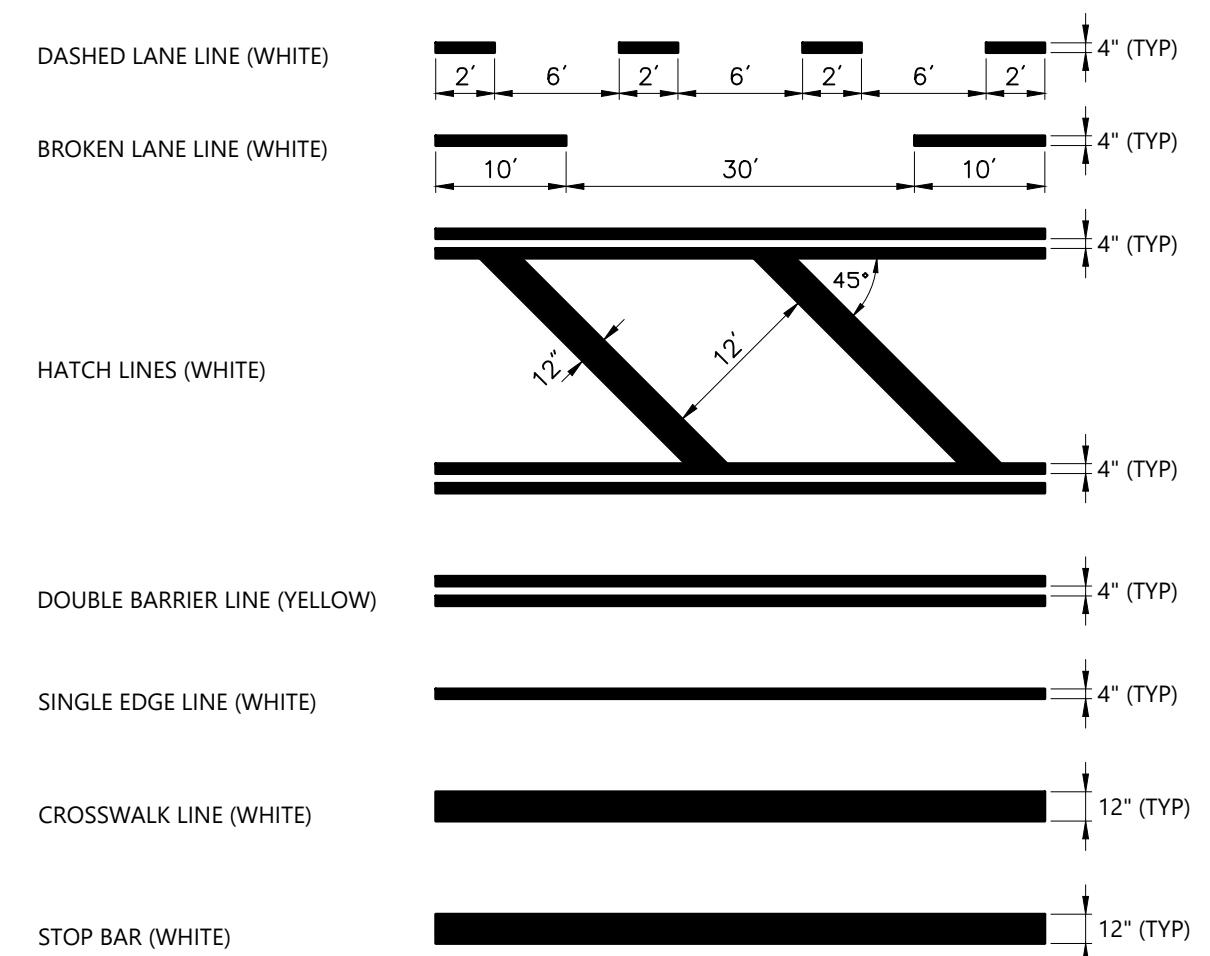
Source: VHB



Pavement Section - On Site Roadways

N.T.S.

Source:



On-Site Pavement Markings

1/16

Source: VHB

Accessible Parking Space

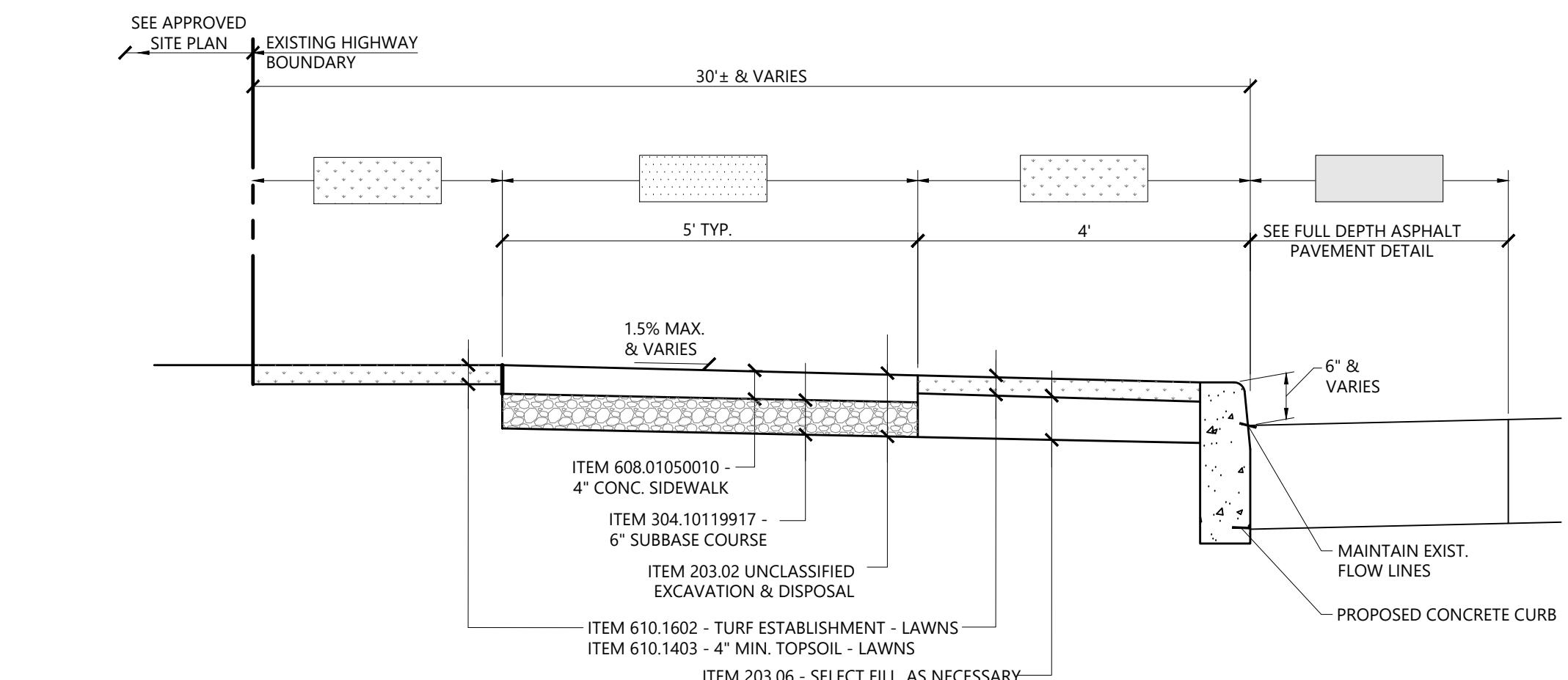
12/19

Source: VHB

LD_552C

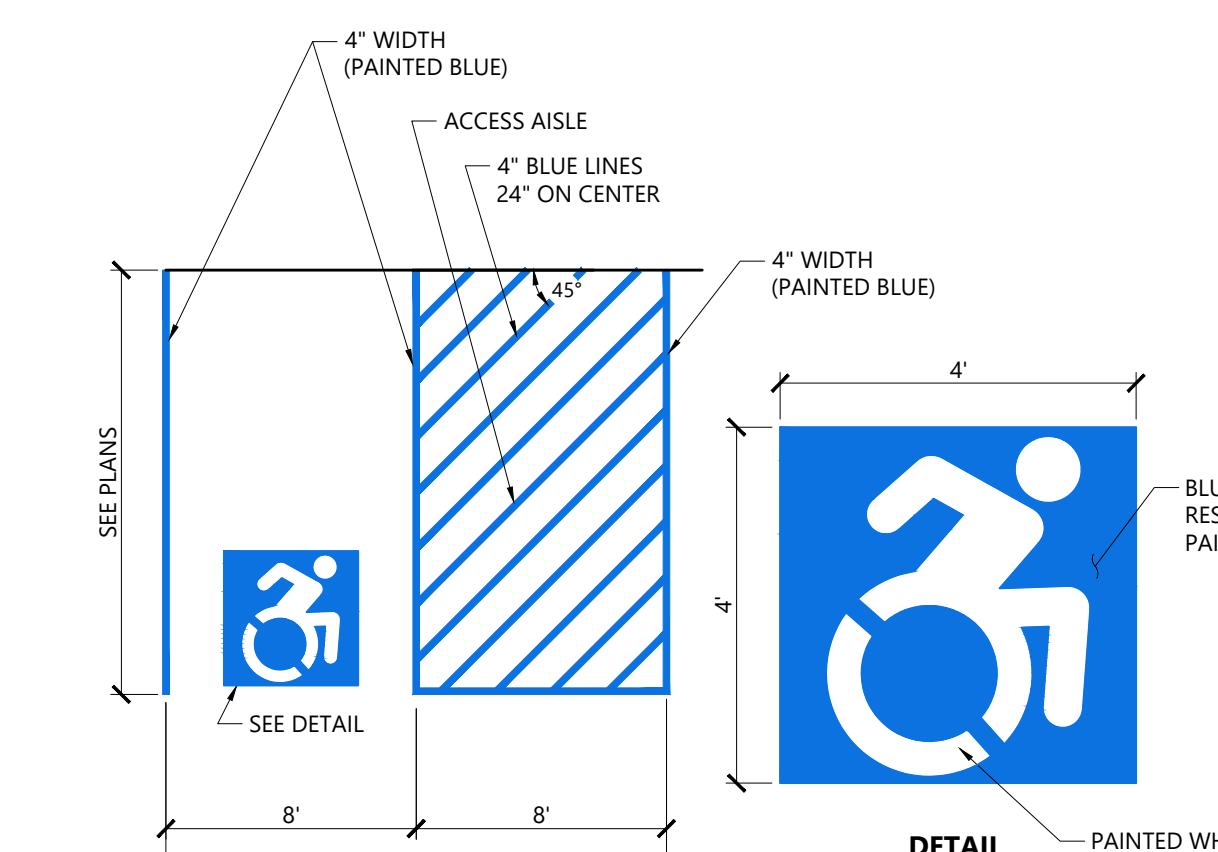
NOTES:

1. ALL PAVEMENT MARKINGS (EXCEPT TRAFFIC ARROWS AND STOP BARS) SHALL BE SEAFAST LOW VOC TRAFFIC MARKING PAINT OR APPROVED EQUAL AS PER NYSDOT REQUIREMENTS.
2. ALL SLOPES THROUGHOUT THE ACCESSIBLE PARKING AND AISLE AREAS SHALL NOT EXCEED 1.5%.
3. THE ACCESSIBLE SYMBOL DEPICTED ABOVE DOES NOT COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND IS SHOWN FOR COMPLIANCE WITH STATE AND LOCAL REGULATIONS ONLY.



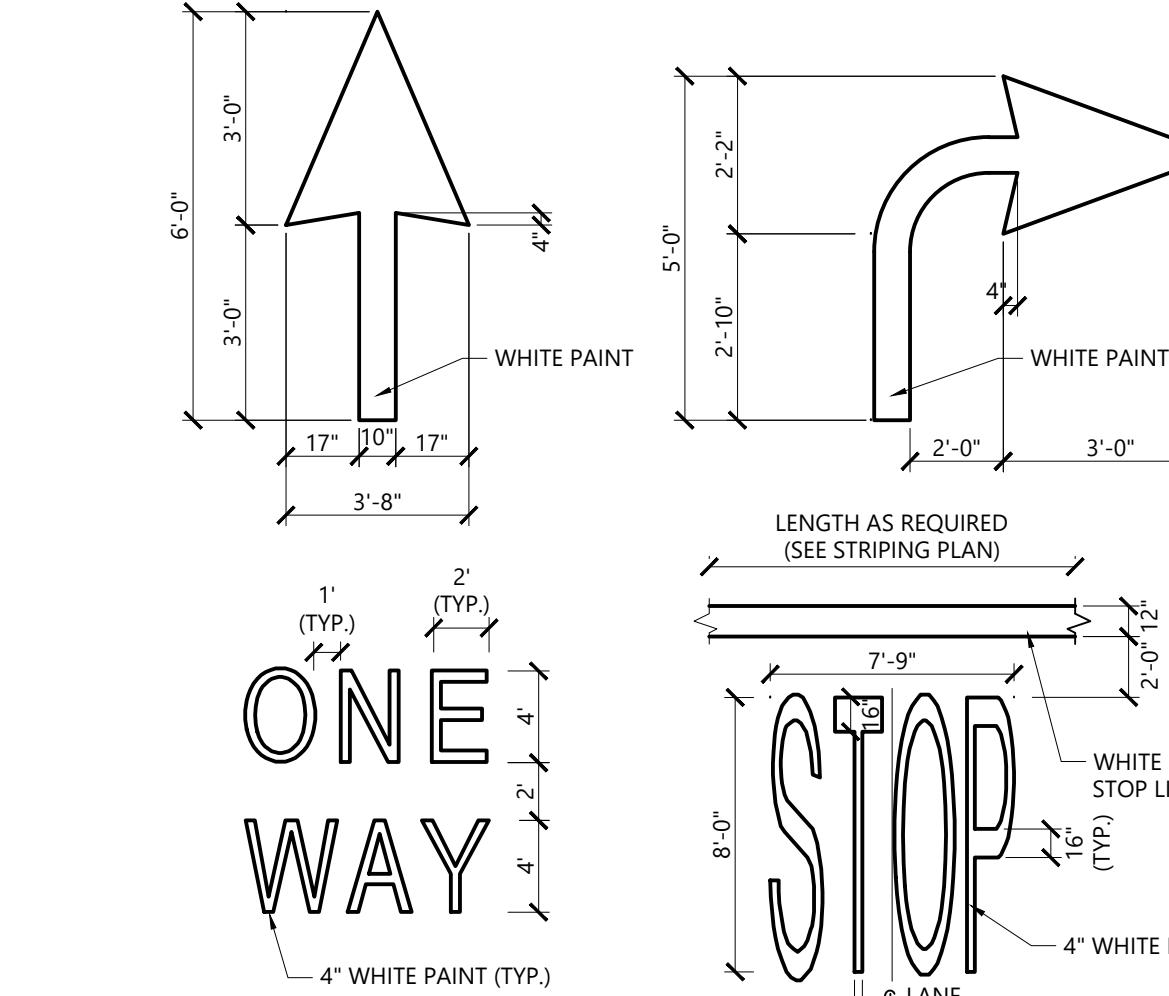
Typical Sidewalk Section

N.T.S.



NOTES:

1. ALL DIMENSIONS TO CENTER OF PAVEMENT STRIPING.
2. ALL SLOPES THROUGHOUT THE ACCESSIBLE PARKING AND AISLE AREAS SHALL NOT EXCEED 1.5%.
3. THE ACCESSIBLE SYMBOL DEPICTED ABOVE DOES NOT COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND IS SHOWN FOR COMPLIANCE WITH STATE AND LOCAL REGULATIONS ONLY.



Painted Pavement Markings - On Site

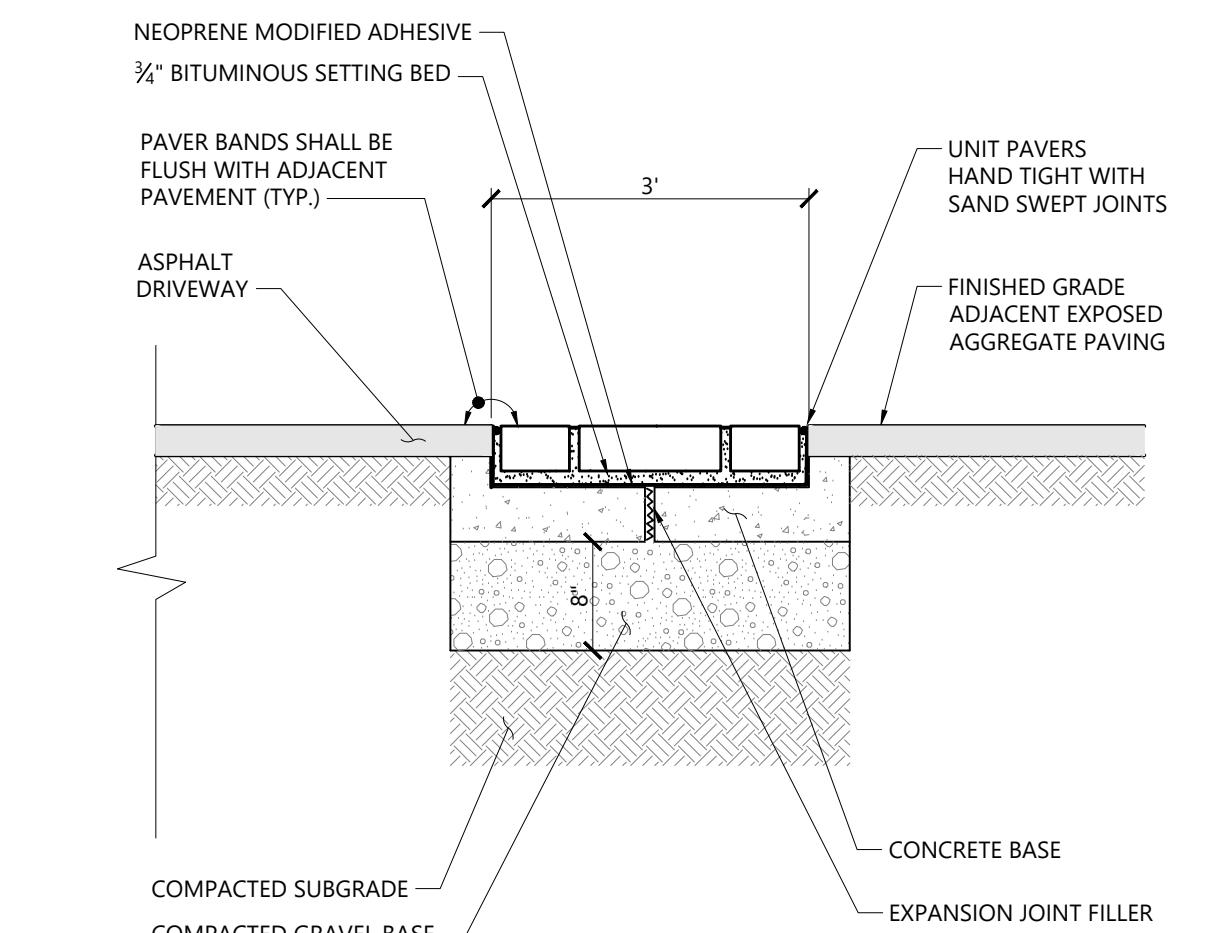
1/16

Source: VHB

LD_554

NOTES:

1. PAINTED MARKINGS TO BE INSTALLED FOR ON SITE WORK IN LOCATIONS SHOWN.
2. PAVERS TO BE RATE FOR VEHICLE LOADING.



Unit Paver Band

1/16

Source: VHB

REV

NOTES:

1. PAVER BANDS TO BE NICOLock ON APPROVED EQUAL.
2. PAVERS TO BE RATE FOR VEHICLE LOADING.

Accessible Curb Ramp (ACR) Type 'A'

12/20

N.T.S.

Source: VHB

LD_500

Source: VHB

LD_500

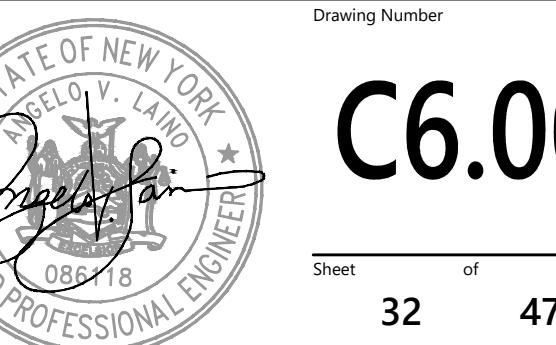
Orchards on Hudson Residential

Dock Road
Marlborough, NY

No.	Revision	Date	Appd

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Drawing Date
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Drawing Date
Site Details - 1



C6.00

Sheet 32 of 47

32

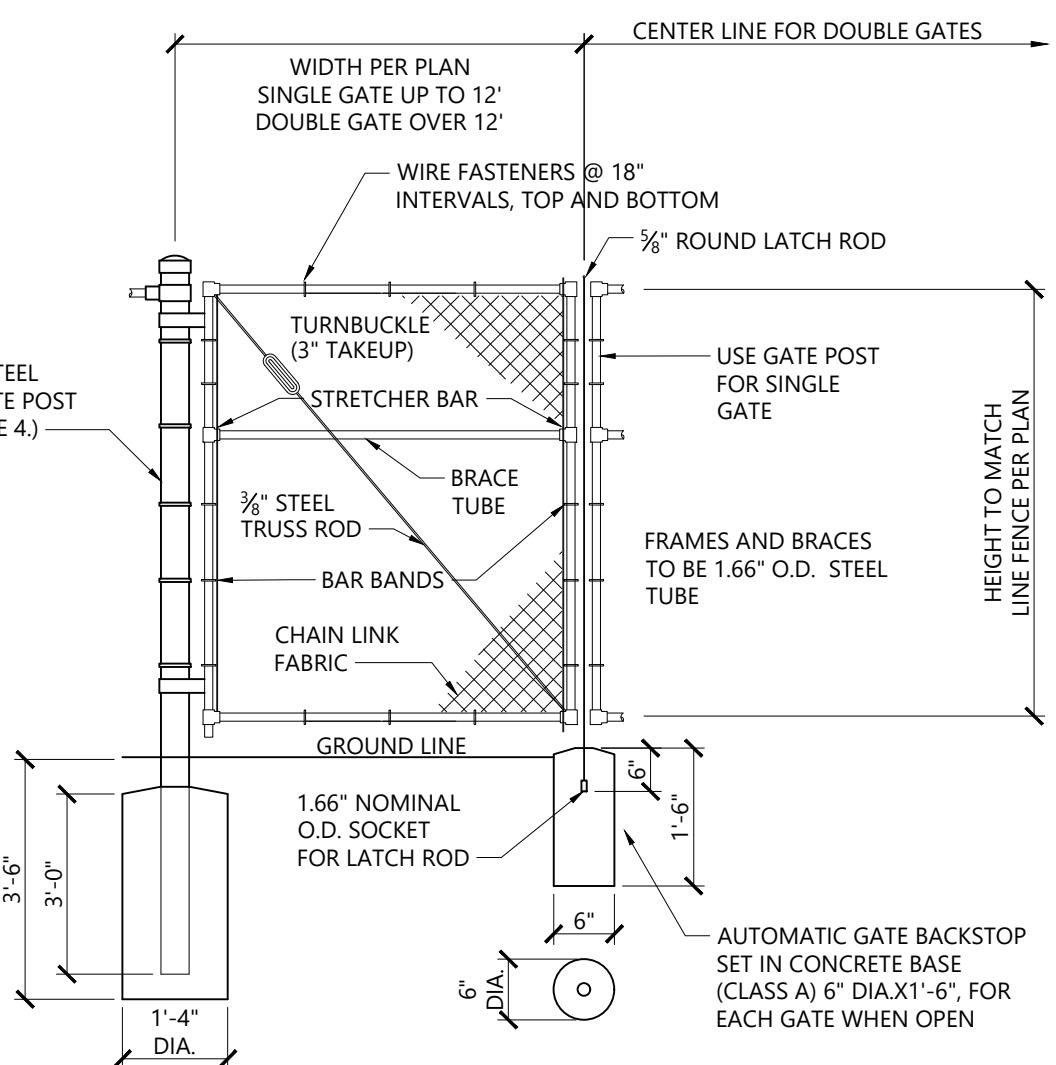
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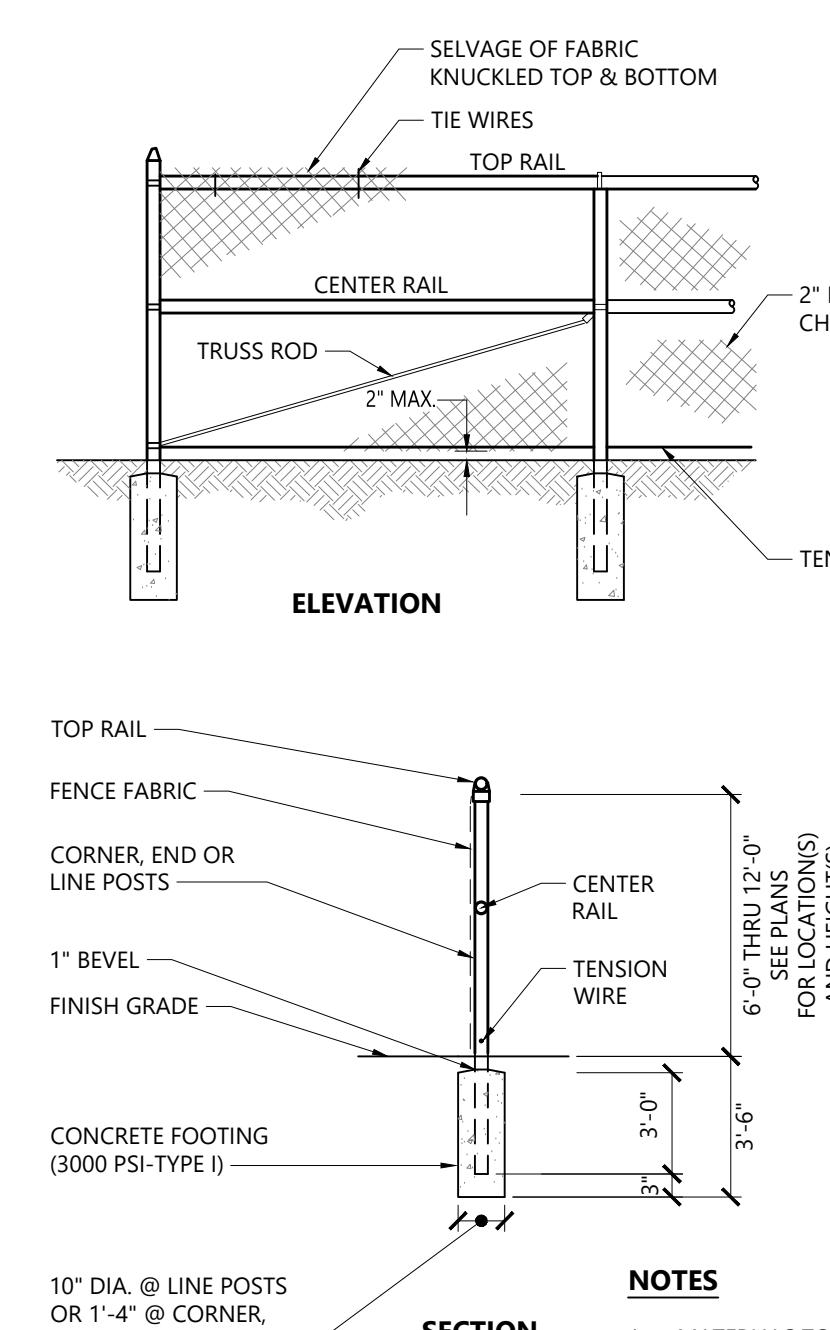
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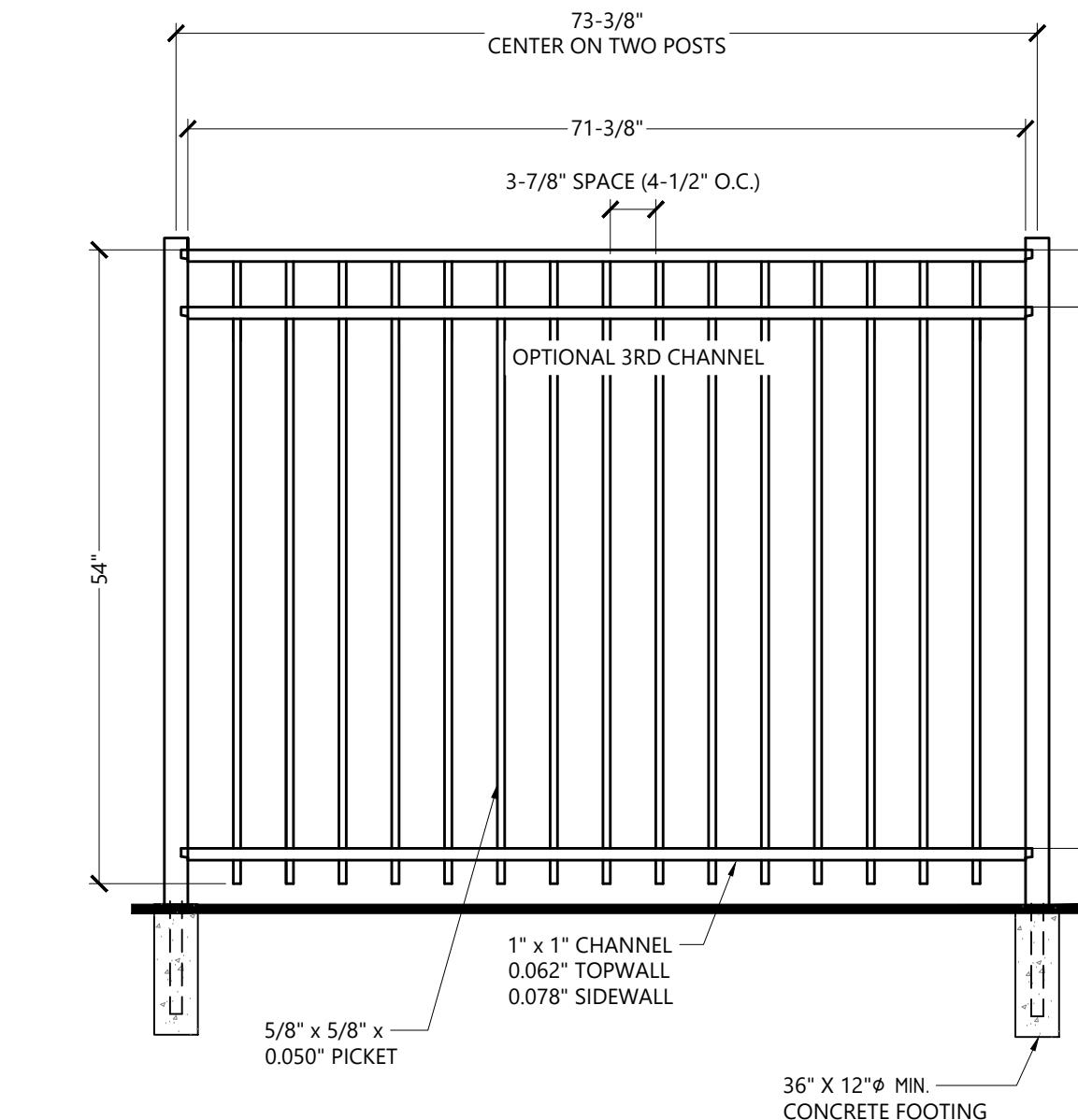
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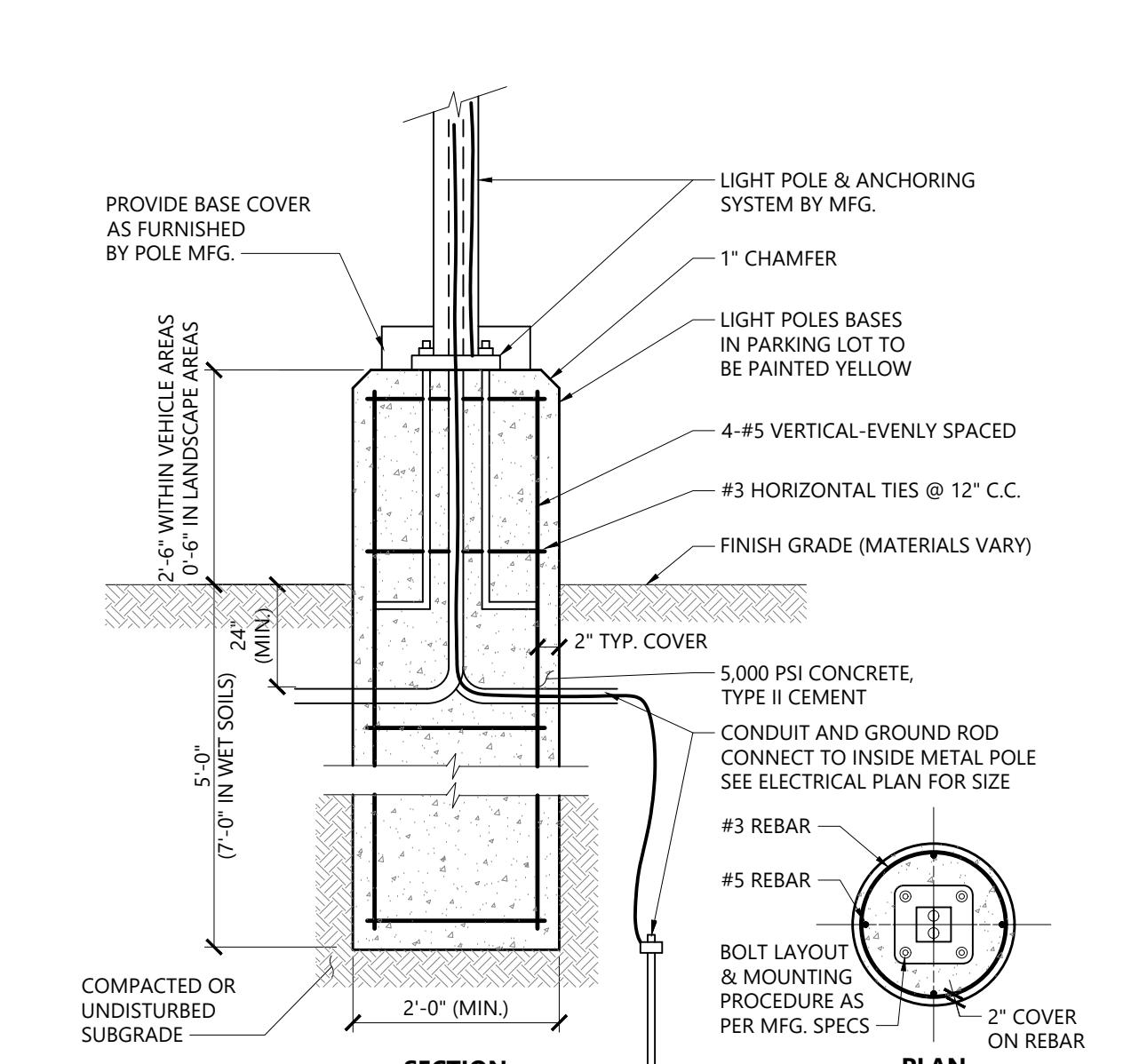
Chain Link Fence Gate 12/19
N.T.S. Source: VHB LD_482



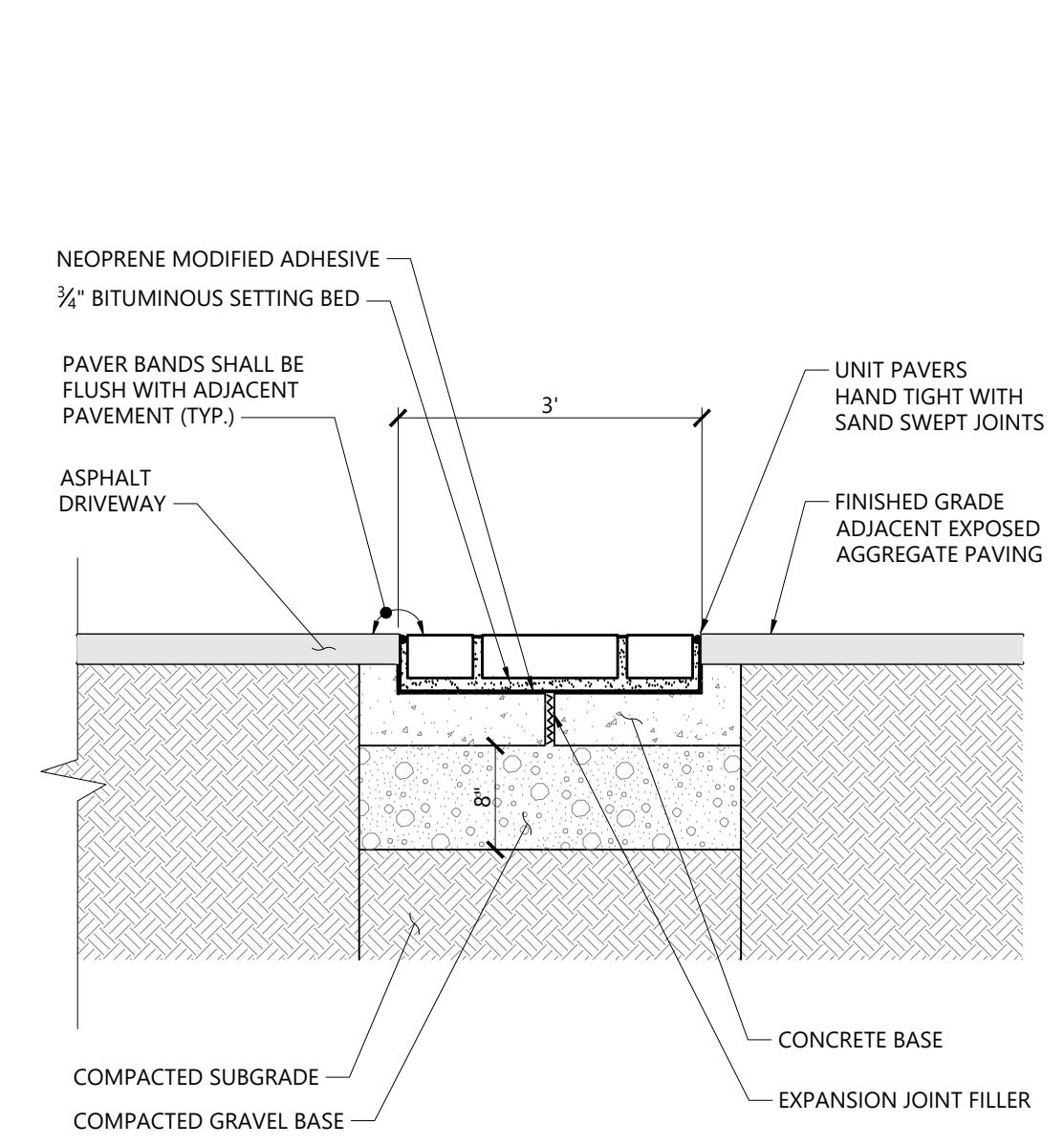
6' to 12' Chain Link Fence 10/20
N.T.S. Source: VHB LD_480



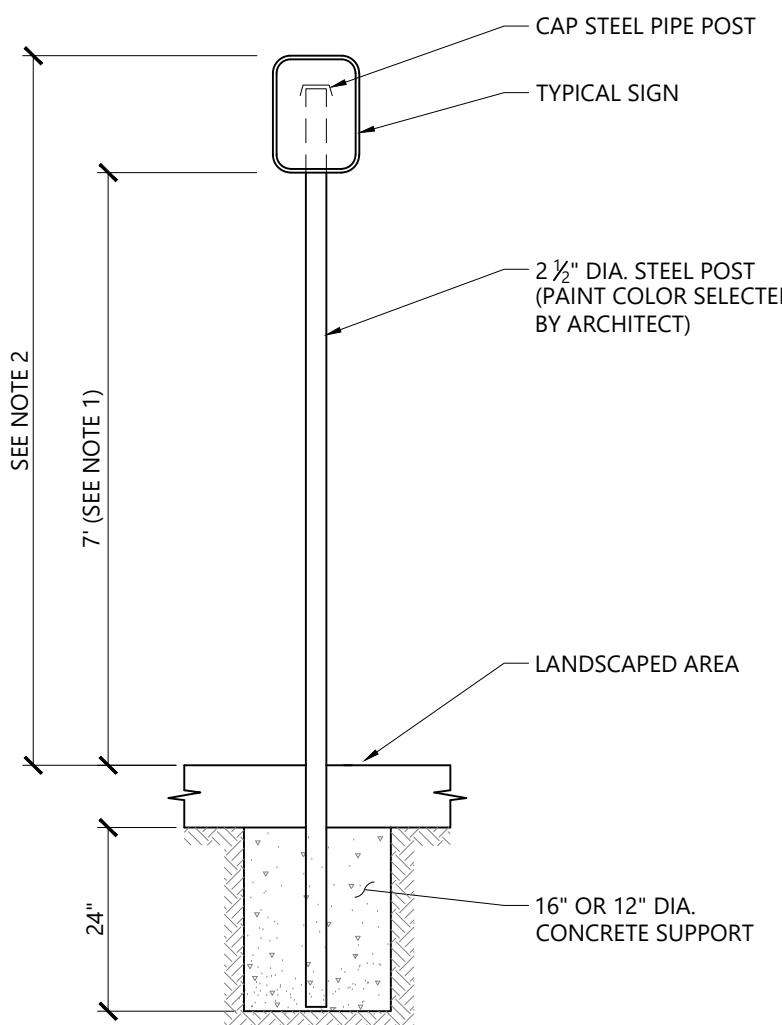
4'-6" High Aluminum Decorative Fence 7/17
N.T.S. Source: VHB LD_



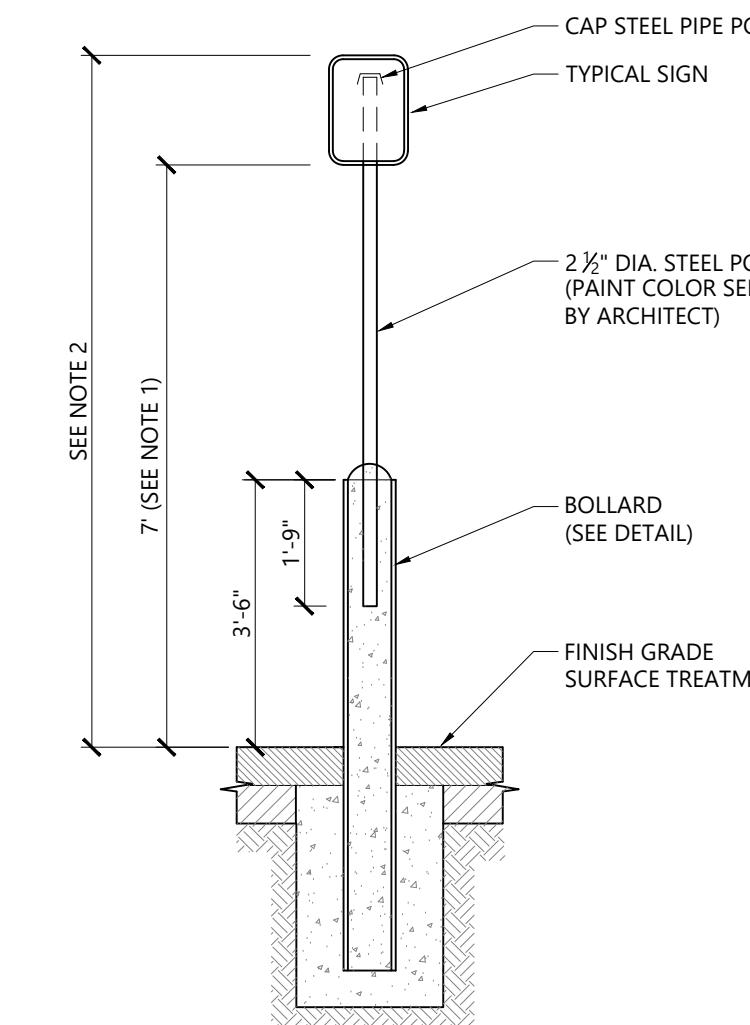
Light Pole Foundation Detail (Up to 20' Pole) 3/23
N.T.S. Source: VHB LD_310B



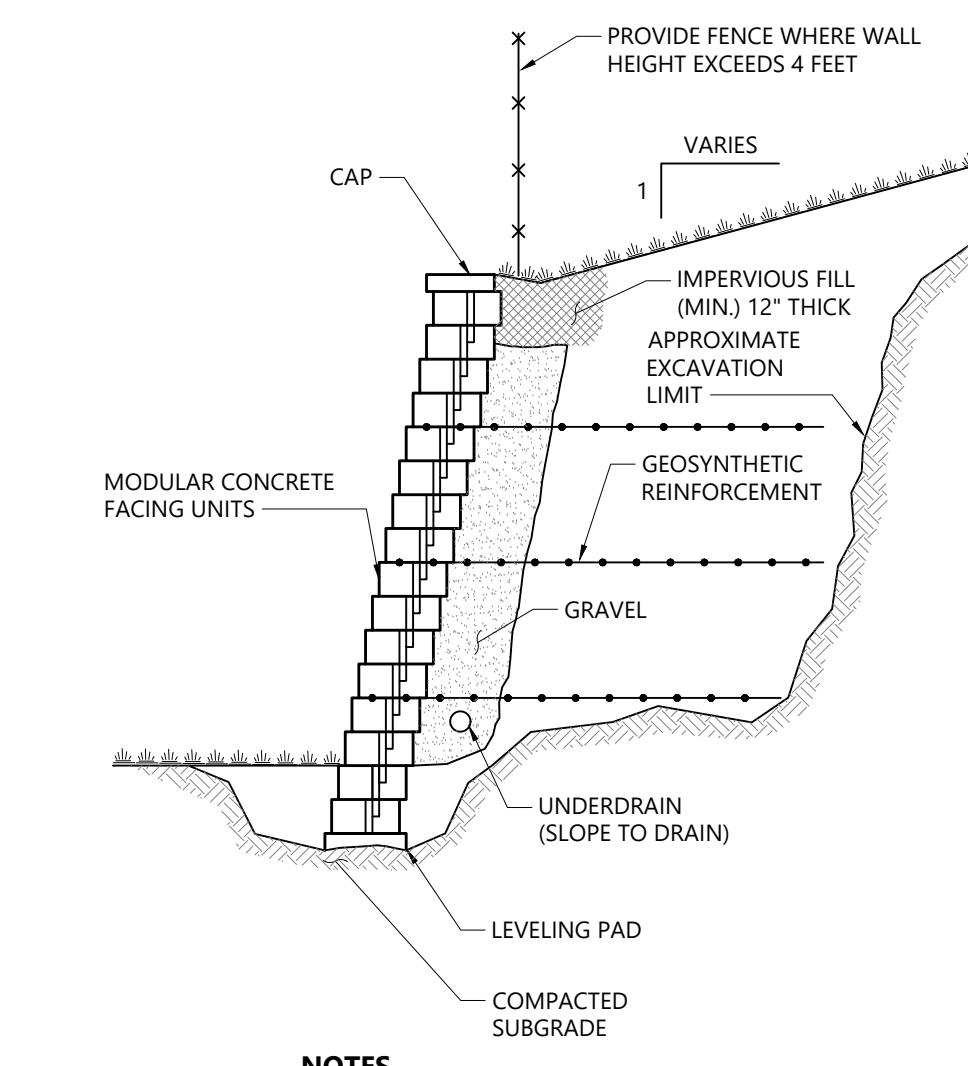
Unit Paver Band 1/16
N.T.S. Source: VHB REV



Sign Post - Type 'A' 3/19
N.T.S. Source: VHB LD_701



Bollard Mounted Sign 2/20
N.T.S. Source: VHB LD_703



Modular Retaining Wall 10/20
N.T.S. Source: VHB LD_750

**Orchards on Hudson
Residential**
Dock Road
Marlborough, NY

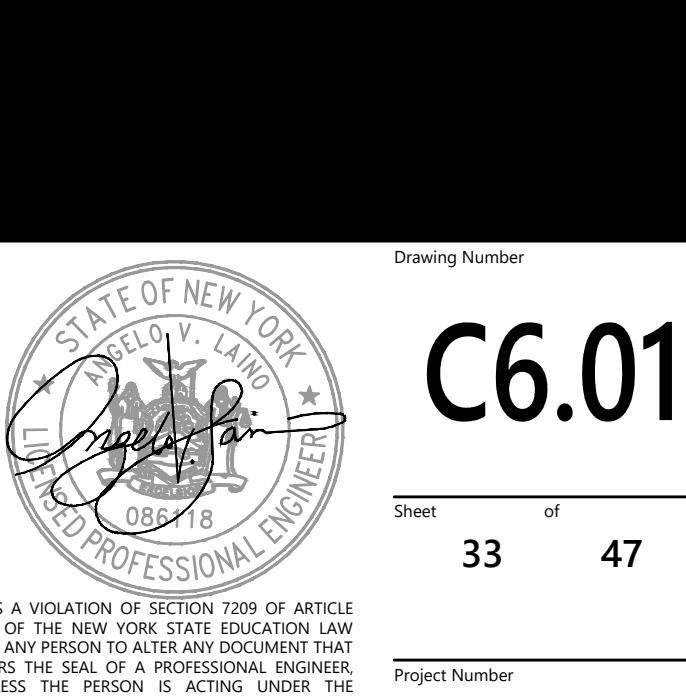
No.	Revision	Date	Appd.

Designed by DB Checked by AL
Issued for Drawing No. Date

Site Plan Approval Drawing No. Site Details - 2

Not Approved for Construction Drawing No. Site Details - 2

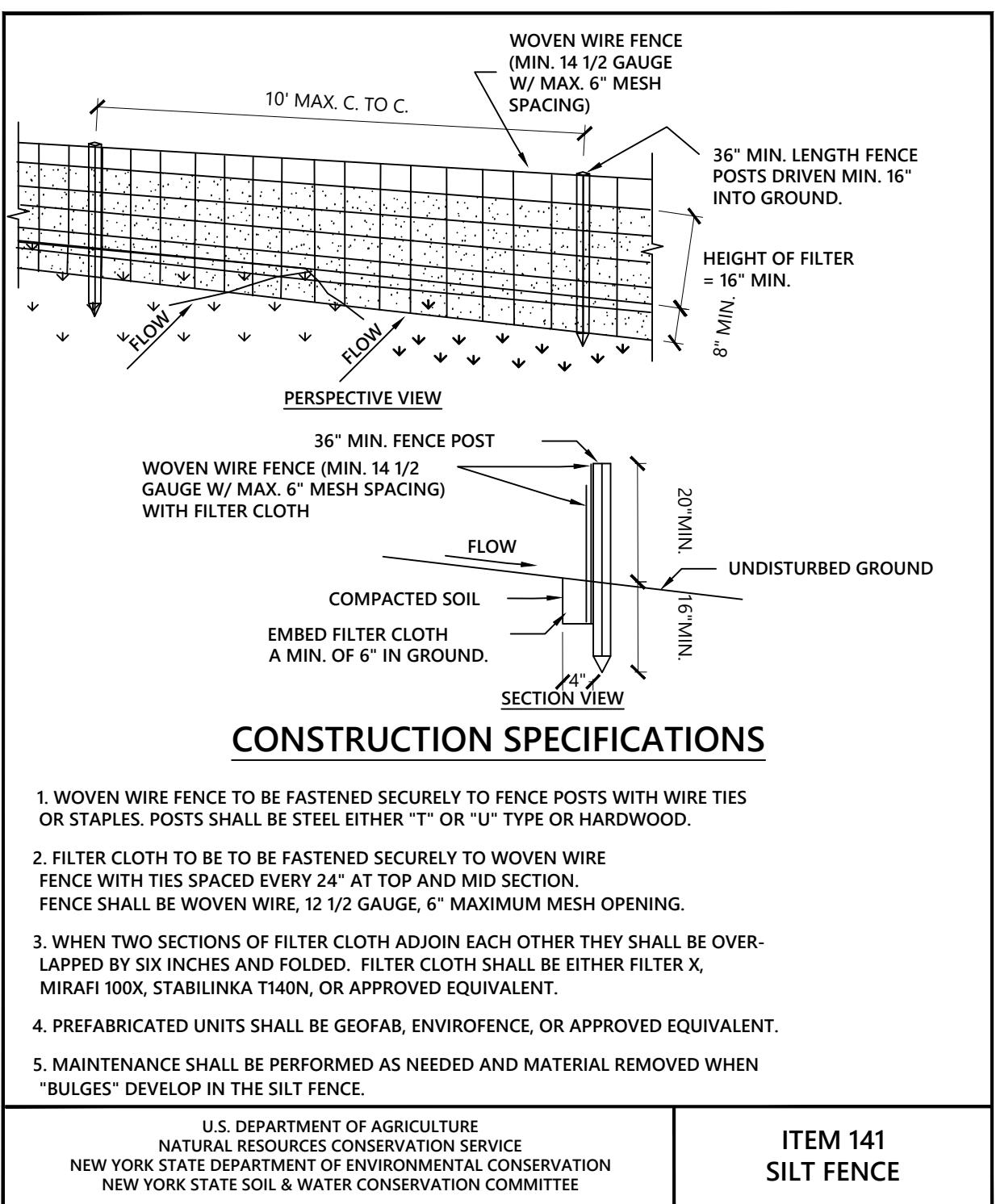
Sheet of Drawing Number



C6.01

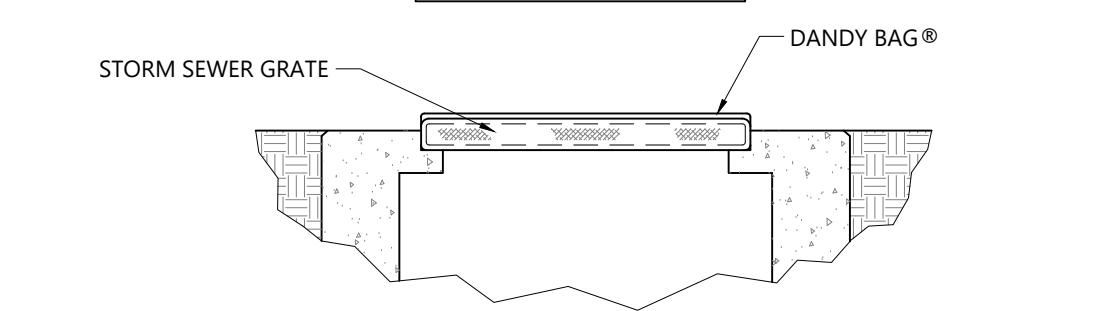
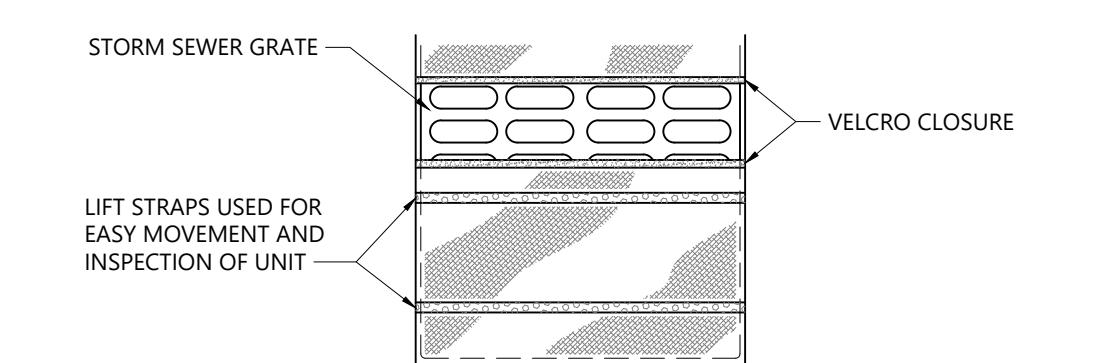
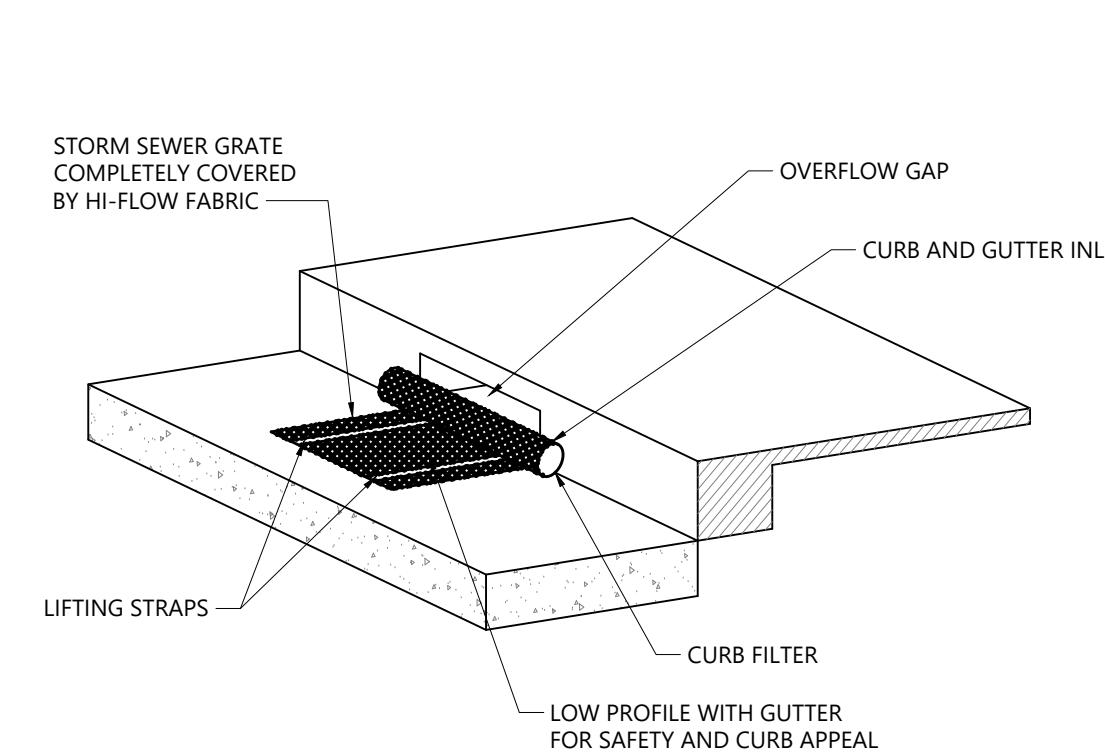
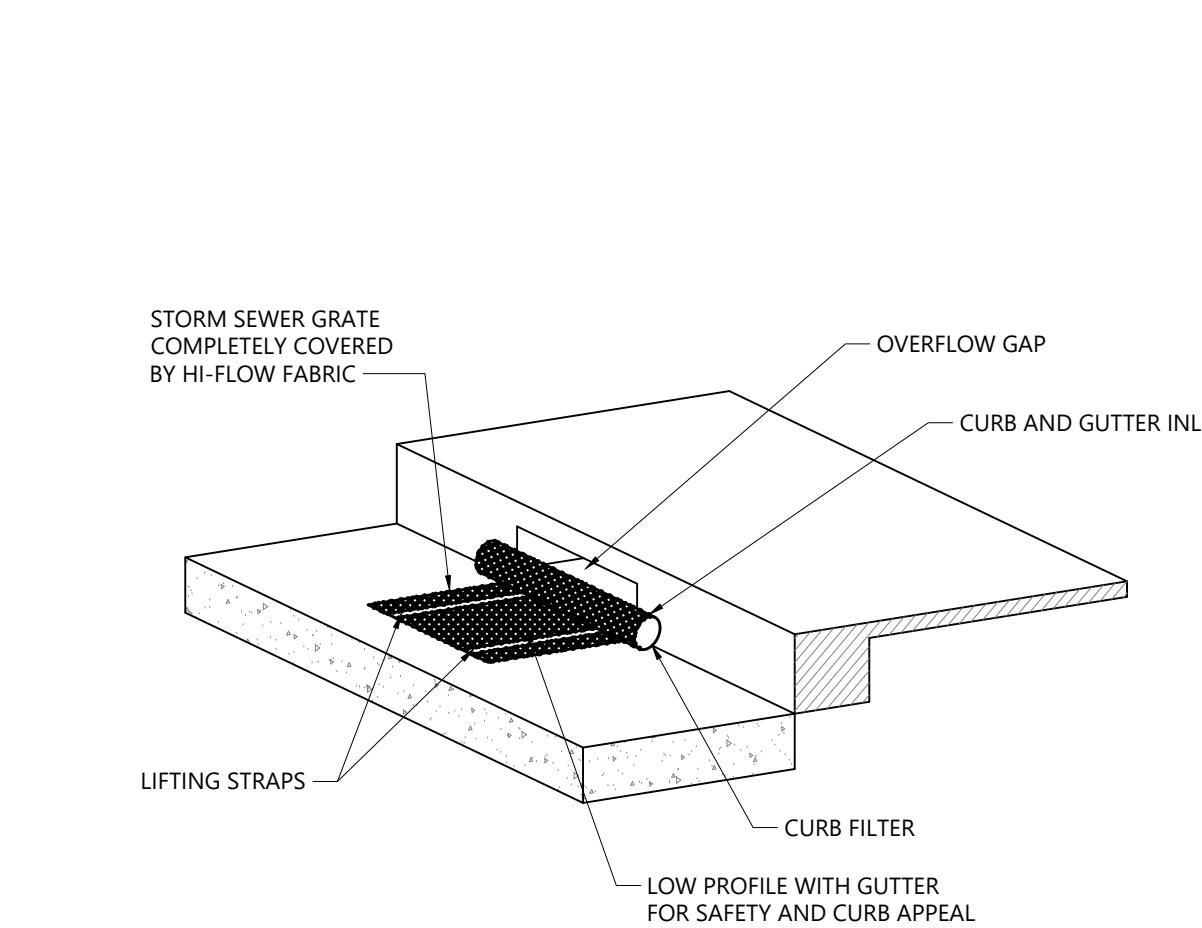
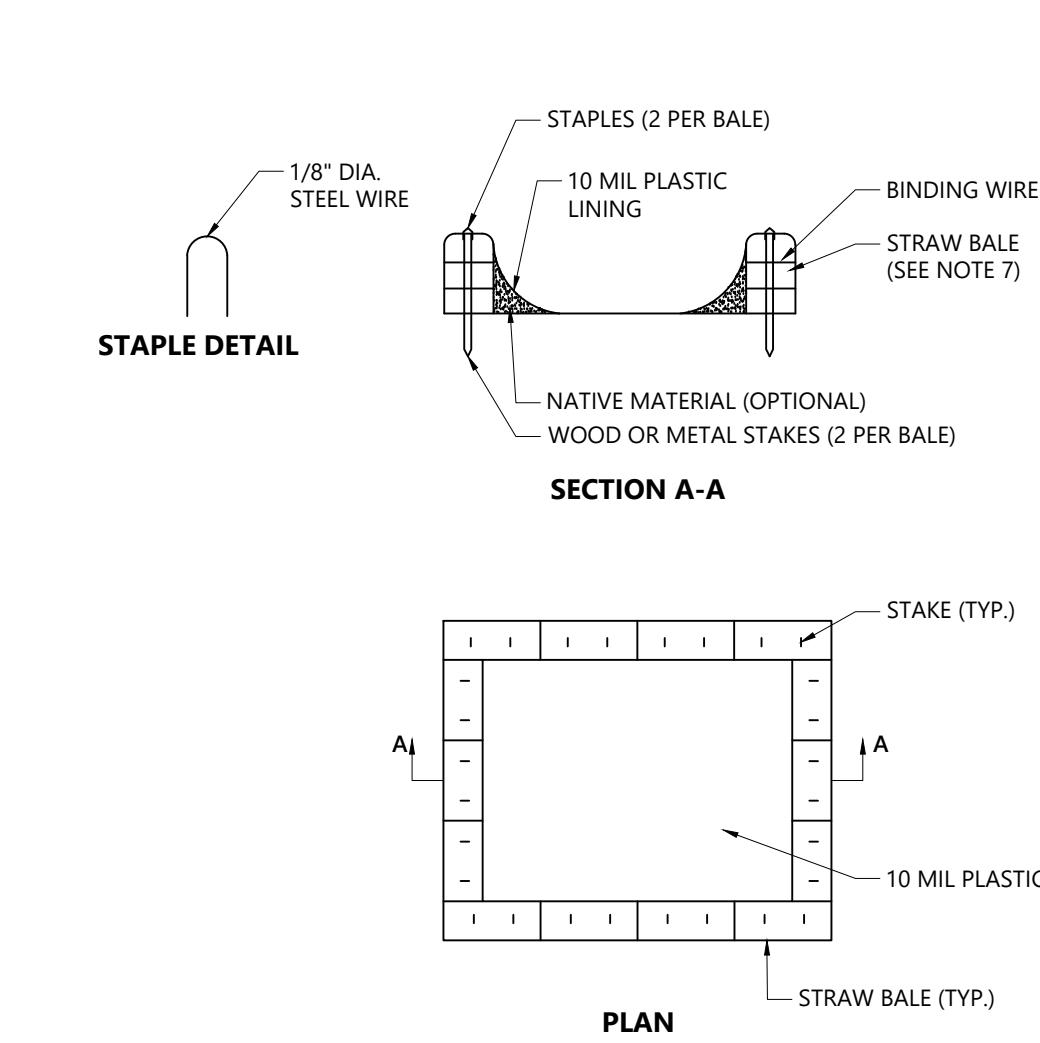
IT IS A VIOLATION OF SECTION 7209 OF ARTICLE 8 OF THE GENERAL BUSINESS LAW FOR ANY PERSON TO ALTER ANY DOCUMENT THAT IS A DRAWING, PLANS, OR SPECIFICATIONS, UNLESS THE PERSON IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER.

Project Number 20578.01



Silt Fence

N.T.S. Source: VHB

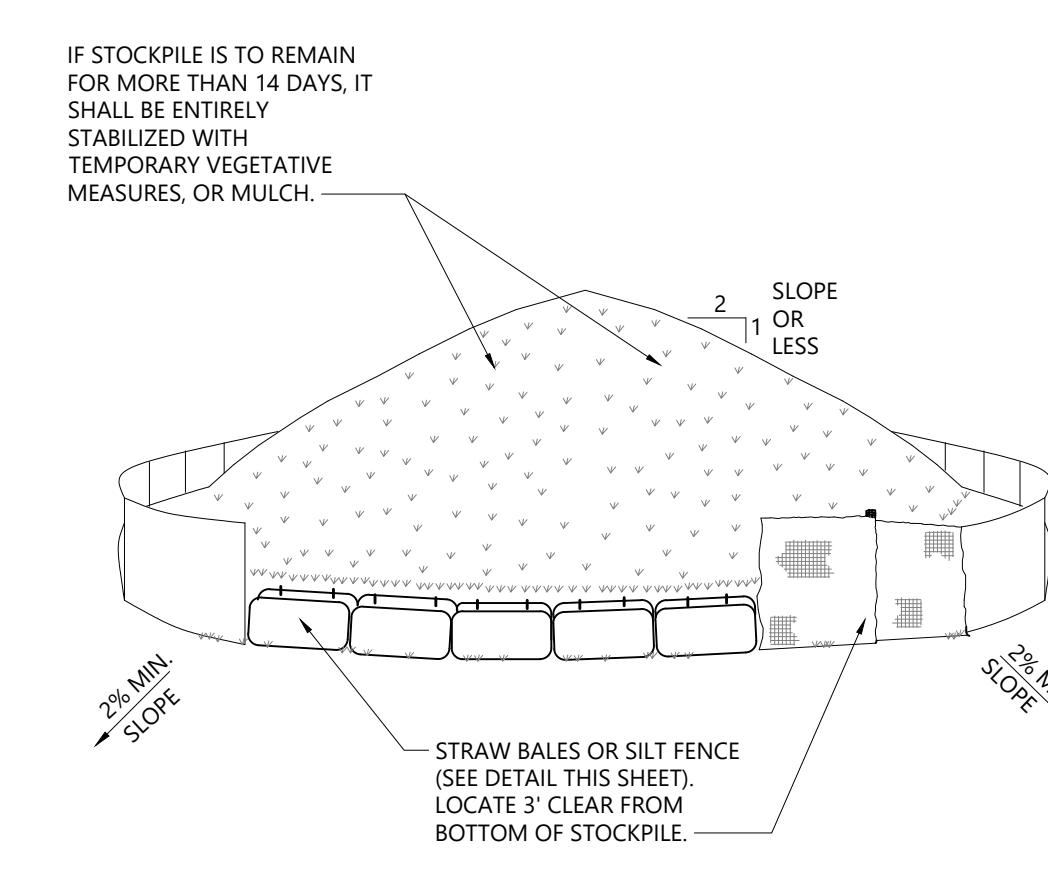


HI-FLOW DANDY BAG® (SAFETY ORANGE)

Mechanical Properties	Test Method	Units	MARV
Grab Tensile Strength	ASTM D-4632	kN (lbs)	1.62 (355 X 0.99 (200))
Grab Tensile Strength	ASTM D-4632	%	24 X 10
Puncture Strength	ASTM D-4632	kN (lbs)	0.65 (150)
UV Resistance	ASTM D-4632	kN (lbs)	20 X 10
Trapezoid Tear Strength	ASTM D-4533	kN (lbs)	0.51 (111) X 0.33 (75)
Apparent Opening Size	ASTM D-4751	Min (US Std Sieve)	0.425 (40)
Apparent Opening Size	ASTM D-4751	1/mm ² (sq/inch/in ²)	5907 (145)
Permeability	ASTM D-4491	Sec	2.1

*Note: All Dandy Bags® can be ordered with our optional oil absorbent pillows

DANDY BAG® SPECIFICATIONS		
STOCKPILE	20' MIN. SLOPE	20' MIN. SLOPE
STRAW BALES OR SILT FENCE (SEE DETAIL THIS SHEET).	LOCATE 3' CLEAR FROM BOTTOM OF STOCKPILE.	LOCATE 3' CLEAR FROM BOTTOM OF STOCKPILE.
IF STOCKPILE IS TO REMAIN FOR MORE THAN 14 DAYS, IT SHALL BE ENTIRELY STABILIZED WITH TEMPORARY STABILIZING MEASURES, OR MULCH.	SLOPE OR LESS	SLOPE OR LESS



- NOTES**
1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
 2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
 3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAW BALES.
 4. CONTRACTOR SHALL INSPECT INSTALLATIONS EVERY 7 DAYS MINIMUM AND/OR AS REQUIRED AND AFTER ANY RAINFALL EVENT OF 1/2" OR GREATER AND MAKE NECESSARY REPAIRS AS NEEDED.

Material Stockpile Area Detail

N.T.S.

Source: Dandy Products

Detail of Curb Inlet Sediment Control Device with Curb Filter

N.T.S. Source: Dandy Products



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Hauppauge, NY 11788
631.787.3400



Calculation Summary

Region	Illumination Levels			Uniformity		
	Calc/type/ Units	Prov. Avg	Max	Prov. Min	Provided Max/Min	Provided Avg/Min
Site Area	Illuminance/Fc	0.5	14.4	0.0	N/A	N/A

Proposed Luminaire Schedule

Symbol	Label	Qty	Description	Arrangement	LLF	Arr. Lumens	Arr. Watts	Mounting Height
●■ A	15	BGP703 LED120-45/730 DM11 DDF27 D18 SRG1	SINGLE	1.00	12000	79	15'	
●■ B	2	BGP703 LED120-45/730 DM11 DDF27 D18 SRG1	SINGLE	1.00	12,000	79	12'	
○ C	13	M-PL PATH LIGHT LED DESIGNER PLUS	SINGLE	1.00	73	2	1.78	

Lighting Notes

- LIGHTS TO BE PROVIDED AS SHOWN OR APPROVED EQUAL IF CONTRACTOR PROPOSES DIFFERENT SITE LIGHTING THEY ARE REQUIRED TO PROVIDE PHOTOMETRICS BY MANUFACTURER WHICH DEMONSTRATES THAT IT MEETS THE REQUIREMENTS OF THE TOWN OF MARLBOROUGH.
2. MOUNTING HEIGHTS SHOWN ARE FROM GRADE OF THE SURROUNDING AREA. MOUNTING HEIGHTS FOR EACH LIGHT FIXTURE ARE SHOWN ON THE PROPOSED LUMINAIRE SCHEDULE CORRESPONDING TO THE LABELS DEPICTED ON THE PLAN.
3. ALL LIGHTING SHALL BE SHIELDED TO PREVENT SPILLAGE ON ALL RESIDENTIAL USES SURROUNDING THE SUBJECT PROPERTY AND MEET THE TOWN'S REQUIREMENTS FOR DARK SKY COMPLIANCE.
4. CONTRACTOR TO COORDINATE ALL CABLE/CONDUIT SIZES WITH ELECTRICAL ENGINEER AS WELL AS MANUFACTURER REQUIREMENTS.
5. CONTRACTOR SHALL COORDINATE DIMENTION OF LIGHTS PRIOR TO INSTALLATION. CARE MUST BE TAKEN TO NOT INTERFERE WITH OTHER UTILITY LINES. PUL BOXES TO BE INSTALLED AS NECESSARY TO ROUTE CABLE.
6. ALL ELECTRICAL FACILITIES SHALL MEET STANDARDS OF NATIONAL ELECTRIC CODE AND ALL OTHER APPLICABLE REQUIREMENTS.
7. TIMING CONTROL OPTION SHALL BE USED TO SENSE LIGHT LEVELS.
8. NEW SITE LIGHT POLES SHALL BE LOCATED A MINIMUM OF 2.5 FEET FROM THE FACE OF CURBS.
9. AREAS BEYOND THE CALCULATED REGION DEPICTED ON THE PLANS WILL NOT RECEIVE PROPOSED SITE LIGHTING.

AREA & ROADWAY LIGHTING

COLONIAL® - PLED

4-SIDED TRADITIONAL LANTERN

Luminaire

Heavy cast corrosion resistant low copper aluminum (Al50) alloy.

Die-cast aluminum housing with a powder coat finish. Housing overall thickness is 1.88". Top hinge for easy access. Silicone gasket between housing and lens. Includes a 100% recyclable polycarbonate lens, or opal white acrylic lens provided. All hardware is stainless steel.

Diffuser

No Opal Open frame is standard. Option of Clear Refracted Acrylic (CR) or White Acrylic (WA) lens choices. Lenses are mechanically fastened to the frame and sealed with a flexible cell silicone gasket.

PLED Optics

Optics are cast onto a metal base PCB panel with each emitter located on a copper thermal trace and bonded to the PCB panel. The PCB panel is then attached to the housing frame to meet an IP65 rating. In dynamic distributions, a micro-reflector is used to direct the light downwards. The reflector is attached to the sheet metal, maximizing usable light. Optional house side shades are available. All panels are cast onto a single PCB panel with injection molded H12 optics. Each LED reflector is seated to the PCB panel with a high temperature epoxy. The reflector is attached to the frame. Any one Panel, or group of Panels in a luminaire, have the same optical properties. All panels are cast onto a single PCB panel with dynamic distributions. Panels are field replaceable and field rotatable in 90° increments. Panels are field replaceable and field rotatable in 90° increments. Panels are field replaceable and field rotatable in 90° increments. No lens refit option is provided. LED no lens refit option is provided.

Arbione LED Luminaire Lens

Optical Arbione Lens (AL) provide low luminaire reduced glare

High CRI 90+ LED's are used between 80W and 870W for a minimum output of 12.5 Watts nominal. Cool White (6000K), Warm White (3000K), and Neutral White (4000K) are available.

Contractor to coordinate all LED's and Drive Current options

True Amber (TIA) True Amber LED's emit light in the amber spectrum bandwidth centered at 625nm. True Amber has a maximum current of 100mA and a maximum power of 0.25W.

LED Driver

Continuous electronic with a power factor of >0.9 and a

minimum operating temperature of -40°C/40°C. Driver is UL

certified, recognized. In the terminal blocks, there is a mounting terminal block with a maximum current of 20A (2077.50A/900W or 3474.40W, 50/60Hz). (0-10V dimmable driver is standard.

Contractor to coordinate all LED's and Drive Current options

Supply with 20KV surge protector for field installation.

Finish

Painted metal cool incorporate a four step iron phosphate process

to prevent metal surface from maximum adhesion. Top coat is baked at 400°F for maximum hardness and surface durability.

U.S. Pole Company Inc. | 400 Avenue of the Americas, New York, NY 10019 | Phone: (212) 552-0000 | www.uspole.com

USA

COL SERIES - PLED

PLED MODULES

40 LED Module

36 LED Module

24 LED Module

12 LED Module

6 LED Module

3 LED Module

1 LED Module

COLT

COLT (Twin Mount shown)

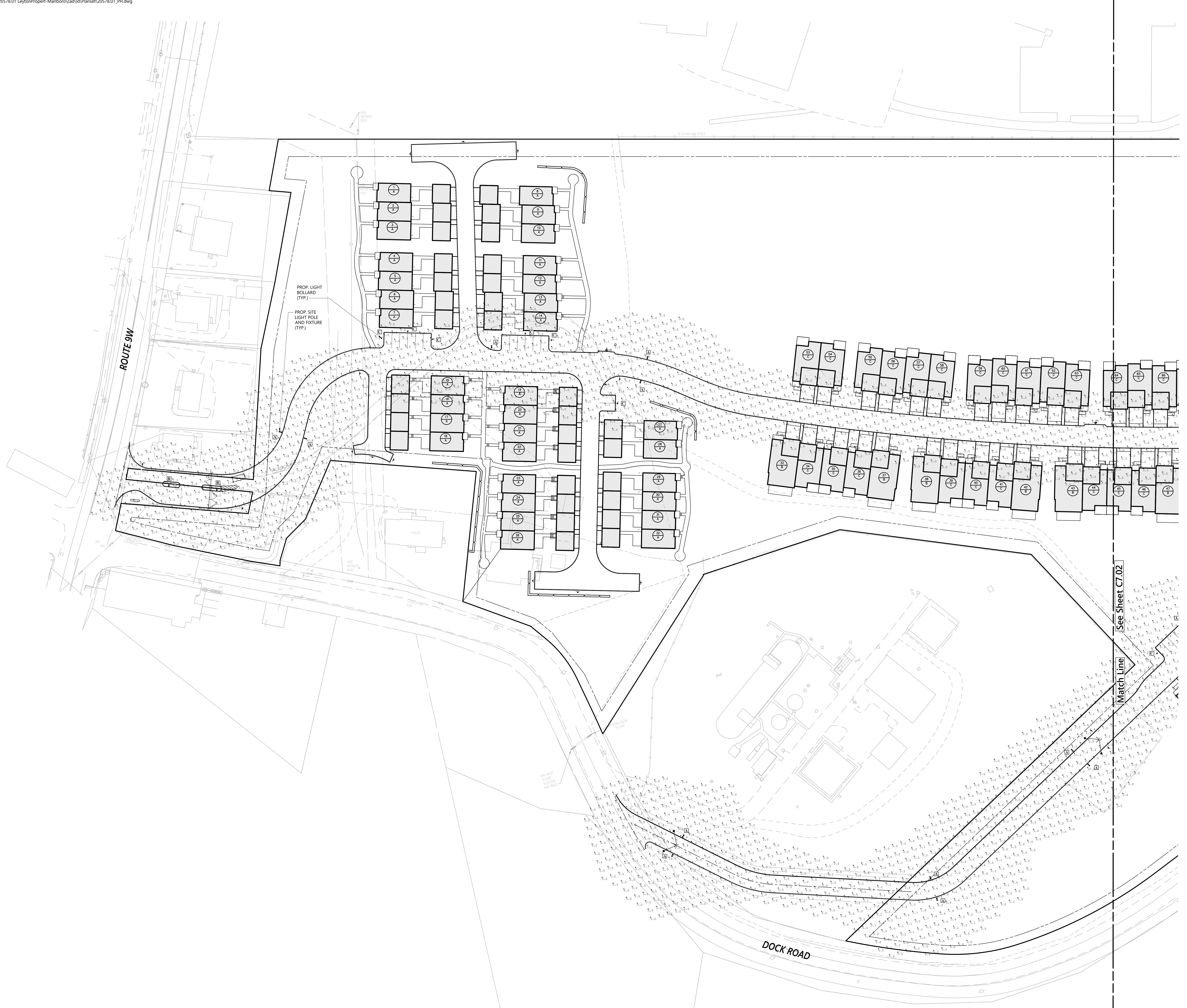
COLT

ORDERING INFORMATION

COLT



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Hauppauge, NY 11788
631.787.3400



The logo for Leyton Properties Residences. It features a large, bold, black, sans-serif font for the text. To the left of the text is a circular icon containing a stylized white arrow pointing upwards and to the right. To the right of the text is a horizontal bar composed of three black segments of increasing length, with the numbers '0', '20', and '40' positioned below the first, second, and third segments respectively.

No.	Revision	Date	Appvd.

Designed by Checked by

DR

Site Plan Approval

Not Approved for Construction

Photometric Plan

THE JOURNAL OF CLIMATE VOL. 17, 2004

Drawing Number

7.01

086118
S E D P R O F E S S I O N A L E N G
Sheet 38 of 47

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Project Number
20578.01

C7.01

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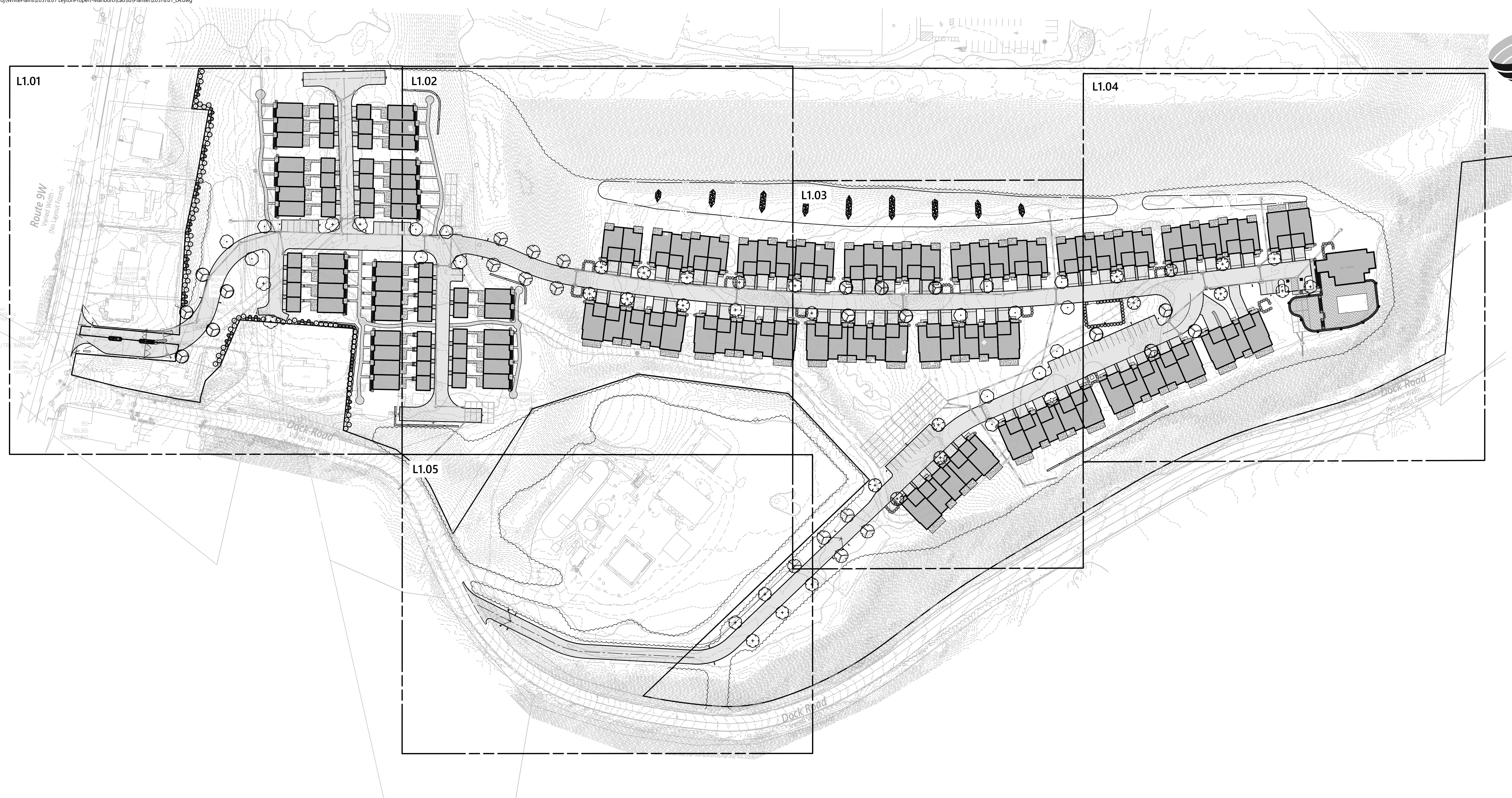
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ct Number



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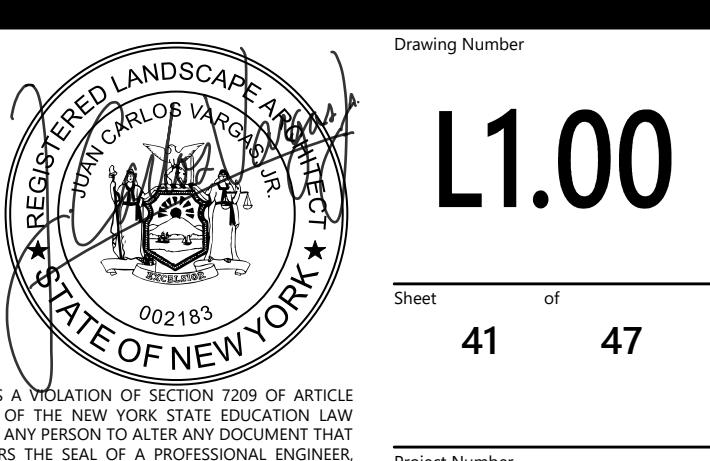


Orchards on Hudson
Residential
Dock Road
Marlborough, NY

No. Revision Date Approved

Designed by CN Checked by JCV
Issued for Site Plan Approval Date August 9, 2024

Not Approved for Construction
Drawing Title Overall Planting Plan



L1.00

OVERALL PLANT SCHEDULE

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
------	-----	----------------	-------------	------

EVERGREEN TREES

JVE	65	<i>Juniperus virginiana</i> 'Emerald Sentinel'	Eastern Redcedar	6' - 7' HT.
TPG	67	<i>Thuja plicata</i> 'Green Giant'	Western Arborvitae	6' - 7' HT.

SHADE TREES

ARF	15	<i>Acer rubrum</i> 'Frank Jr.'	Redpointe® Maple	2 1/2' - 3" CAL.
GBA	13	<i>Ginkgo biloba</i> 'Autumn Gold' TM	Maidenhair Tree	2 1/2' - 3" CAL.
LS	17	<i>Liquidambar styraciflua</i>	Sweet Gum	2 1/2' - 3" CAL.
PAM	11	<i>Platanus x acerifolia</i> 'Morton Circle'	Exclamation™ London Plane Tree	2 1/2' - 3" CAL.
QMC	4	<i>Quercus muehlenbergii</i>	Chinkapin Oak	2 1/2' - 3" CAL.
UDJ	14	<i>Ulmus davidiana japonica</i> 'Morton'	Accolade® Elm	2 1/2' - 3" CAL.

SHRUBS

HQ	56	<i>Hydrangea quercifolia</i>	Oakleaf Hydrangea	18' - 24" HT / SPD
IGG	338	<i>Ilex glabra</i> 'SMNIGAB17'	Gem Box® Inkberry Holly	12' - 18" HT / SPD.
PJM	108	<i>Pieris japonica</i> 'Mountain Fire'	Mountain Fire Japanese Pieris	18' - 24" HT / SPD
PLS	35	<i>Prunus laurocerasus</i> 'Schipkaensis'	Schipka Laurel	30' - 36" HT / SPD.

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
------	-----	----------------	-------------	------	---------

ORNAMENTAL GRASSES					
CAK	213	<i>Calamagrostis x acutiflora</i> 'Karl Foerster'	Feather Reed Grass	#1 CONT.	24" o.c.
DCN	1,501	<i>Deschampsia cespitosa</i> 'Northern Lights'	Northern Lights Tufted Hair Grass	5" Plug	12" o.c.

PERENNIALS					
CMI	456	<i>Carex morrowii</i> 'Ice Dance'	Ice Dance Japanese Sedge	5" Plug	12" o.c.
NJW	20	<i>Nepeta x faassenii</i> 'Junior Walker'	Junior Walker Catmint	#1 CONT.	24" o.c.



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The image is a detailed architectural site plan of a university campus. The plan shows a complex network of buildings, roads, and green spaces. Five specific areas are highlighted with black-outlined boxes and labeled: L1.02 is located in the top left corner; L1.03 is in the top center; L1.04 is in the top right corner; L1.05 is in the bottom left corner; and L1.06 is in the bottom right corner. The labels are in a bold, black, sans-serif font. The overall plan is rendered in a light gray or white color scheme, with the highlighted areas standing out.

PLANT SCHEDULE L1.01

<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>SIZE</u>
EVERGREEN TREES				
JVE	65	<i>Juniperus virginiana</i> 'Emerald Sentinel'	Eastern Redcedar	6 - 7` HT.
TPG	67	<i>Thuja plicata</i> 'Green Giant'	Western Arborvitae	6 - 7` HT.
SHADE TREES				
ARF	5	<i>Acer rubrum</i> 'Frank Jr.'	Redpointe® Maple	2 1/2 - 3" CAL.
LS	3	<i>Liquidambar styraciflua</i>	Sweet Gum	2 1/2 - 3" CAL.
QMC	4	<i>Quercus muehlenbergii</i>	Chinkapin Oak	2 1/2 - 3" CAL.
SHRUBS				
HQ	10	<i>Hydrangea quercifolia</i>	Oakleaf Hydrangea	18 - 24" HT / SPD
IGG	133	<i>Ilex glabra</i> 'SMNIGAB17'	Gem Box® Inkberry Holly	12 - 18" HT./SPD.
<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>SIZE</u>
ORNAMENTAL GRASSES				
DCN	885	<i>Deschampsia cespitosa</i> 'Northern Lights'	Northern Lights Tufted Hair Grass	5" Plug
PERENNIALS				
NJW	20	<i>Nepeta x faassenii</i> 'Junior Walker'	Junior Walker Catmint	#1 CONT.
				24" o.c.



Marlborough, NY			
No.	Revision	Date	Approved

Designed by	CN	Checked by	JCV
Issued for	Site Plan Approval		
		Date	
		August 9, 2024	

Site Plan Approval

Not Approved for Construction

Planting Plan

10.1007/s00339-007-0332-0

THE INFLUENCE OF THE CULTURE OF THE PARENTS ON THE CHILD'S LANGUAGE 11

LANDSCAPE

STERED L. F. FARGO
N CARLOS VARGAS SA

Sheet _____ of _____

STATE OF NEW YORK
002185

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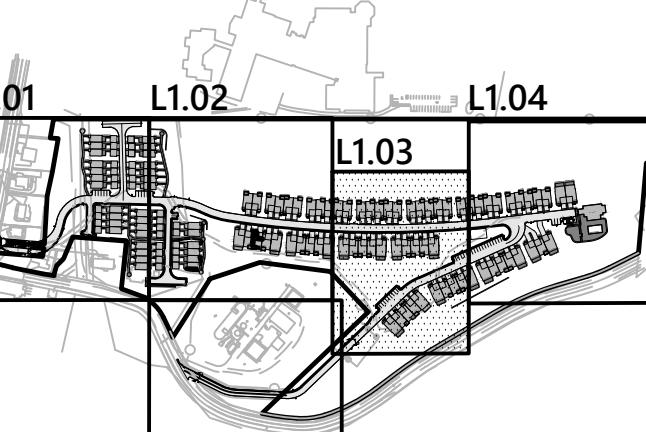
Project Number: _____

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Project Number
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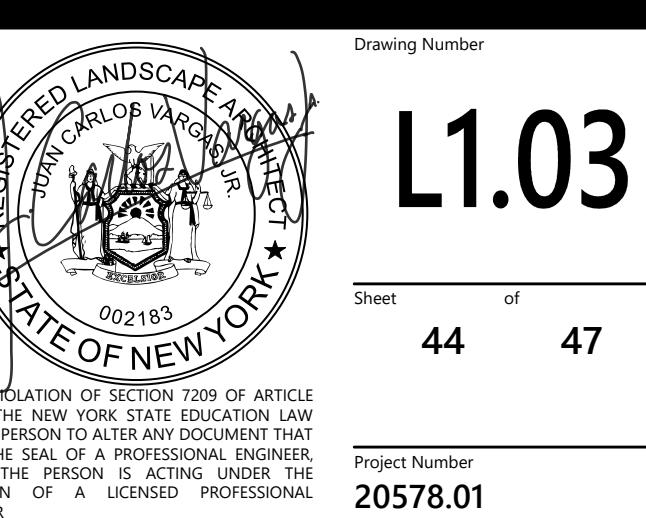
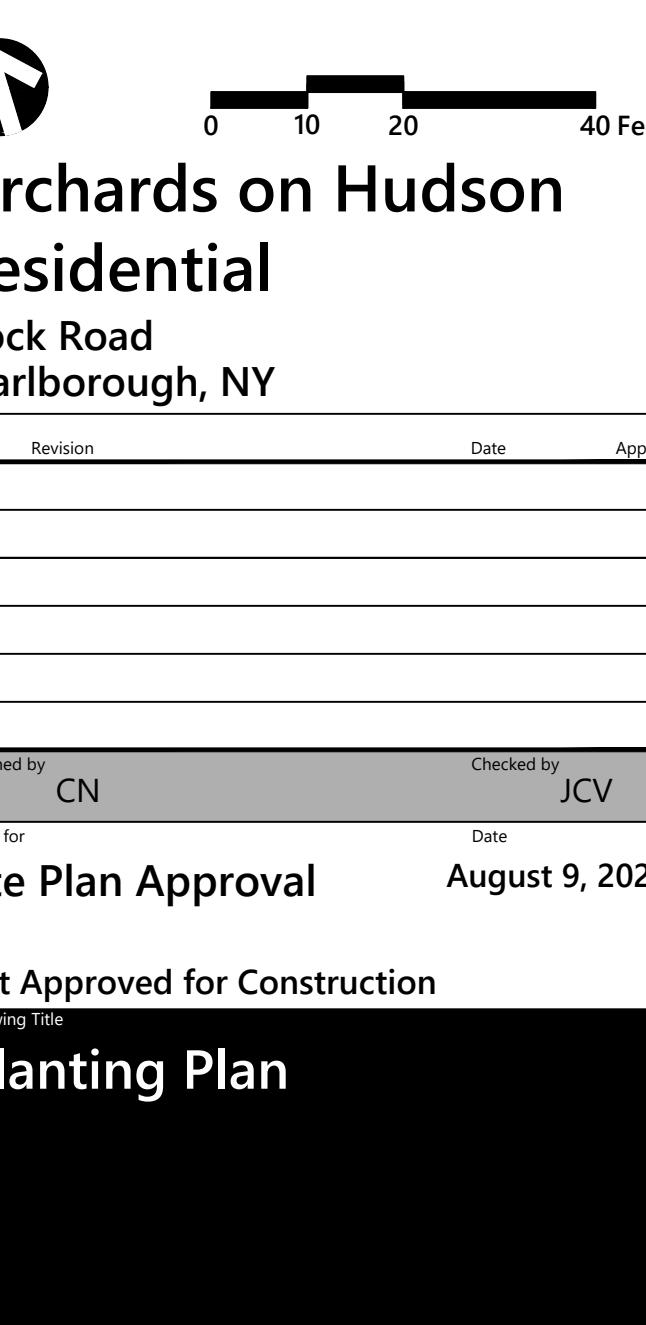
PLANT SCHEDULE L1.03

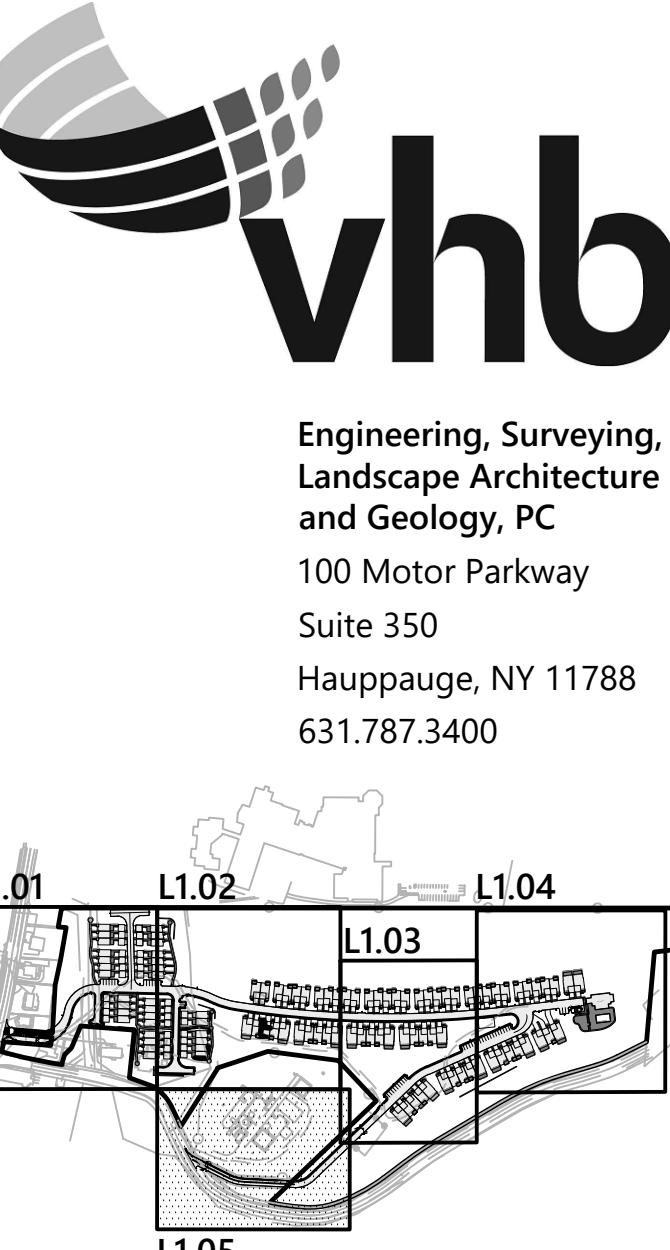
<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>SIZE</u>
SHADE TREES				
ARF	5	<i>Acer rubrum 'Frank Jr.'</i>	Redpointe® Maple	2 1/2 - 3" CAL.
GBA	2	<i>Ginkgo biloba 'Autumn Gold' TM</i>	Maidenhair Tree	2 1/2 - 3" CAL.
LS	10	<i>Liquidambar styraciflua</i>	Sweet Gum	2 1/2 - 3" CAL.
PAM	4	<i>Platanus x acerifolia 'Morton Circle'</i>	Exclamation!™ London Plane Tree	2 1/2 - 3" CAL.
UDJ	4	<i>Ulmus davidiana japonica 'Morton'</i>	Accolade® Elm	2 1/2 - 3" CAL.

<u>SHRUBS</u>				
HQ	14	<i>Hydrangea quercifolia</i>	Oakleaf Hydrangea	18 - 24" HT / SPD
IGG	33	<i>Ilex glabra 'SMNIGAB17'</i>	Gem Box® Inkberry Holly	12 - 18" HT./SPD.
PJM	38	<i>Pieris japonica 'Mountain Fire'</i>	Mountain Fire Japanese Pieris	18 - 24" HT / SPD

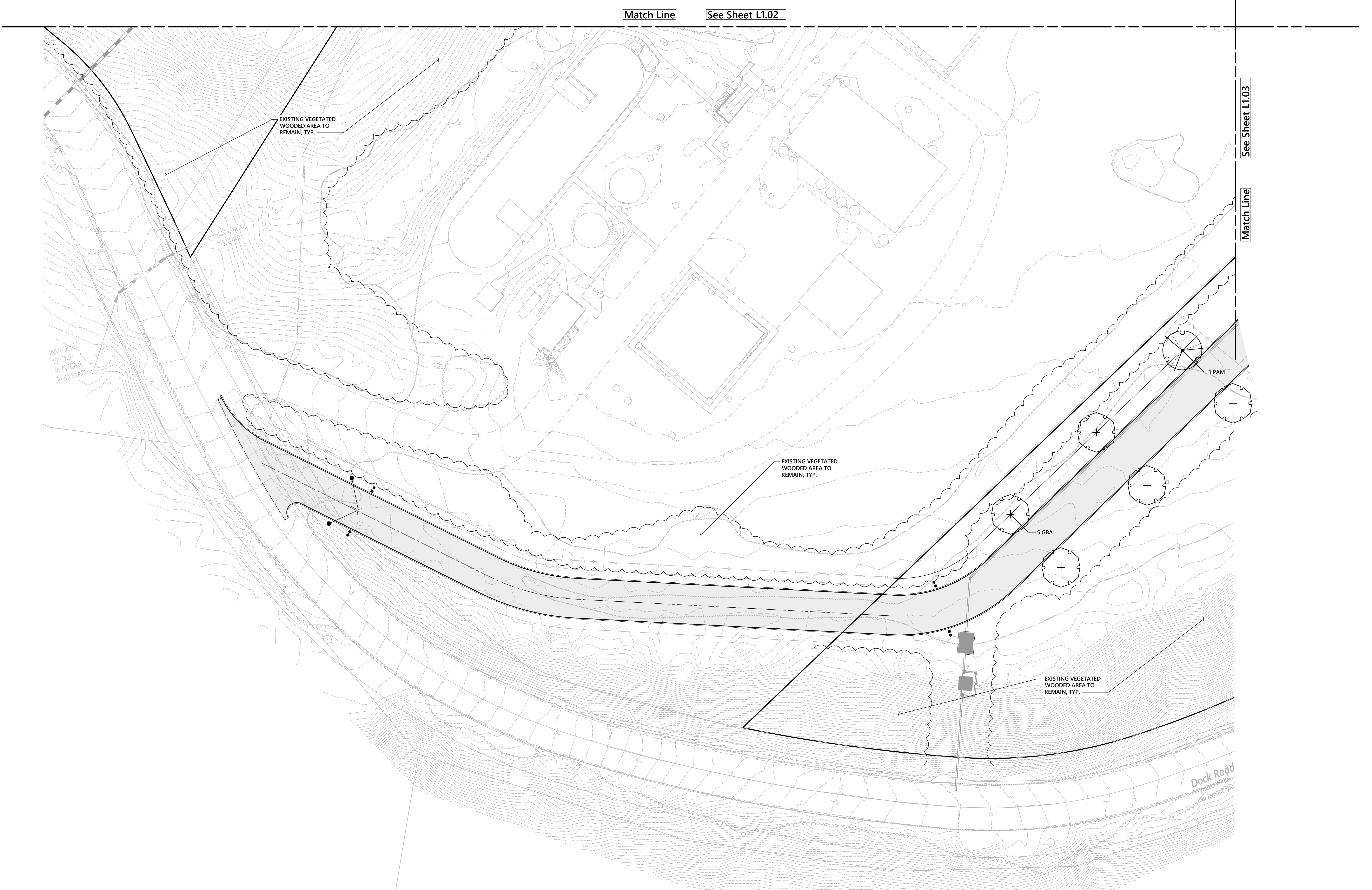
<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>SIZE</u>	<u>SPACING</u>
PERENNIALS					
CMI	213	<i>Carex morrowii</i> 'Ice Dance'	Ice Dance Japanese Sedge	5" Plug	12" o.c.

Key





Key
Not To Scale

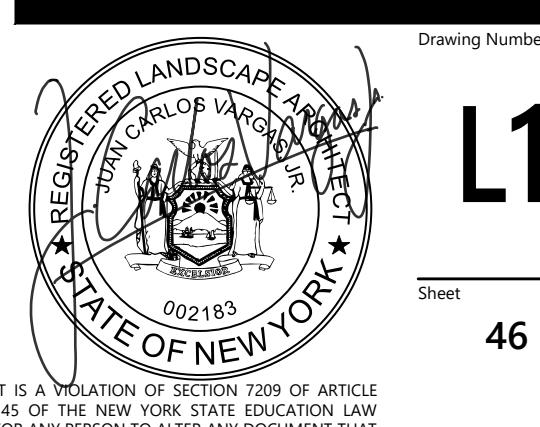


Orchards on Hudson Residential
Dock Road
Marlborough, NY

No. Revision Date App'd

Designed by CN Checked by JCV
Issued for Site Plan Approval Date August 9, 2024

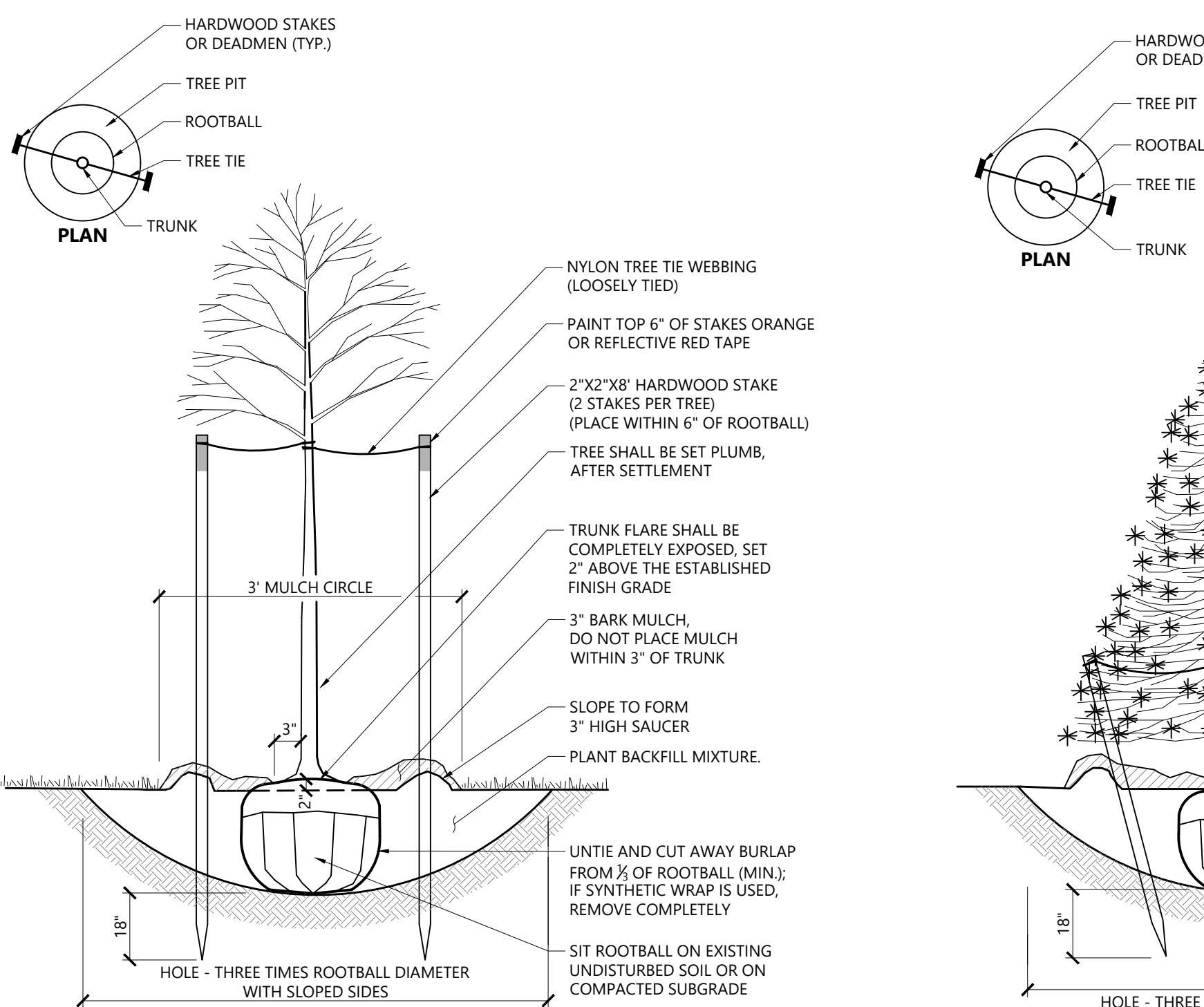
Not Approved for Construction
Drawing No. Planting Plan



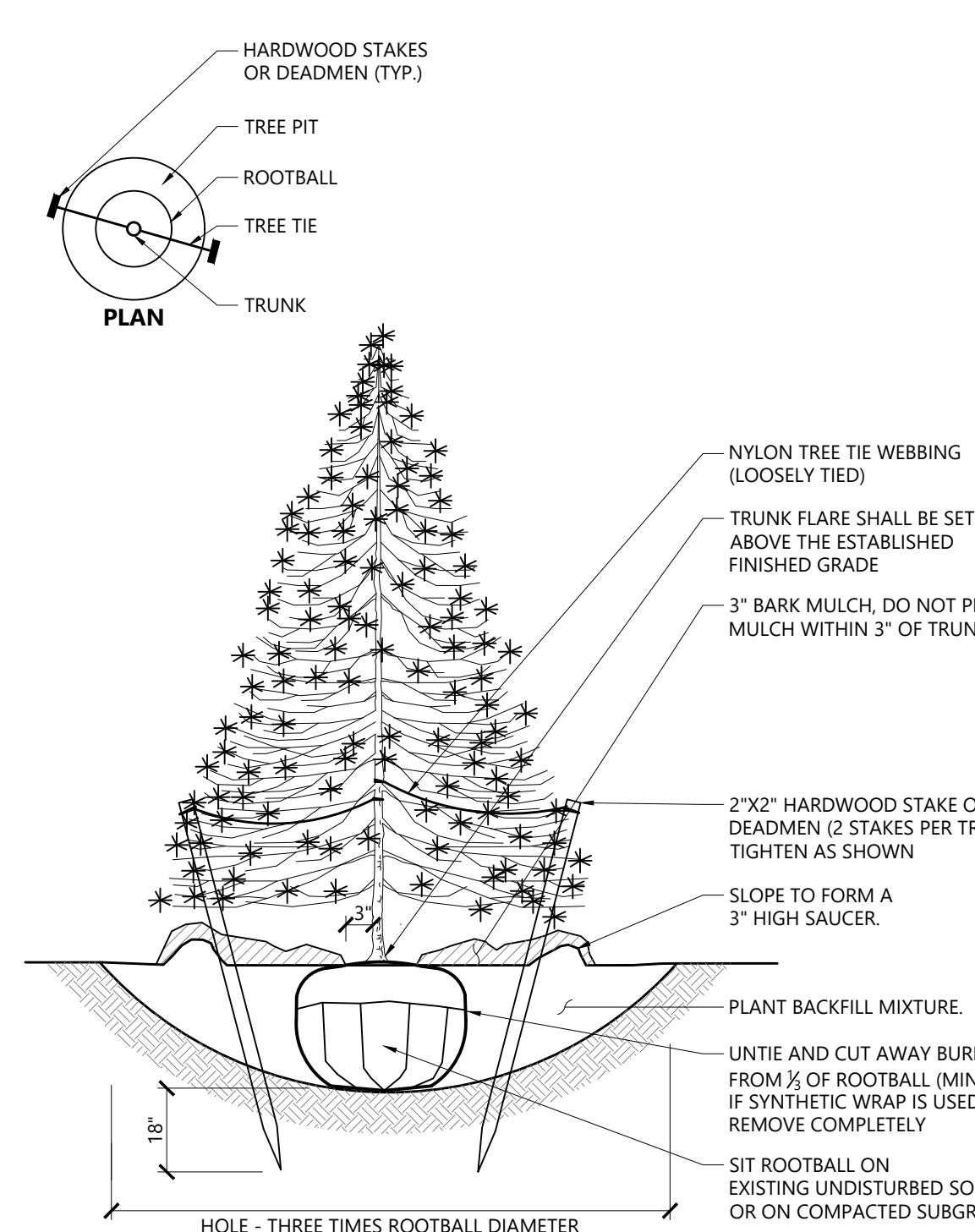
L1.05

Sheet 46 of 47

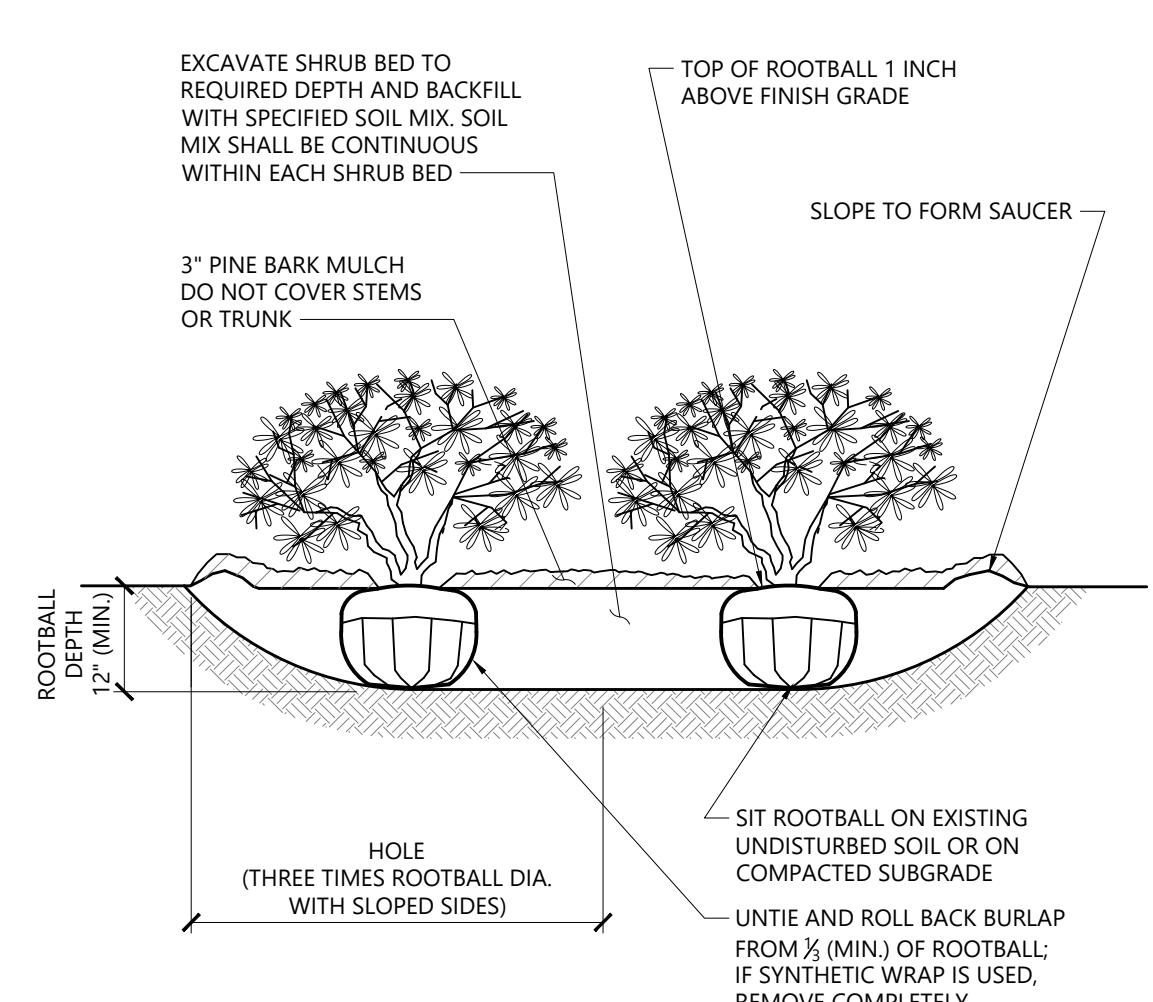
Project Number 20578.01



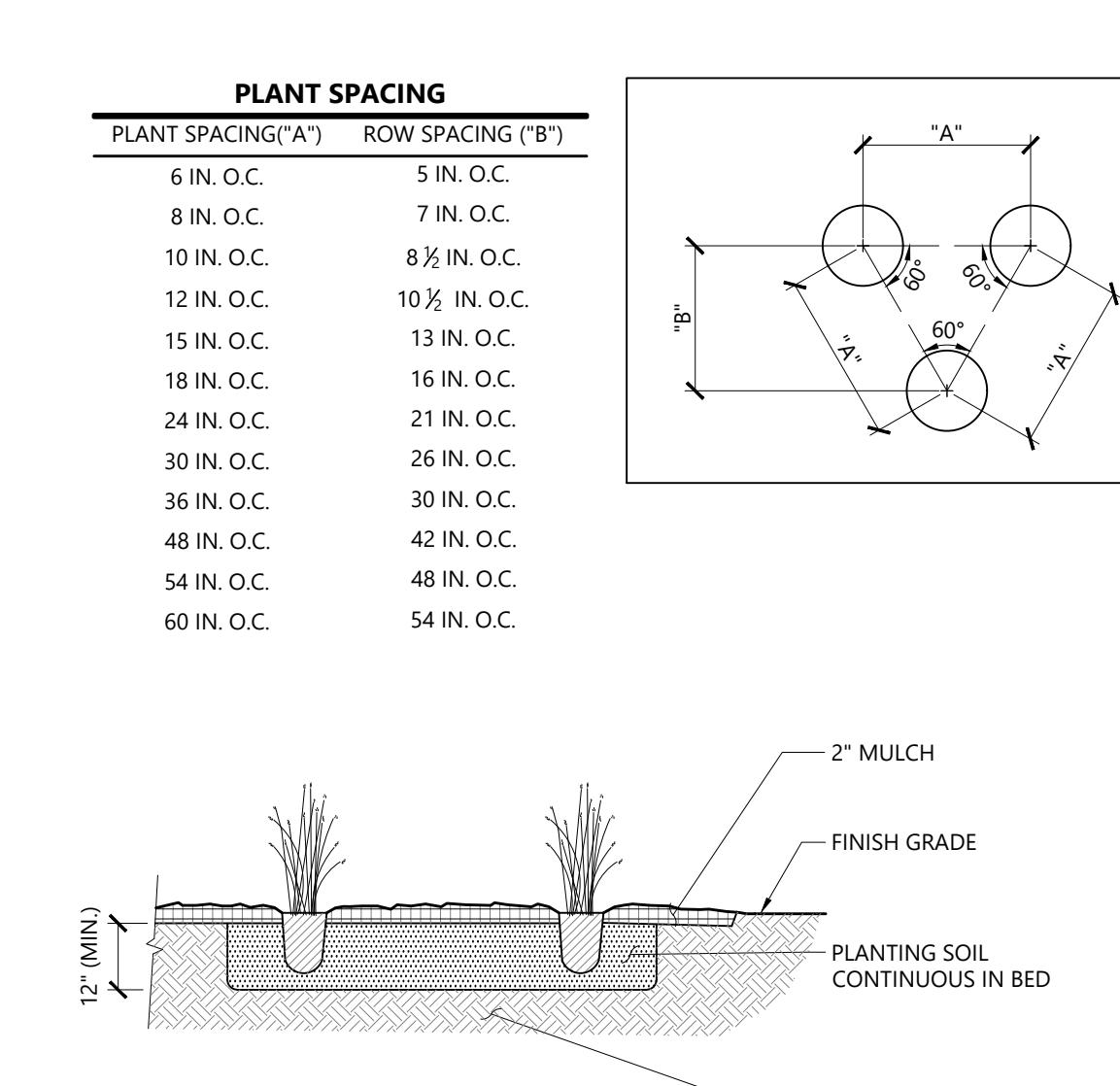
Tree Planting (For Trees Under 4" Caliper) 9/21
N.T.S. Source: VHB LD.602



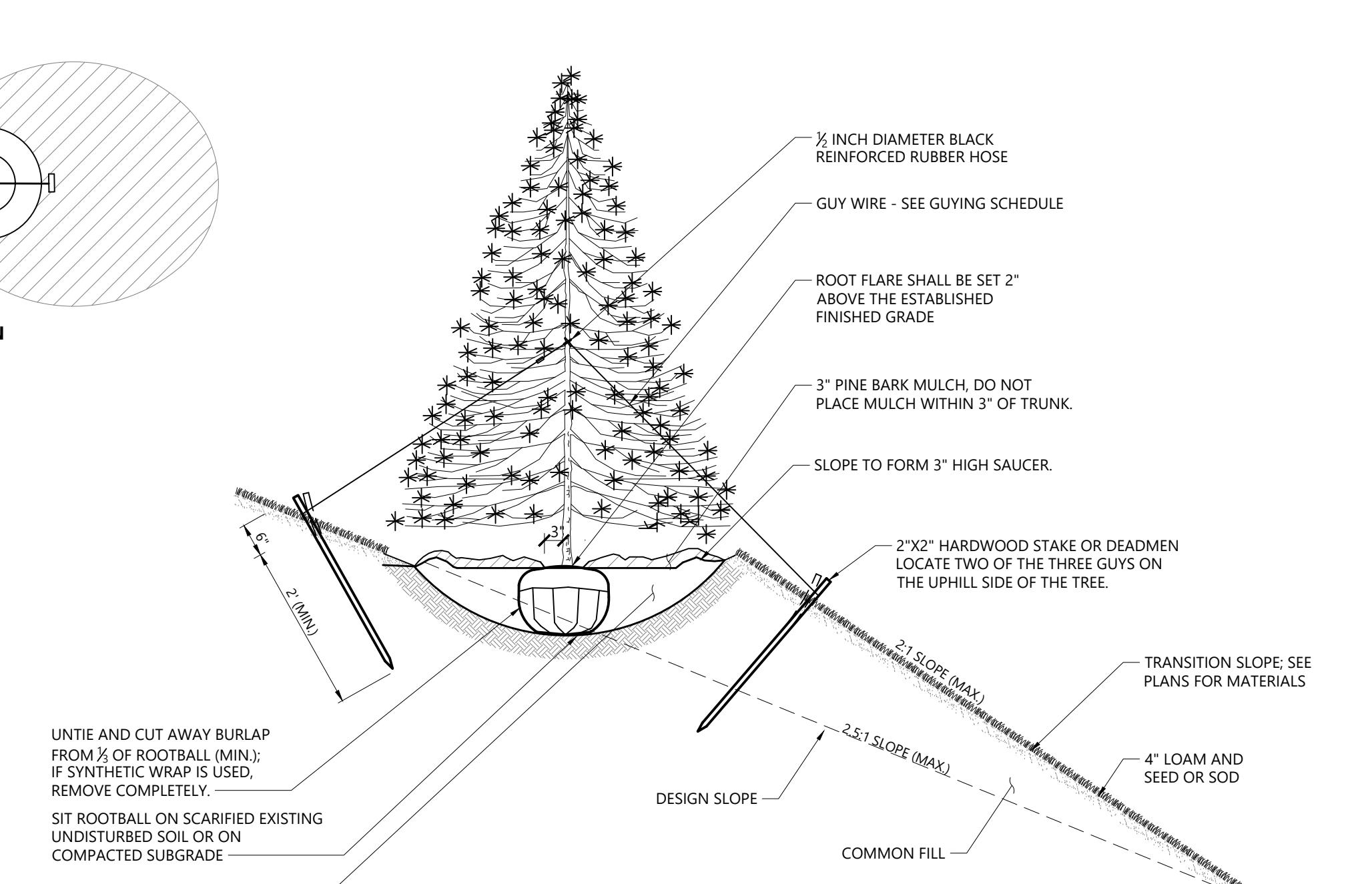
Evergreen Tree Planting 9/21
N.T.S. Source: VHB LD.604



Shrub Bed Planting 1/16
N.T.S. Source: VHB LD.601



Perennial and Ornamental Grass Planting 1/16
N.T.S. Source: VHB LD.618



Tree Planting on Slope 1/16
N.T.S. Source: VHB LD.605

Tree Protection

- EXISTING TREES TO REMAIN SHALL BE PROTECTED WITH TEMPORARY CONSTRUCTION FENCE. ERECT FENCE AT EDGE OF THE TREE DRIPLINE PRIOR TO START OF CONSTRUCTION.
- CONTRACTOR SHALL NOT OPERATE VEHICLES WITHIN THE TREE PROTECTION AREA. CONTRACTOR SHALL NOT STORE VEHICLES OR MATERIALS, OR DISPOSE OF ANY WASTE MATERIALS, WITHIN THE TREE PROTECTION AREA.
- DAMAGE TO EXISTING TREES CAUSED BY THE CONTRACTOR SHALL BE REPAIRED BY A CERTIFIED ARBORIST AT THE CONTRACTOR'S EXPENSE.
- NO UNAUTHORIZED TREE REMOVALS, UNLESS AS SPECIFIED ON CONTRACT DOCUMENTS, APPROVED BY LOCAL MUNICIPALITIES, AND LANDSCAPE ARCHITECT.

Edge of Woods Clearing

- EXISTING TREES TO REMAIN SHALL BE PROTECTED WITH TEMPORARY EROSION CONTROL FENCE AND HAY BALE BARRIER. ERECT BARRIER AT EDGE OF THE EARTHWORK CUT LINE PRIOR TO TREE CLEARING. LAY OUT THIS LINE BY FIELD SURVEY.

Plant Maintenance Notes

- CONTRACTOR SHALL PROVIDE COMPLETE MAINTENANCE OF THE LAWNS AND PLANTINGS. NO PERMANENT IRRIGATION SYSTEM IS PROPOSED FOR THIS SITE. THE CONTRACTOR SHALL SUPPLY SUPPLEMENTAL WATERING FOR NEW LAWNS AND PLANTINGS DURING THE PLANT GUARANTEE PERIOD.
- CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, AND EQUIPMENT FOR THE COMPLETE LANDSCAPE MAINTENANCE WORK. WATER SHALL BE PROVIDED BY THE CONTRACTOR.
- WATERING SHALL BE REQUIRED DURING THE GROWING SEASON, WHEN NATURAL RAINFALL IS BELOW ONE INCH PER WEEK.
- WATER SHALL BE APPLIED IN SUFFICIENT QUANTITY TO THOROUGHLY SATURATE THE SOIL IN THE ROOT ZONE OF EACH PLANT.
- CONTRACTOR SHALL REPLACE DEAD PLANTS AND LESS THAN 75%-ALIVE PLANTS AT THE END OF THE PLANT GUARANTEE PERIOD. CONTRACTOR SHALL TURN OVER MAINTENANCE TO THE FACILITY MAINTENANCE STAFF AT THAT TIME.

Turf Seeding Notes:

- SEED MIX 'A':** UNLESS OTHERWISE NOTED, ALL DISTURBED LANDSCAPE AREAS NOT BEING PLANTED, SHALL BE SEDED WITH THE LATEST VERSION OF THE FOLLOWING SEED MIX:

VARIETY	PURITY %	GERM %	ORIGIN
4TH MILLENNIUM SRP TALL FESCUE	33.13	94	OR
RAPTOR III TALL FESCUE	33.28	95	OR
AVENGER III TALL FESCUE	32.97	97	OR

WEEDS %: 0.00 OTHER CROP %: 0.00 INERT %: 0.62
OR, APPROVED EQUAL

SEEDING RATE SHALL BE 8 LBS. PER 1,000 SQ. FT.

- SEED MIX 'A' - ALTERNATE BID:** UNLESS OTHERWISE NOTED, ALL DISTURBED LANDSCAPE AREAS NOT BEING PLANTED OR MULCHED, SHALL BE **SODDED** WITH A TURF-TYPE TALL FESCUE BLENDED SOD PRODUCT.
- ALL SEEDING SHALL BE HYDRO-SEEDED WITH THE FOLLOWING ENGINEERED WOOD FIBER HYDROMULCH AS PER MANUFACTURER'S SPECIFICATIONS. SUBMIT SAMPLE & PRODUCT DATA FOR APPROVAL PRIOR TO ORDERING.

FLEXTERRA HP-FGM - AS MANUFACTURED BY:
PROFILE PRODUCTS
750 W. LAKE COOK RD
SUITE 440
BUFFALO GROVE, IL 60089
1-800-207-6457

- OR, APPROVED EQUAL
- CONTRACTOR SHALL SUBMIT SEED SOURCE, SAMPLE, AND CERTIFIED ANALYSIS AND HYDRO MULCH SAMPLE & PRODUCT DATA FOR LANDSCAPE ARCHITECT APPROVAL PRIOR TO ORDERING.
 - LAWNS SHALL EXHIBIT A UNIFORM, THICK, WELL-DEVELOPED STAND OF GRASS AND SHALL NOT HAVE BARE SPOTS IN EXCESS OF FOUR INCHES IN DIAMETER. BARE SPOTS SHALL COMprise NO MORE THAN TWO-PERCENT (2%) OF THE TOTAL AREA OF THE LAWN.

- (OUTSIDE BUILDING) BACKFLOW PREVENTER AND METER IS REQUIRED. IT SHALL BE IN CONFORMANCE WITH STATE AND MUNICIPAL REQUIREMENTS. LOCATE THIS EQUIPMENT IN A LOCKABLE HOT BOX.
- (INSIDE BUILDING) IRRIGATION CONTROL PANEL, BACKFLOW PREVENTER AND METER SHALL BE LOCATED IN THE BUILDING MECHANICAL ROOM. COORDINATE WITH THE GENERAL CONTRACTOR.

(OUTSIDE BUILDING) IRRIGATION CONTROL PANEL SHALL BE LOCATED IN A LOCKABLE CABINET DESIGNED TO HOUSE THE CONTROL PANEL.

- SITE CONTRACTOR SHALL PROVIDE 4" SCHEDULE 40 PVC SLEEVES & PVC CAPS, BOTH ENDS, UNDER PAVEMENT TO PROVIDE ACCESS FOR IRRIGATION LINES TO ALL IRRIGATED AREAS.

- IRRIGATION CONTRACTOR SHALL DEMONSTRATE FULL FUNCTIONALITY AND ADEQUATE WATERING OF PLANTINGS TO OWNER AND LANDSCAPE CONTRACTOR. SUBMIT WRITTEN SIGN-OFF FROM LANDSCAPE CONTRACTOR TO LANDSCAPE ARCHITECT FOR APPROVAL.

Planting Notes

- ALL DISTURBED AREAS NOT OTHERWISE NOTED ON CONTRACT DOCUMENTS SHALL BE TOPSOIL AND SEDED OR MULCHED AS DIRECTED BY OWNER'S REPRESENTATIVE.
- THIS PLAN IS INTENDED FOR PLANTING PURPOSES. REFER TO SITE / CIVIL DRAWINGS FOR ALL OTHER SITE CONSTRUCTION INFORMATION.
- ALL SPECIFIED PLANT MATERIAL IS SUBJECT TO INSPECTION AND APPROVAL BY THE LANDSCAPE ARCHITECT AT BOTH THE NURSERY AND JOBSITE PRIOR TO INSTALLATION.
- CAREFULLY DISRUPT CIRCLING ROOTS FROM ALL CONTAINER-GROWN PLANTS, EXCEPT PLUGS. VIA TOOL SCARIFICATION OR BY HAND.
- ALL B&B MATERIALS (I.E. BURLAP, TWINE, ETC) SHALL BE ALL BIO-DEGRADABLE MATERIALS.
- ALL PLANTINGS SHALL RECEIVE BIOSTIMULANT (MYCORRHIZAL FUNGI) AS PER MANUFACTURER'S RECOMMENDED RATES. SUBMIT PRODUCT DATA FOR APPROVAL PRIOR TO ORDERING.
- ALL TREES SHALL BE BALLED AND BURLAPPED, UNLESS OTHERWISE NOTED IN THE DRAWINGS OR SPECIFICATION, OR APPROVED BY THE OWNER'S REPRESENTATIVE.
- FINAL QUANTITY FOR EACH PLANT TYPE SHALL BE AS GRAPHICALLY SHOWN ON THE PLAN. THIS NUMBER SHALL TAKE PRECEDENCE IN CASE OF ANY DISCREPANCY BETWEEN QUANTITIES SHOWN ON THE PLANT LIST AND ON THE PLANT. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN THE NUMBER OF PLANTS SHOWN ON THE PLANT LIST AND PLANT LABELS PRIOR TO BIDDING.
- LANDSCAPE CONTRACTOR SHALL SUBMIT LETTER OF AGREEMENT TO THE PROPERTY OWNER ACKNOWLEDGING AND AGREEING TO FULFILLING THE SPECIFIED CONTRACTED GUARANTEE PERIOD AND MAINTENANCE AT NO-ADDITIONAL COST TO THE OWNER. SUBMIT LETTER FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- CONTRACTOR SHALL REMOVE ALL TREE STAKING AND CLVING MATERIALS PRIOR TO THE EXPIRATION OF THE PLANT WARRANTY PERIOD, OR 1 YEAR FROM THE DATE OF INSTALLATION, WHICHEVER COMES FIRST.
- ACCEPTABLE LANDSCAPE INSTALLATION WINDOWS SHALL BE FROM: APRIL 1ST TO MAY 31ST AND SEPTEMBER 15TH TO NOVEMBER 15TH. INSTALLATION OUTSIDE OF THESE WINDOWS WILL BE AT RISK.
- ALL NURSERY PLANT IDENTIFICATION TAGS SHALL REMAIN ON PLANT MATERIALS UNTIL PUNCH LIST. CONTRACTOR SHALL REMOVE TAGS UPON FINAL ACCEPTANCE.



Engineering, Surveying,
Landscape Architecture
and Geology, PC
100 Motor Parkway
Suite 350
Hauppauge, NY 11788
631.787.3400

Orchards on Hudson Residential

Dock Road
Marlborough, NY

No.	Revision	Date	Approved

Designed by: CN Checked by: JCV
Issued for: Site Plan Approval Date: August 9, 2024

Not Approved for Construction
Drawing No. 1000
Planting Notes and Details



L2.00
Drawing Number
Sheet 47 of 47
Project Number 20578.01
Saved Thursday, August 9, 2024 6:32:00 PM Daniella Balsano

Page 47 of 47



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and Geology, P.C.

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NEW YORK STATE CERTIFICATE OF AUTHORIZATION # 03389
UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY IS A VIOLATION OF
SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW. COPIES OF THE SURVEY MAP
NOT BEARING THE LAND SURVEYOR'S SIGNATURE AND INKED SEAL OR EMBOSSED SEAL
SHALL NOT BE CONSIDERED TO BE VALID TRUE COPIES.

Boundary Notes:

THIS SURVEY IS HEREBY CERTIFIED TO:

• STEWART TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021
MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS AND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND
NSPS, AND INCLUDES ITEMS 2, 14, AND 15 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON JANUARY 5, 2024.

CERTIFICATE OF TITLE: STEWART TITLE, TITLE NUMBER: 7153789, EFFECTIVE DATE: 4/23/2021

General Notes:

THIS SURVEY IS BASED ON REFERENCE PLAN #42 PREVIOUSLY SURVEYED BY VHB ON OCTOBER 28, 2021 & UPDATED TO INCLUDE LOTS
4444-45, ON MAY 1, 2024. ALL SURVEY WORK HAS BEEN PERFORMED UNDER THE DIRECT SUPERVISION OF THE SIGNED LICENSED
SURVEYOR.

1. THE HORIZONTAL DATUM IS THE NORTH AMERICAN DATUM OF 1983 (NAD83) – EPOCH 2010 – NAD83(2011). THE PROJECTION IS
NAD83 UTM – EAST 18N.

2. THE VERTICAL DATUM IS THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).

3. PROJECT CONTROL WAS DETERMINED USING LEICA DUAL-FREQUENCY GPS RECEIVERS ON JANUARY 23, 2020. FROM STATIC
DATA COLLECTED AND POST-PROCESSED USING INFINITI 2.4.1. FROM RTK CORRECTIONS VIA NAYNET. STARNET 3.0 WAS THE
SOFTWARE USED FOR POSITIONING. THE SURVEYOR DETERMINED THE POSITION OF THE MONUMENTS IN LEAST SQUARES
SOLUTION. GEODID 2010 WAS THE MODEL USED TO DETERMINE LOCAL GEODID SEPARATION VALUES. THE REFERENCE MONUMENTS
WERE:

• NYNS RTCM #4 CORS ESTABLISHED BY NYDOT AND ADJUSTED BY NGS.

• W 47° 29' 42.8055"

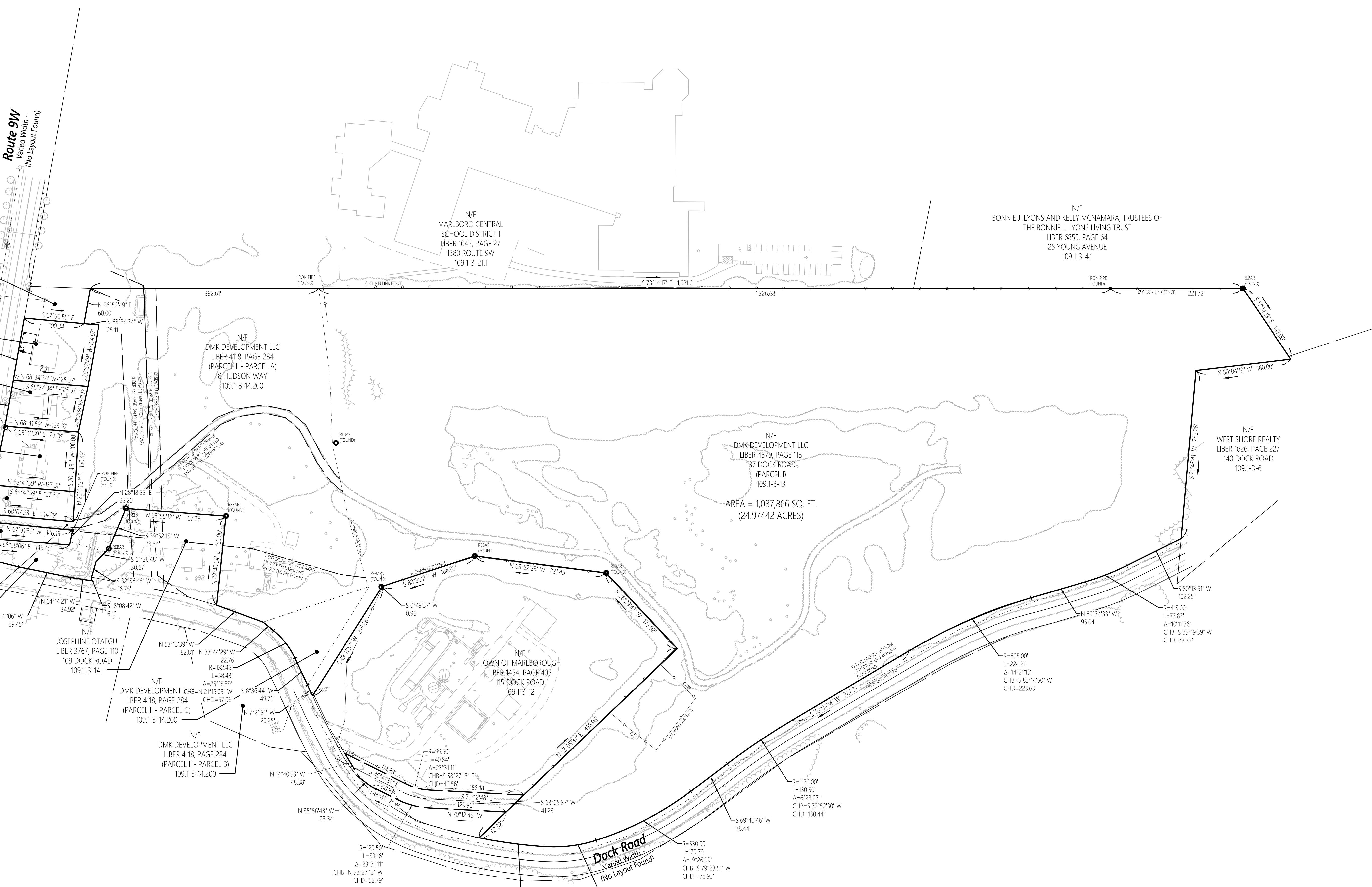
• W 74° 31' 31.9738"

• NAVD88 ELLIPSOID HEIGHT: 33.86 METERS

4. ALL DIMENSIONS ARE IN SURVEY FEET. IN WHOLE OR DECIMAL VALUES. 1 METER = 39.37 SURVEY FEET.

5. THE SYMBOLS SHOWN ON THIS SURVEY, INCLUDING TREES, ARE REPRESENTATIONAL BASED UPON A SINGLE SURVEY POINT
AND DO NOT REPRESENT THE ACTUAL DIMENSION OF THE OBJECT.

6. THE PROPERTY IN QUESTION (PID) IS LOCATED IN ZONE X OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AS DEPICTED ON THE
HMR 9610105002, MAP REVISED SEPTEMBER 25, 2009.



Boundary &
Topographic Survey

Overall Boundary

SV 1

80 0 80 160
SCALE IN FEET

Christopher C. Danforth L.S.
N.Y. Lic Surveyor #050848

Project Number
20578.02



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Saved Monday, July 22, 2024 2:32:54 PM ELIJAHWILLIAMS Plotted Thursday, August 8, 2024 6:40:57 PM Daniel Baisano

No. Revision Date App'd

Designed by Checked by
Issued for Date
December 21, 2021

Boundary and
Topographic Plan

Drawing Number

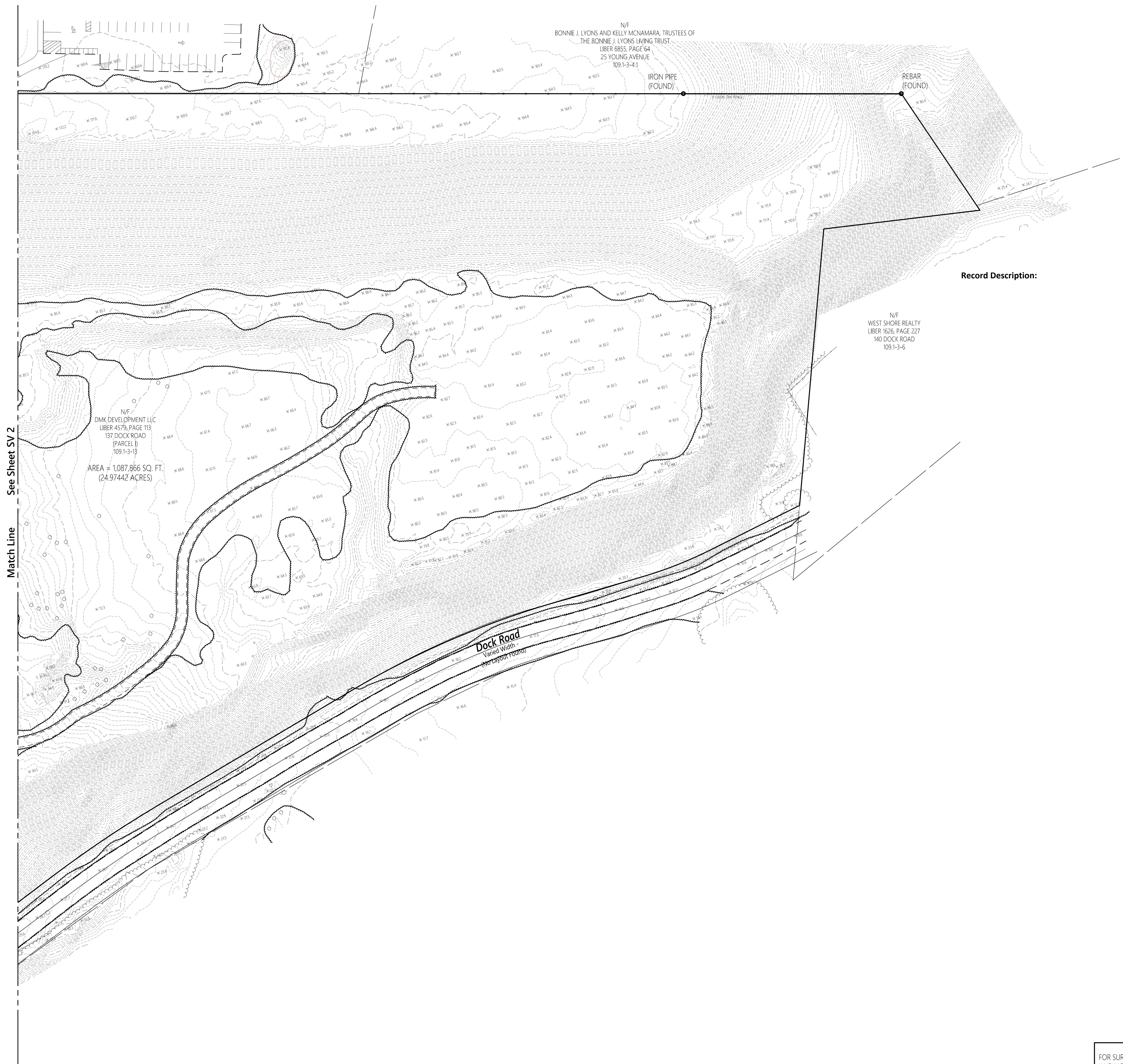
Sheet 2 of 3
Project Number 20578.02

Christopher C. Danforth L.S.
NY Lic Surveyor #050848

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Survey of Property Town of Marlborough Ulster County, New York

U.C.T.M. NO. 109.001-3-13, 14.2, & 15
103 & 137 Dock Rd - 8 Hudson Way
Marlborough, New York

Drawing Title

Boundary and Topographic Plan

OR SURVEYOR'S CERTIFICATION
AND NOTES SEE SHEET SV 1

A scale bar at the bottom of the map showing distances of 40, 0, 40, and 80 feet. The bar is divided into four segments: two white segments of 40 feet each, a black segment of 0 feet, and two white segments of 40 feet each, totaling 80 feet. Below the bar, the text "SCALE IN FEET" is written in capital letters.

SV 3