

Site Plans

Issued for	Site Plan Application
Date Issued	August 9, 2024
Latest Issue	August 9, 2024

Orchards on Hudson Residential Development

103-107 Dock Road
Marlboro, New York 12542

Owner/Applicant

SDL Marlboro, LLC
561 Seventh Avenue
Suite 903
New York, New York 10018

**Assessor's Map: Section 109.1 Block 3 Lots 13, 14.2 and 15
Section 108.4 Block 3 Lots 29.1**

School District

Marlboro Central School District



Sheet Index		
No.	Drawing Title	Latest Issue
C1.01	Legend and General Notes	August 9, 2024
C2.00	Overall Layout and Materials Plan	August 9, 2024
C2.01	Layout and Materials Plan	August 9, 2024
C2.02	Layout and Materials Plan	August 9, 2024
C2.03	Layout and Materials Plan	August 9, 2024
C2.04	Layout and Materials Plan	August 9, 2024
C2.05	Layout and Materials Plan	August 9, 2024
C3.00	Overall Grading and Drainage Plan	August 9, 2024
C3.01	Grading and Drainage Plan	August 9, 2024
C3.02	Grading and Drainage Plan	August 9, 2024
C3.03	Grading and Drainage Plan	August 9, 2024
C3.04	Grading and Drainage Plan	August 9, 2024
C3.05	Grading and Drainage Plan	August 9, 2024
C3.06	Main Road Plan Over Profile Station 10+00 to 15+00	August 9, 2024
C3.07	Main Road Plan Over Profile Station 15+00 to 20+00	August 9, 2024
C3.08	Main Road Plan Over Profile Station 20+00 to 25+00	August 9, 2024
C3.09	Main Road Plan Over Profile Station 25+00 to 29+21	August 9, 2024
C3.10	Side Road A and B Plan Over Profile	August 9, 2024
C3.11	Side Road C Plan Over Profile	August 9, 2024
C3.12	Fire Access Road Plan Over Profile Station 600+00 to 605+00	August 9, 2024
C3.13	Fire Access Road Plan Over Profile Station 605+00 to 610+00	August 9, 2024
C3.14	Fire Access Road Plan Over Profile Station 610+00 to 612+92	August 9, 2024
C4.00	Overall Utility Plan	August 9, 2024
C4.01	Utility Plan	August 9, 2024
C4.02	Utility Plan	August 9, 2024
C4.03	Utility Plan	August 9, 2024
C4.04	Utility Plan	August 9, 2024
C4.05	Utility Plan	August 9, 2024
C5.00	Erosion and Sediment Control Plan	August 9, 2024
C5.01	Erosion and Sediment Control Plan	August 9, 2024
C5.02	Erosion and Sediment Control Plan	August 9, 2024
C6.01	Site Details 1	August 9, 2024
C6.02	Site Details 2	August 9, 2024
C6.03	Site Details 3	August 9, 2024
C6.04	Site Details 4	August 9, 2024
L1.00	Overall Planting Plan	August 9, 2024
L1.01	Planting Plan	August 9, 2024
L1.02	Planting Plan	August 9, 2024
L1.03	Planting Plan	August 9, 2024
L1.04	Planting Plan	August 9, 2024
L1.05	Planting Plan	August 9, 2024
L2.00	Planting Notes and Details	August 9, 2024

Reference Drawings		
No.	Drawing Title	Latest Issue
SV 1	Boundary & Topographic Survey Overall Boundary	June 3, 2024
SV 2	Boundary and Topographic Plan	June 3, 2024
SV 3	Boundary and Topographic Plan	June 3, 2024



Engineering, Surveying,
Landscape Architecture
and Geology, PC
100 Motor Parkway
Suite 350
Hauppauge, NY 11788
631.787.3400

Geotech

Tectonic Engineering
Consultants, Geologists &
Land Surveyors, D.P.C.
1279 Route 300, 2nd Floor
Newburgh, NY 12550
845.5667.6656

Architect

Sun Homes
575 Lexington Avenue,14th Floor
New York, NY 10022
914.875.2738



Legend

Exist.	Prop.		Exist.	Prop.	
		PROPERTY LINE			TOP OF CURB ELEVATION
		PROJECT LIMIT LINE			BOTTOM OF CURB ELEVATION
		RIGHT-OF-WAY/PROPERTY LINE			SPOT ELEVATION
		EASEMENT			TOP & BOTTOM OF WALL ELEVATION
		BUILDING SETBACK			BORING LOCATION
		PARKING SETBACK			TEST PIT LOCATION
		BASELINE			MONITORING WELL
		CONSTRUCTION LAYOUT			FLOW ARROW
		ZONING LINE			UNDERDRAIN
		TOWN LINE			DRAIN
		LIMIT OF DISTURBANCE			ROOF DRAIN
		WETLAND LINE WITH FLAG			SEWER
		FLOODPLAIN			FORCE MAIN
		GRAVEL ROAD			OVERHEAD WIRE
		EDGE OF PAVEMENT			WATER
		BITUMINOUS BERM			FIRE PROTECTION
		BELGIUM BLOCK CURB			GAS
		MOUNTED BELGIUM BLOCK CURB			ELECTRIC
		CONCRETE CURB			STEAM
		SAWCUT			TELEPHONE
					FIRE ALARM
					CABLE TV
		BUILDING			CATCH BASIN
		BUILDING OVERHANG			AREA DRAIN
		BUILDING ENTRANCE			DOUBLE CATCH BASIN
		LOADING DOCK			GUTTER INLET
		BOLLARD			DRAIN MANHOLE
		DUMPSTER ENCLOSURE			TRENCH DRAIN
		SIGN			PLUG OR CAP
		DOUBLE SIGN			CLEANOUT
					FLARED END SECTION
		STEEL GUARDRAIL			HEADWALL
		WOOD GUARDRAIL			DRYWELL
		PATH			DRYWELL W/ INLET COVER
		TREE LINE			DRYWELL W/ MANHOLE COVER
		WIRE FENCE			DIFFUSION WELL W/ INLET COVER
		FENCE			STORM TRAP UNIT
		STOCKADE FENCE			SANITARY MANHOLE
		STONE WALL			SANITARY CLEANOUT
		RETAINING WALL			SANITARY LEACHING POOL
		STREAM / POND / WATER COURSE			EXPANSION LEACHING POOL
		DETENTION BASIN			SANITARY SEPTIC TANK/GREASE TRAP
		HAY BALES			CURB STOP & BOX
		SILT FENCE			WATER VALVE & BOX
		SILT SOCK / STRAW WATTLE			TAPPING SLEEVE, VALVE & BOX
		MINOR CONTOUR			SIAMESE CONNECTION
		MAJOR CONTOUR			FIRE HYDRANT
					WATER METER
		PARKING COUNT			POST INDICATOR VALVE
		COMPACT PARKING STALLS			WATER WELL
		DOUBLE YELLOW LINE			THRUST BLOCKS
		STOP LINE			GAS GATE
		CROSSWALK			GAS METER
		ACCESSIBLE CURB RAMP			ELECTRIC MANHOLE
		ACCESSIBLE PARKING			ELECTRIC METER
		VAN-ACCESSIBLE PARKING			LIGHT POLE
					LIGHT BOLLARD
		CONCRETE			TELEPHONE MANHOLE
		ASPHALT PAVEMENT			TRANSFORMER PAD
		DRIVEWAY ASPHALT PAVEMENT			UTILITY POLE
		CONCRETE SIDEWALK			GUY POLE
		CONSTRUCTION ENTRANCE			GUY WIRE & ANCHOR
		PAVERS / PERMEABLE PAVERS			HAND HOLE
					PULL BOX
		MATCHLINE			

Abbreviations

General

ABAN	ABANDON
ACR	ACCESSIBLE CURB RAMP
APPROX	APPROXIMATE
BIT	BITUMINOUS
BS	BOTTOM OF SLOPE
BWLL	BROKEN WHITE LANE LINE
CONC	CONCRETE
DYCL	DOUBLE YELLOW CENTER LINE
EL	ELEVATION
ELEV	ELEVATION
EXIST	EXISTING
FDN	FOUNDATION
FDE	FIRST FLOOR ELEVATION
LA	LANDSCAPE AREA
LOD	LIMIT OF DISTURBANCE
MAX	MAXIMUM
MIN	MINIMUM
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
PERF	PERFORATED
PROP	PROPOSED
REM	REMOVE
RET	RETAIN
R&D	REMOVE AND DISPOSE
R&R	REMOVE AND RESET
SWEL	SOLID WHITE EDGE LINE
SWLL	SOLID WHITE LANE LINE
TS	TOP OF SLOPE
TYP	TYPICAL

Utility

CB	CATCH BASIN
CMP	CORRUGATED METAL PIPE
CO	CLEANOUT
CPP	CORRUGATED POLYETHYLENE PIPE
DCB	DOUBLE CATCH BASIN
DMH	DRAIN MANHOLE
CIP	CAST IRON PIPE
COND	CONDUIT
DIP	DUCTILE IRON PIPE
FES	FLARED END SECTION
FM	FORCE MAIN
F&G	FRAME AND GRATE
F&C	FRAME AND COVER
GI	GUTTER INLET
GT	GREASE TRAP
HDPE	HIGH DENSITY POLYETHYLENE PIPE
HH	HANDHOLE
HW	HEADWALL
HYD	HYDRANT
INV	INVERT ELEVATION
I=	INVERT ELEVATION
LCS	LEVEL CONTROL STRUCTURE
LP	LIGHT POLE
MES	METAL END SECTION
PWW	PAVED WATER WAY
PVC	POLYVINYLCHLORIDE PIPE
PIV	POST INDICATOR VALVE
RCP	REINFORCED CONCRETE PIPE
RD	ROOF DRAIN
R=	RIM ELEVATION
SMH	SEWER MANHOLE
ST	SEPTIC TANK
TSV	TAPPING SLEEVE, VALVE AND BOX
UD	UNDER DRAIN
UG	UNDERGROUND
UP	UTILITY POLE

Notes

General

- CONTRACTOR SHALL NOTIFY NEW YORK 811 (DIAL 811) AT LEAST 48 HOURS BEFORE EXCAVATING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.
- ACCESSIBLE ROUTES, PARKING SPACES, RAMPS, SIDEWALKS AND WALKWAYS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE FEDERAL AMERICANS WITH DISABILITIES ACT AND WITH STATE AND LOCAL LAWS AND REGULATIONS (WHICHEVER ARE MORE STRINGENT).
- AREAS DISTURBED DURING CONSTRUCTION AND NOT RESTORED WITH IMPERVIOUS SURFACES (BUILDINGS, PAVEMENTS, WALKS, ETC.) SHALL RECEIVE #4 INCHES TOPSOIL AND SEED UNLESS OTHERWISE NOTED ON THE LANDSCAPE PLANS.
- WITHIN THE LIMITS OF THE BUILDING FOOTPRINT, THE SITE CONTRACTOR SHALL PERFORM EARTHWORK OPERATIONS REQUIRED UP TO SUBGRADE ELEVATIONS.
- WORK WITHIN THE LOCAL RIGHTS-OF-WAY SHALL CONFORM TO LOCAL MUNICIPAL STANDARDS. WORK WITHIN STATE RIGHTS-OF-WAY SHALL CONFORM TO THE LATEST EDITION OF THE STATE HIGHWAY DEPARTMENTS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.
- UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS. IN THE SPECIFICATIONS, AND IN THE CONTRACT DOCUMENTS, DO NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS, AND FIRE HYDRANTS, WITHOUT APPROPRIATE PERMITS.
- TRAFFIC SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES & NYS SUPPLEMENT.
- AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
- IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER, AND OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL TO AVOID FURTHER SPREADING OF THE MATERIAL, AND SHALL NOTIFY THE OWNER IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN.
- CONTRACTOR SHALL PREVENT DUST, SEDIMENT, AND DEBRIS FROM EXITING THE SITE AND SHALL BE RESPONSIBLE FOR CLEANUP, REPAIRS AND CORRECTIVE ACTION IF SUCH OCCURS.
- DAMAGE RESULTING FROM CONSTRUCTION LOADS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
- CONTRACTOR SHALL CONTROL STORMWATER RUNOFF DURING CONSTRUCTION TO PREVENT ADVERSE IMPACTS TO OFF SITE AREAS, AND SHALL BE RESPONSIBLE TO REPAIR RESULTING DAMAGES, IF ANY, AT NO COST TO OWNER.
- THE CONTRACTOR IS ADVISED THAT A COMPLETE STORM WATER POLLUTION PREVENTION PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE REQUIRED LATEST SPDES PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITY, WHICH INCLUDES REQUIREMENTS FOR THE CONTRACTOR TO COMPLETE CERTAIN CERTIFICATIONS, SCHEDULES AND OTHER DOCUMENTATION, WHICH MUST BE MAINTAINED ON SITE THROUGHOUT CONSTRUCTION. THE CONTRACTOR IS REQUIRED TO FAMILIARIZE HIMSELF WITH ALL ASPECTS OF THE SWPPP AND COORDINATE HIS/HER WORK WITH THE REQUIREMENTS, INCLUDING THE REGULARLY SCHEDULED INSPECTIONS.

Utilities

- THE LOCATIONS, SIZES, AND TYPES OF EXISTING UTILITIES ARE SHOWN AS AN APPROXIMATE REPRESENTATION ONLY. THE OWNER OR ITS REPRESENTATIVE(S) HAVE NOT INDEPENDENTLY VERIFIED THIS INFORMATION AS SHOWN ON THE PLANS. THE UTILITY INFORMATION SHOWN DOES NOT GUARANTEE THE ACTUAL EXISTENCE, SERVICEABILITY, OR OTHER DATA CONCERNING THE UTILITIES, NOR DOES IT GUARANTEE AGAINST THE POSSIBILITY THAT ADDITIONAL UTILITIES MAY BE PRESENT THAT ARE NOT SHOWN ON THE PLANS. PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY AND DETERMINE THE EXACT LOCATIONS, SIZES, AND ELEVATIONS OF THE POINTS OF CONNECTIONS TO EXISTING UTILITIES AND SHALL CONFIRM THAT THERE ARE NO INTERFERENCES WITH EXISTING UTILITIES AND THE PROPOSED UTILITY ROUTES, INCLUDING ROUTES WITHIN THE PUBLIC RIGHTS OF WAY.
- CONTRACTOR TO NOTE UTILITY EASEMENT RUNNING THROUGH SITE. THE CONTRACTOR SHALL TAKE CARE TO NOT DISPOSE EXISTING UTILITIES DURING CONSTRUCTION. EXISTING UTILITIES ARE TO REMAIN ACTIVE AT ALL TIMES. THE CONTRACTOR IS REQUIRED TO REOPEN TEST PITS, BY HAND, IF NECESSARY TO LOCATE UTILITIES PRIOR TO COMMERCIAL WORK.
 - PAVEMENTS AND CONCRETE SURFACES: FLUSH
 - ALL SURFACES ALONG ACCESSIBLE ROUTES: FLUSH
 - LANDSCAPE, TOPSOIL AND SEED, AND OTHER EARTH SURFACE AREAS: ONE INCH ABOVE SURROUNDING AREA AND TAPER EARTH TO THE RIM ELEVATION.
- THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY, AND APPROVED BY, THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE, ELECTRIC, FIRE ALARM, ETC.). FINAL DESIGN LOADS AND LOCATIONS TO BE COORDINATED WITH OWNER AND ARCHITECT.
- CONTRACTOR SHALL MAKE ARRANGEMENTS FOR AND SHALL BE RESPONSIBLE FOR PAYING FEES FOR POLE RELOCATION AND FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE, FIRE ALARM, AND ANY OTHER PRIVATE UTILITIES, WHETHER WORK IS PERFORMED BY CONTRACTOR OR BY THE UTILITIES COMPANY.
- UTILITY PIPE MATERIALS SHALL BE AS NOTED ON THE PLANS.
- CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR AND SHALL FURNISH EXCAVATION, INSTALLATION, AND BACKFILL OF ELECTRICAL FURNISHED SITEWORK RELATED ITEMS SUCH AS PULL BOXES, CONDUITS, DUCT BANKS, LIGHT POLE BASES, AND CONCRETE PADS. SITE CONTRACTOR SHALL FURNISH CONCRETE ENCASEMENT OF DUCT BANKS IF REQUIRED BY THE UTILITY COMPANY AND AS INDICATED ON THE DRAWINGS.

- CONTRACTOR SHALL EXCAVATE AND BACKFILL TRENCHES FOR GAS IN ACCORDANCE WITH GAS COMPANY'S REQUIREMENTS.
 - ALL DRAINAGE AND SANITARY STRUCTURE INTERIOR DIAMETERS (4" MIN) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS AND LOCAL MUNICIPAL STANDARDS. FOR MANHOLES THAT ARE 20 FEET IN DEPTH AND GREATER, THE MINIMUM DIAMETER SHALL BE 5 FEET.
- Layout and Materials
- DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.
 - CURB RADII ARE FIVE FEET UNLESS OTHERWISE NOTED.
 - CURBING SHALL BE CAST IN PLACE CONCRETE WITHIN THE SITE UNLESS OTHERWISE INDICATED ON THE PLANS.
 - SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS CONTIGUOUS TO THE BUILDING, INCLUDING SIDEWALKS, RAMPS, BUILDING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC.
 - PROPOSED BOUNDS, GRADES, BENCHMARKS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A PROFESSIONAL LICENSED SURVEYOR.
 - PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTING PAVEMENT ELEVATIONS AT INTERFACE WITH PROPOSED PAVEMENTS, AND EXISTING GROUND ELEVATIONS ADJACENT TO DRAINAGE OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES.
 - SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.
 - CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS, BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.

Demolition

- CONTRACTOR SHALL REMOVE AND DISPOSE OF EXISTING MANMADE SURFACE FEATURES WITHIN THE LIMIT OF WORK INCLUDING BUILDINGS, STRUCTURES, PAVEMENTS, SLABS, CURBING, FENCES, UTILITY POLES, SIGNS, ETC. UNLESS INDICATED OTHERWISE ON THE DRAWINGS. REMOVE AND DISPOSE OF EXISTING UTILITIES, FOUNDATIONS AND UNSUITABLE MATERIAL BENEATH AND FOR A DISTANCE OF 10 FEET BEYOND THE PROPOSED BUILDING FOOTPRINT INCLUDING EXTERIOR COLUMNS.
- EXISTING UTILITIES SHALL BE TERMINATED, UNLESS OTHERWISE NOTED. IN CONFORMANCE WITH LOCAL, STATE AND INDIVIDUAL UTILITY COMPANY STANDARD SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY REPRESENTATIVES.
- CONTRACTOR SHALL DISPOSE OF DEMOLITION DEBRIS IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, ORDINANCES AND STATUTES.

Erosion Control

- PRIOR TO STARTING ANY OTHER WORK ON THE SITE, THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES AND SHALL INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE PLANS AND AS IDENTIFIED IN FEDERAL, STATE, AND LOCAL APPROVAL DOCUMENTS PERTAINING TO THIS PROJECT.
- CONTRACTOR SHALL INSPECT AND MAINTAIN EROSION CONTROL MEASURES, AND REMOVE SEDIMENT THEREFROM ON A WEEKLY BASIS AND WITHIN TWELVE HOURS AFTER EACH STORM EVENT AND DISPOSE OF SEDIMENTS IN AN UPLAND AREA SUCH THAT THEY DO NOT ENCUMBER OTHER DRAINAGE STRUCTURES AND PROTECTED AREAS.
- CONTRACTOR SHALL BE FULLY RESPONSIBLE TO CONTROL CONSTRUCTION SUCH THAT SEDIMENTATION SHALL NOT AFFECT REGULATORY PROTECTED AREAS, WHETHER SUCH SEDIMENTATION IS CAUSED BY WATER, WIND, OR DIRECT DEPOSIT.
- CONTRACTOR SHALL PERFORM CONSTRUCTION SEQUENCING SUCH THAT EARTH MATERIALS ARE EXPOSED FOR A MINIMUM OF TIME BEFORE THEY ARE COVERED, SEEDED, OR OTHERWISE STABILIZED TO PREVENT EROSION.
- UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER, CONTRACTOR SHALL REMOVE AND DISPOSE OF EROSION CONTROL MEASURES AND CLEAN SEDIMENT AND DEBRIS FROM ENTIRE DRAINAGE AND SEWER SYSTEMS.

Existing Conditions Information


- BASE PLAN: THE PROPERTY LINES SHOWN WERE DETERMINED BY AN ACTUAL FIELD SURVEY CONDUCTED BY VHB ENGINEERING, SURVEYING, LANDSCAPE, ARCHITECTURE AND GEOLOGY, P.C.. THE TOPOGRAPHY AND PHYSICAL FEATURES ARE BASED ON AN ACTUAL FIELD SURVEY PERFORMED ON THE GROUND BY VHB ENGINEERING, SURVEYING, LANDSCAPE, ARCHITECTURE AND GEOLOGY, P.C., ON OCTOBER 21ST, 2021 AND UPDATED ON MAY 1, 2024.
 - TOPOGRAPHY: ELEVATIONS ARE BASED ON NAVD DATUM.
 - GEOTECHNICAL DATA INCLUDING TEST PIT AND BORING LOCATIONS AND ELEVATIONS WERE OBTAINED FROM TECTONIC ENGINEERING CONSULTANTS, GEOLOGISTS & LAND SURVEYORS, D.P.C..
- Document Use
- THESE PLANS AND CORRESPONDING CADD DOCUMENTS ARE INSTRUMENTS OF PROFESSIONAL SERVICE, AND SHALL NOT BE USED, IN WHOLE OR IN PART, FOR ANY PURPOSE OTHER THAN FOR WHICH IT WAS CREATED WITHOUT THE EXPRESSED, WRITTEN CONSENT OF VHB. ANY UNAUTHORIZED USE, REUSE, MODIFICATION OR ALTERATION, INCLUDING AUTOMATED CONVERSION OF THIS DOCUMENT SHALL BE AT THE USER'S SOLE RISK WITHOUT LIABILITY OR LEGAL EXPOSURE TO VHB.
 - CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS, BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.
 - SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.

Orchards on Hudson
Residential
Dock Road
Marlborough, NY

No.	Revision	Date	Appr'd.

Designed by	DB	Checked by	AL
Issued for		Date	
Site Plan Approval		August 9, 2024	

Not Approved for Construction
Drawing Title
Legend and General Notes



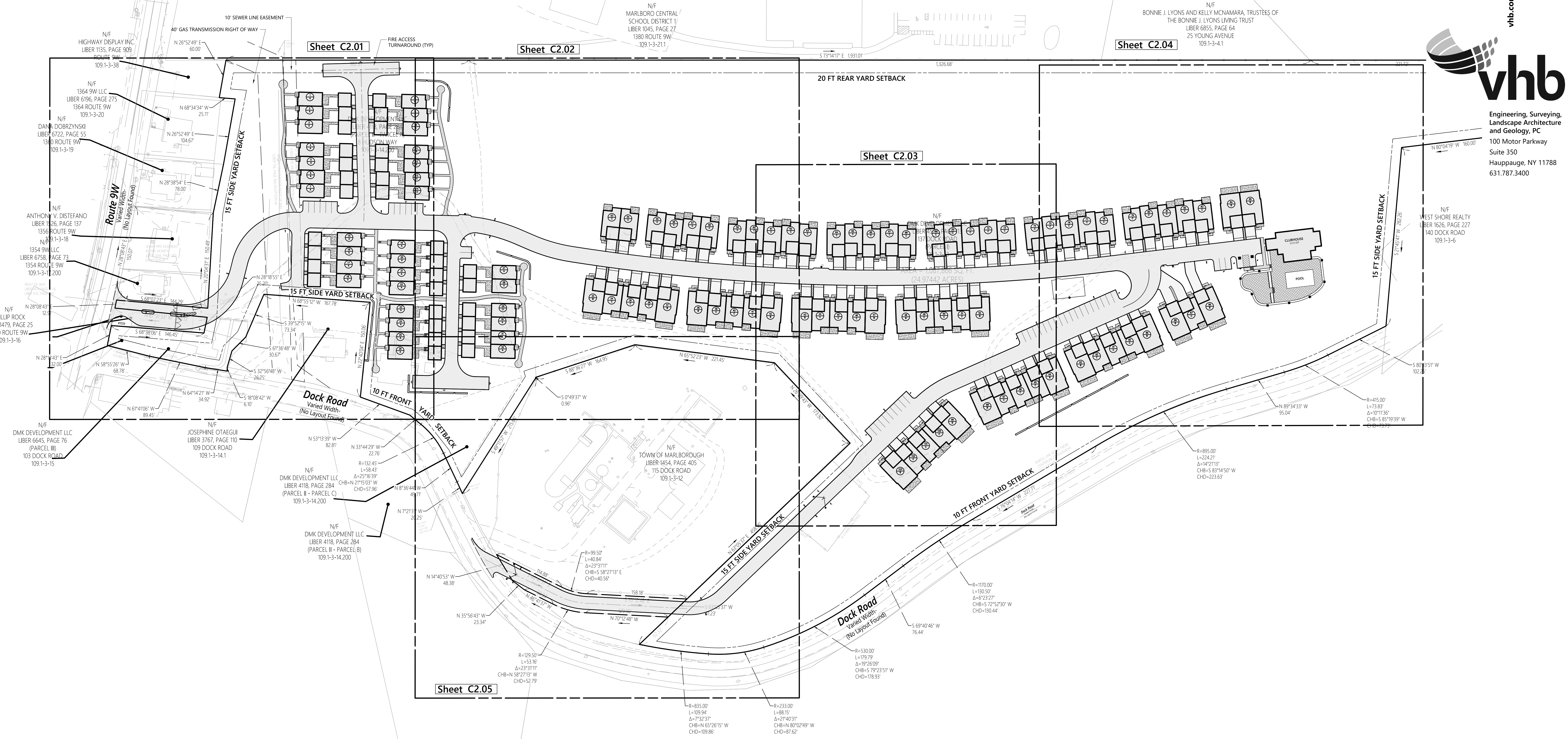
STATE OF NEW YORK
SEAL OF PROFESSIONAL ENGINEER
08-16

Drawing Number

C1.00

Sheet 1 of 47

Project Number
20578.01



Zoning Summary Chart

Zoning District(S):	Residential (R)	
Proposed Use(S):	Townhomes	
Existing Use(S):	Vacant / Residences	
School District:	Marlboro Central School District	
Zoning Regulation Requirements	Required ¹	Provided
MINIMUM LOT AREA ²	7,500 SF	25.0 Acres
FRONT YARD SETBACK	10 Feet	98.90 Feet
SIDE YARD SETBACK (ONE/BOTH)	10/25 Feet	18.30 Feet
REAR YARD SETBACK	20 Feet	50.50 Feet
MINIMUM LOT WIDTH	75 Feet	1,839 Feet
MINIMUM LOT DEPTH	100 Feet	559 Feet
MAXIMUM BUILDING HEIGHT	2 1/2 Stories / 35 Feet	2 1/2 Stories / 35 Feet
MAXIMUM BUILDING COVERAGE	30.0 %	14.0 %

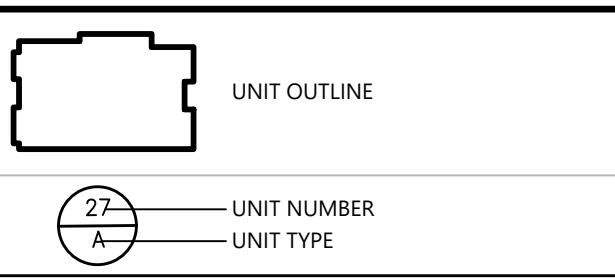
¹ Zoning regulation requirements as specified in "Code of the Town of Marlborough" adopted through April 12, 2021.

² Minimum lot area with public water and sewer and natural gas.

UNIT SUMMARY

Unit	Provided
A	32
B	18
C	53
TOTAL	103

Unit Symbol Legend



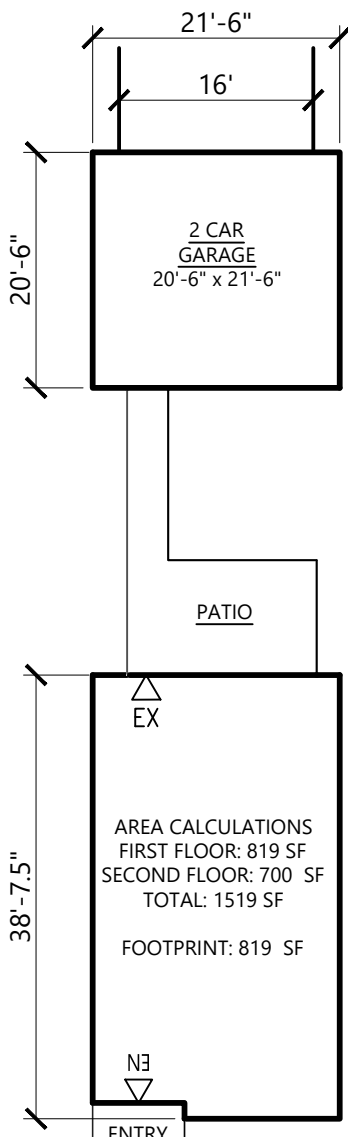
Parking Summary Chart

Description	Size		Spaces	
	Required	Provided	Required	Provided
STANDARD SPACES	162 SF (MIN.)	9x18 (162 SF)	154*	206**
VISITOR PARKING SPACES *	162 SF (MIN.)	9x18 (162 SF)	15	46
STANDARD ACCESSIBLE SPACES ***	8x19 (MIN.)	10x19	2	2
TOTAL SPACES			171**	254

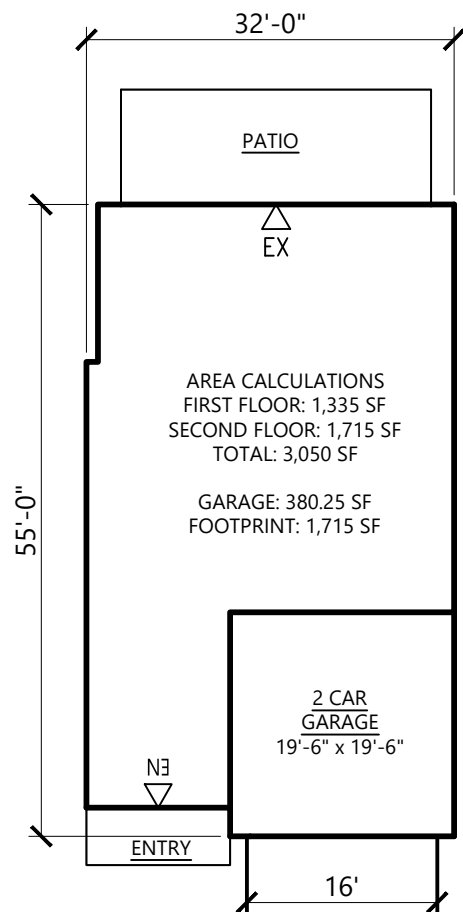
* BASED ON SECTION 155-27 (TABLE 1) OF THE TOWN CODE, RESIDENTIAL CLUSTER USES ARE REQUIRED TO PROVIDE 1.5 SPACES FOR EACH DWELLING UNIT (ROUNDED DOWN TO A WHOLE NUMBER), PLUS 10% OF ALL OFF-STREET PARKING FOR VISITOR PARKING.

** EACH DWELLING UNIT HAS A DEDICATED ENCLOSED GARAGE PROVIDING TWO STANDARD PARKING SPACES.

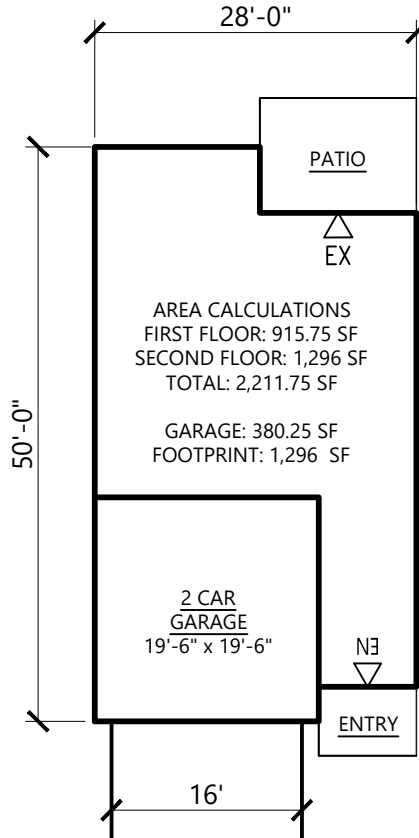
*** 2 ADA STALLS REQUIRED FOR 26-50 TOTAL PARKING STALLS PROVIDED (ONLY APPLIED TO SURFACE VISITOR PARKING).



Unit A



Unit B



Unit C

Density Calculations

PROPOSED DENSITY:
103 UNITS / 25 ACRES = 4.12 UNITS / ACRE

4.12 UNITS / ACRE < 6 UNITS / ACRE OK

*SECTION 155-30 STATES MAXIMUM DENSITY SHALL BE SIX DWELLING UNITS PER ACRE

Notes

General

- MAIL FOR ALL UNITS TO BE IN LOCATED IN THE CLUBHOUSE
- PRIVATE TRASH PICKUP FOR EACH UNIT

Sign Summary

M.U.T.C.D. Number	Specification Width Height	Desc.
R1-1	30" 30"	STOP
R2-1	18" 24"	WEEKEND 20
R5-1	30" 30"	DO NOT ENTER
R7-1	12" 18"	NO PARKING ANY TIME
R7-8	12" 18"	RESERVED PARKING



0 30 60 120feet

Orchards on Hudson

Residential

Dock Road
Marlborough, NY

Rev. Revision Date Appr.

Designed by DB

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Date

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Overall Layout and
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Drawing Number

C2.00

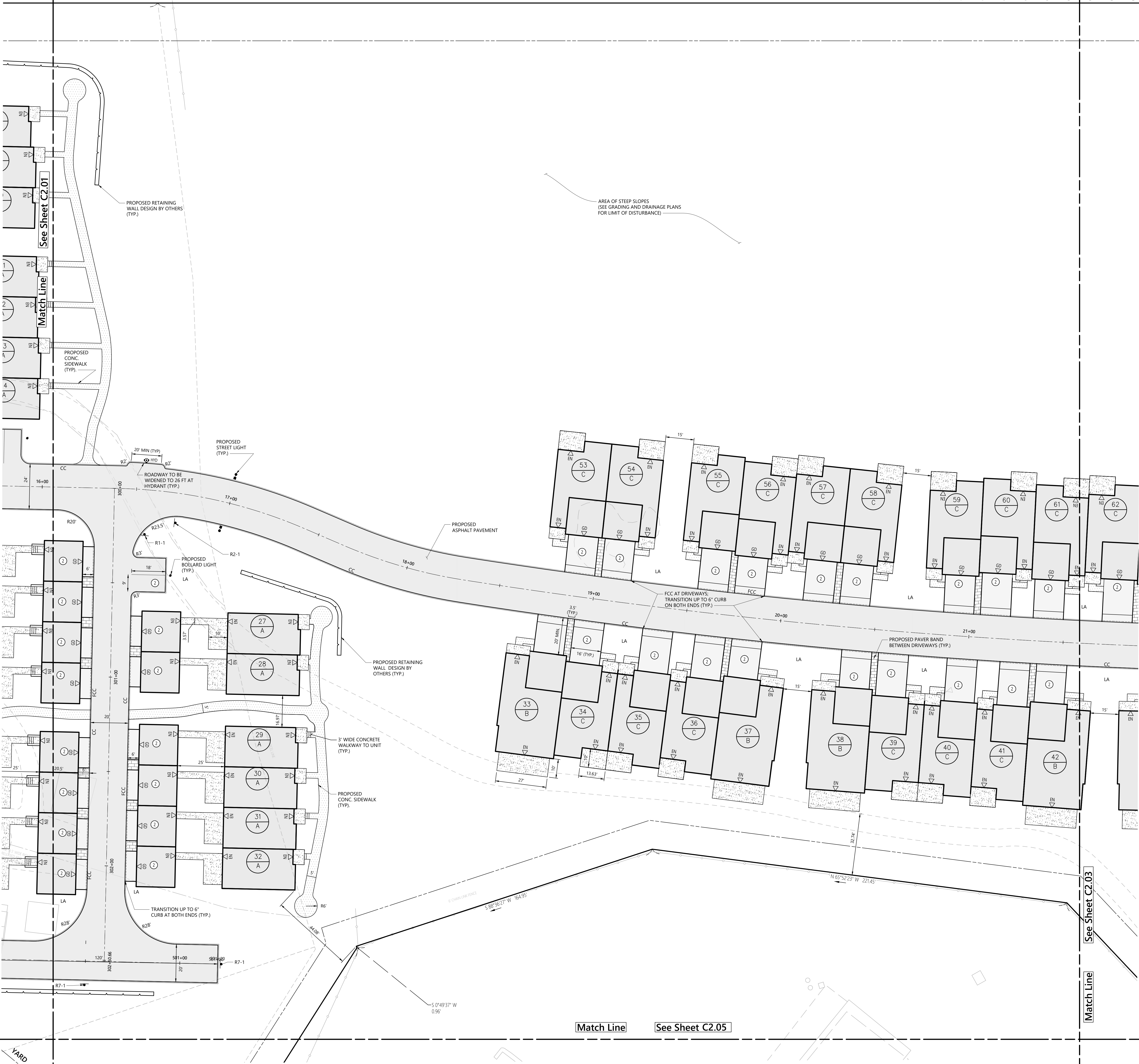
Sheet 2 of 47

IT IS A VIOLATION OF SECTION 2209 OF ARTICLE 165 OF THE NEW YORK STATE EDUCATION LAW, BEARS THE SEAL OF A PROFESSIONAL ENGINEER, UNLESS THE PERSON IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER.

Project Number

20578.01





Orchards on Hudson
Residential
Dock Road
Marlborough, NY

Rev. Revision Date Appr.

Designed by DB Checked by AL

Issued for Date

Site Plan Approval August 9, 2024

Not Approved for Construction

Layout and Materials Plan

Project Number 20578.01

Sheet 4 of 47

Match Line

See Sheet C2.03

Match Line

See Sheet C2.05

Match Line

Match Line

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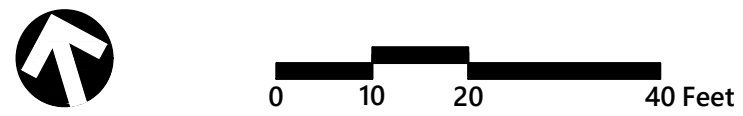
Match Line

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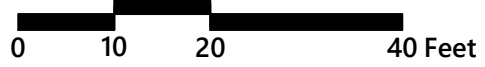
**Orchards on Hudson
Residential**
Dock Road
Marlborough, NY

No.	Revision	Date	Appr'd.

Designed by: **DB** Checked by: **AL**
Issued for: **Site Plan Approval** Date: **August 9, 2024**

Not Approved for Construction
Layout and Materials
Plan

STATE OF NEW YORK
SEAL OF THE PROFESSIONAL ENGINEER
August 9, 2024
Project Number: 20578.01
Sheet 5 of 47
C2.03



**Orchards on Hudson
Residential**
Dock Road
Marlborough, NY

Des. Revision Date Appd.

Designed by: DB Checked by: AL
Issued for: Date:

Site Plan Approval August 9, 2024

Not Approved for Construction

Layout and Materials
Plan

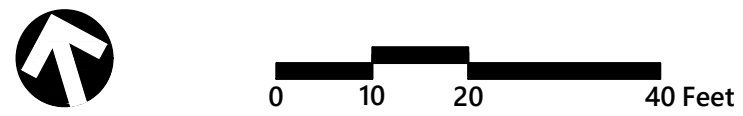
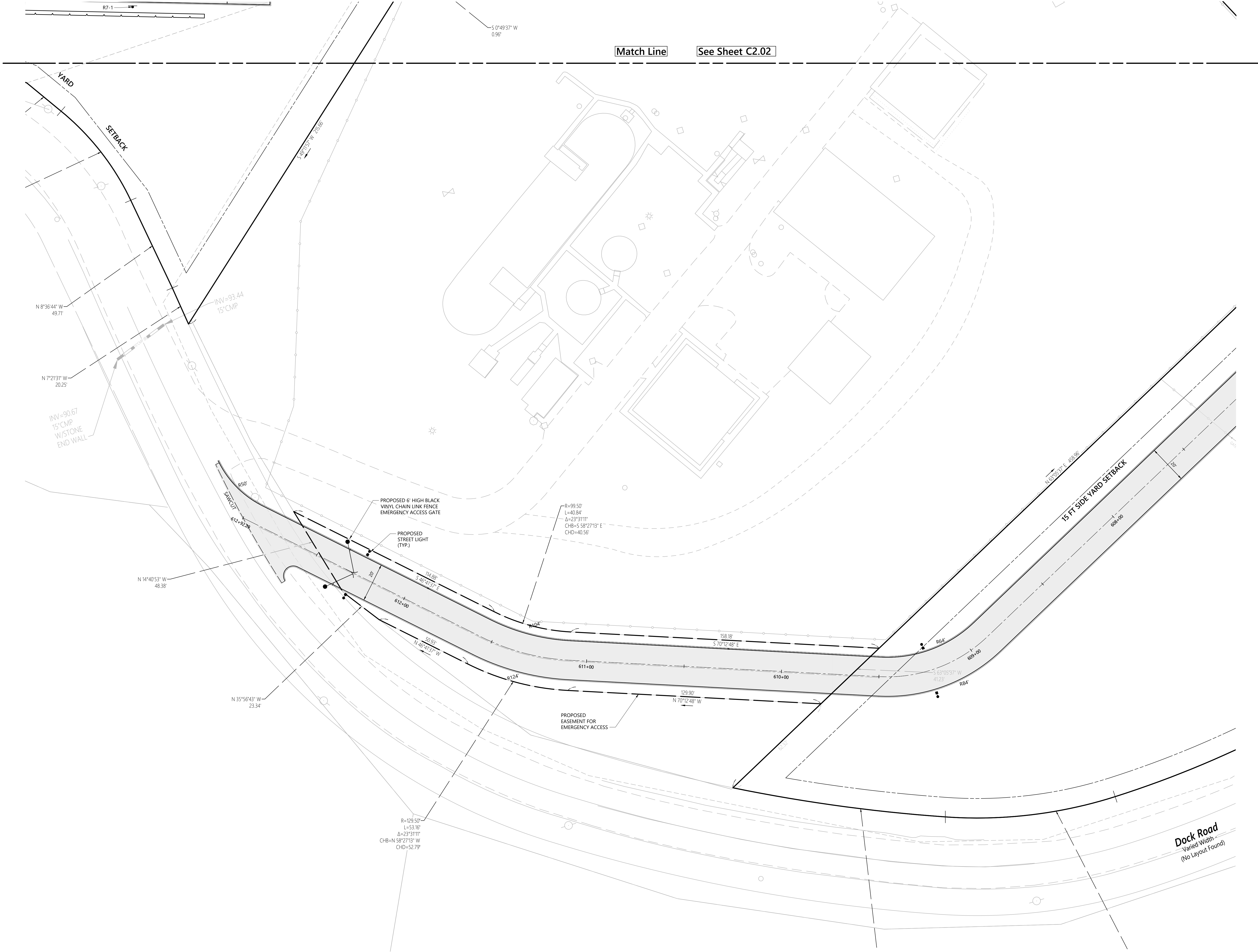


Drawing Title

C2.04

Sheet 6 of 47

Project Number
20578.01



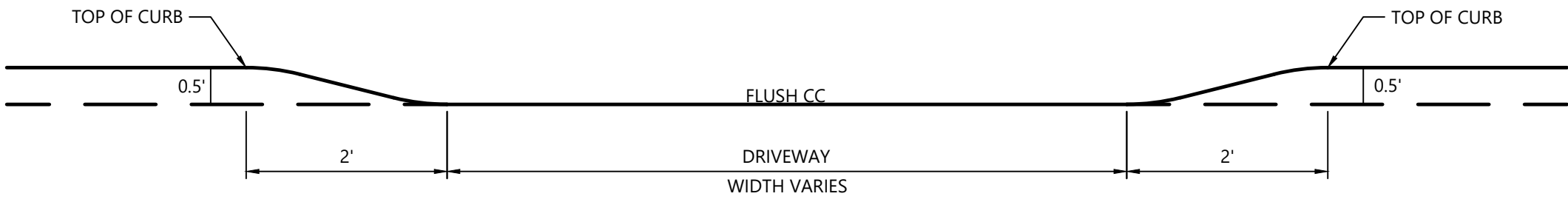
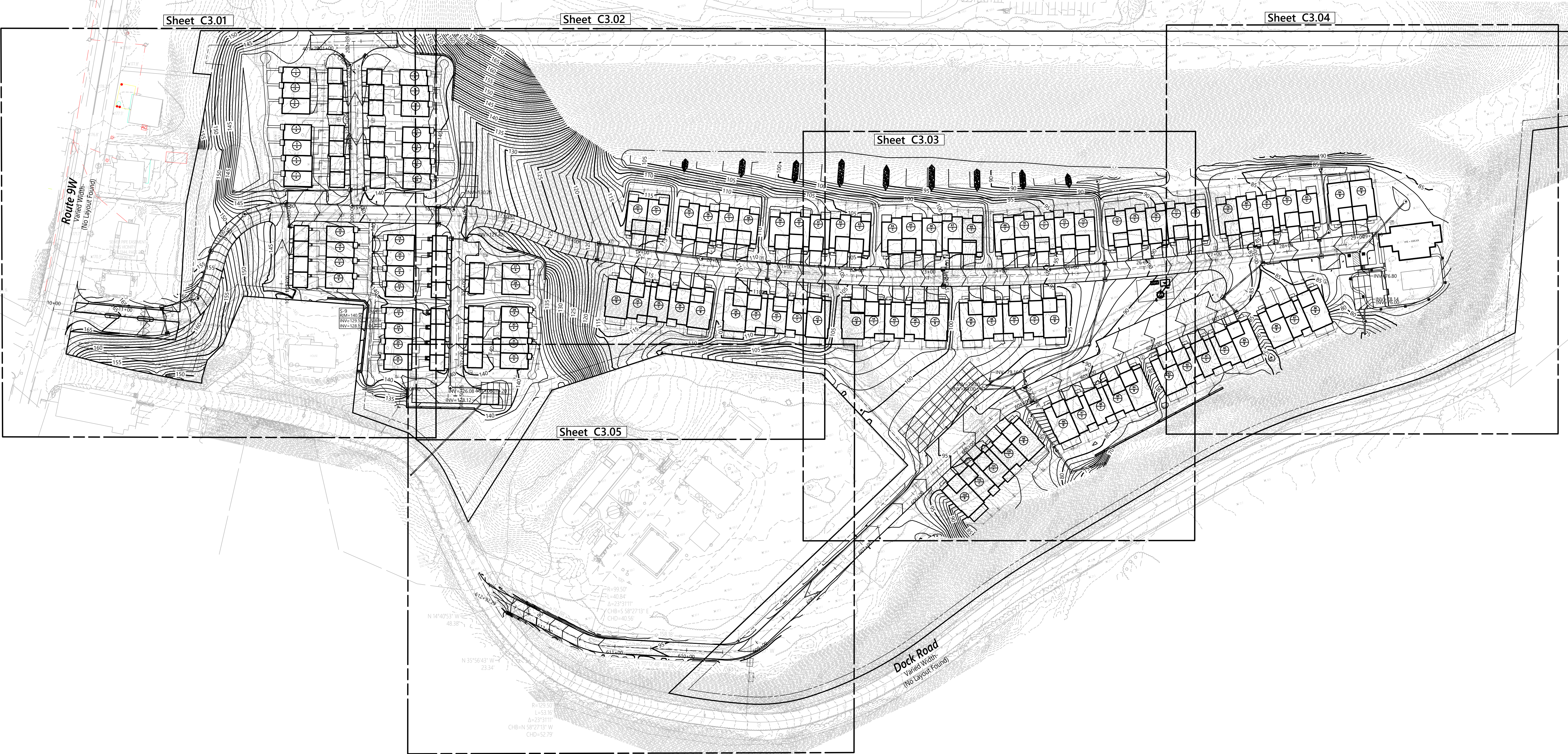
**Orchards on Hudson
Residential**
Dock Road
Marlborough, NY

No.	Revision	Date	App'd.

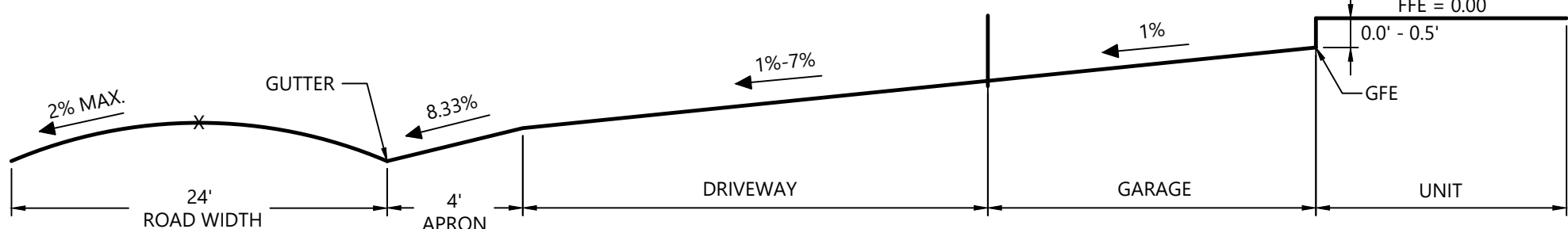
Designed by: **DB** Checked by: **AL**
Issued for: _____ Date: _____
Site Plan Approval **August 9, 2024**

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**Layout and Materials
Plan**

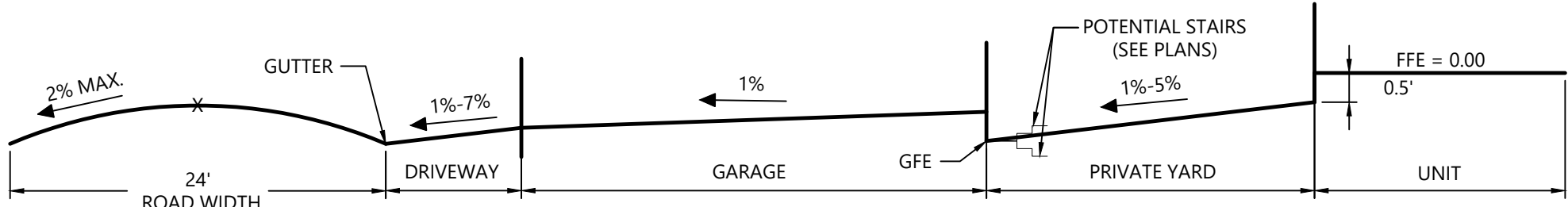
Project Number: **20578.01**
Sheet: **7** of **47**
Drawing Title: **C2.05**



Typical Curb Transition Section
N.T.S.



Typical Driveway Grading Profile (Townhouse) - Section A-A
N.T.S.



Typical Driveway Grading Profile (Cottages) - Section B-B
N.T.S.

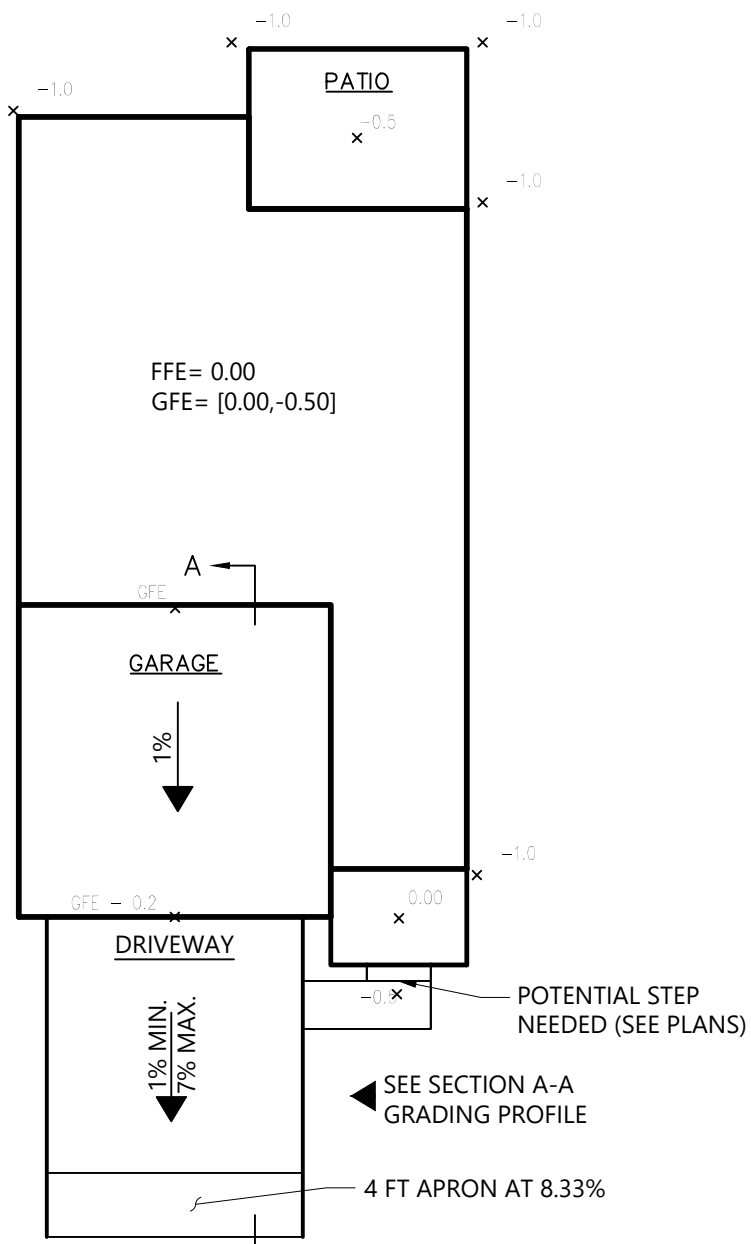
Grading and Drainage Notes

- ELEVATIONS ARE BASED ON NAVD88.
- THE CONTRACTOR SHALL MEET LINES AND GRADES DEPICTED ON THIS PLAN OR AS DIRECTED BY THE ENGINEER. GRADE SHALL PITCH AWAY FROM BUILDINGS AND WHERE APPLICABLE SWALES SHALL BE INCORPORATED BETWEEN BUILDINGS TO TAKE WATER AWAY FROM FOUNDATIONS.
- GRADES IN ALONG ADA WALKWAYS SHALL NOT EXCEED 5% IN THE DIRECTION OF TRAVEL AND 2% CROSS SLOPE.
- ALL ADA ACCESS AISLES AND PARKING SPACES SHALL BE AT THE SAME LEVEL, WITH MAXIMUM SLOPES NOT GREATER THAN 2% IN ANY DIRECTION.
- CONTRACTOR SHALL PROVIDE A SMOOTH TRANSITION BETWEEN THE ADA ACCESS AISLES/PARKING SPACES AND THE EXISTING PAVEMENT AT THE WORK LIMITS.
- GRADES IN LANDSCAPED AREAS SHALL NOT EXCEED A SLOPE OF 3H:1V UNLESS OTHERWISE NOTED ON THE PLANS.
- CONTRACTOR RESPONSIBLE TO PROVIDE POSITIVE DRAINAGE FLOW OVER THE SITE. BIRD BATHS AND PONDING AREAS (OTHER THAN AS DESIGNED) ARE NOT PERMITTED AND SHALL BE CORRECTED AT NO ADDITIONAL EXPENSE TO THE OWNER.
- DRAINAGE PIPE TO BE AS FOLLOWS UNLESS OTHERWISE NOTED:
 - UNDER PAVEMENT: HDPE, SIZE AS NOTED ON PLANS
 - UNDER LANDSCAPING: HDPE, SIZE AS NOTED ON PLANS
 - ROOF DRAIN HEADERS: 6" DR-18 PVC MIN. SLOPE 1%
- ROOF DRAIN HEADERS AND DOWN SPOUT LOCATIONS PENDING FINAL ARCHITECTURAL DESIGN.

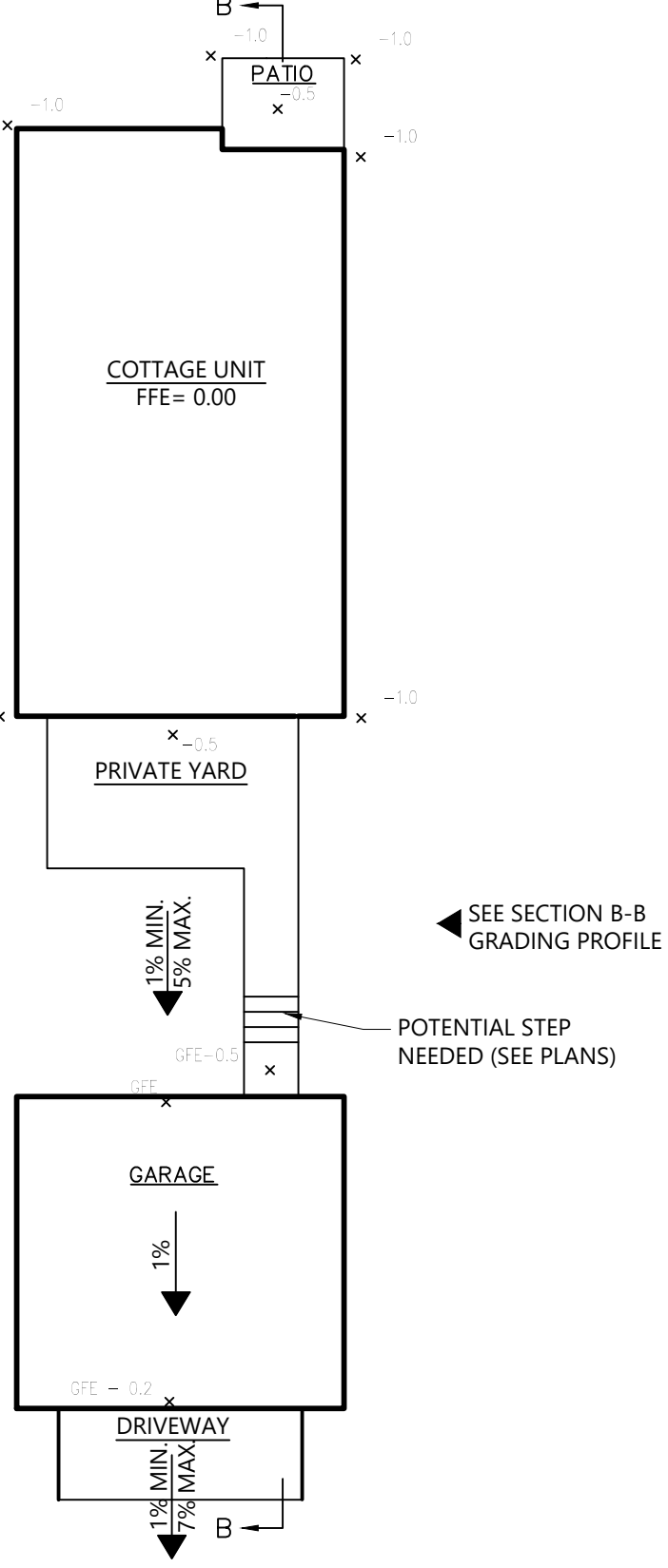
Earthwork Notes

- THE CONTRACTOR SHALL PERFORM THEIR OWN CUT/FILL ANALYSIS BASED ON THE APPROVED SITE PLANS TO DETERMINE IF FILL IS NEEDED TO BE IMPORTED TO CONSTRUCT THE PROJECT.
- THE CONTRACTOR IS PERMITTED TO UTILIZE NATIVE SOILS EXCAVATED FROM THE SITE FOR USE AS FILL MATERIAL IN OTHER AREAS OF THE SITE. NATIVE SOILS SHALL BE EXCAVATED TO A DEPTH DETERMINED BY THE GEOTECHNICAL ENGINEER FOR TESTING TO DETERMINE MAXIMUM ALLOWABLE DENSITY.
- CUT AND REMOVE TREES, REMOVE STUMPS AND BRUSH. LEGALLY DISPOSE OF OFF-SITE. WOOD WASTES MAY BE CHIPPED AND SHROODED ON-SITE AND REUSED ON-SITE WITH PRIOR APPROVAL OF THE ENGINEER. STRIP ALL TOPSOIL, SUBSOIL AND OTHER UNSUITABLE MATERIALS TO ITS FULL DEPTH WITHIN THE CONTRACT LIMITS. TOPSOIL, FREE OF ROOTS, STUMPS AND DELETERIOUS MATERIAL CAN BE STOCKPILED FOR REUSE IN LANDSCAPED AREAS.
- FILL SHALL BE PLACED ON LIFTS NOT GREATER THAN EIGHTEEN INCHES THICK AND COMPACTED TO A MINIMUM COMPACTION OF 95% OF THE MODIFIED PROCTOR DENSITY.
- FILL BROUGHT TO THE SITE SHALL BE COMPRISED OF MAINLY SAND AND GRAVEL AND SHALL BE CLEAN, INERT, HARD, DURABLE GRAINS OF QUARTZ OR OTHER HARD, DURABLE ROCK, FREE FROM LOAM OR CLAY, SURFACE COATINGS AND DELETERIOUS MATERIALS. THE ALLOWABLE AMOUNT OF MATERIAL PASSING A NO. 200 SIEVE AS DETERMINED BY AASHTO-T11 OR ASTM D422 SHALL NOT EXCEED 10 PERCENT BY WEIGHT. THE MAXIMUM PARTICLE SIZE SHALL BE 1/4-INCH (I.E., 100 PERCENT PASSING THE NO. 4 SIEVE).
- FILL MATERIAL SHALL BE FREE OF TRASH, ICE SNOW, TREE STUMPS, ROOTS, AND ORGANIC MATERIALS.
- THE ENGINEER/OWNER RESERVES THE RIGHT TO REJECT MATERIAL BROUGHT TO THE SITE BASED ON VISUAL INSPECTION OF THE SUITABILITY OF ALL MATERIALS. RE-TESTING OF THE MATERIALS DURING EARTHWORK OPERATIONS WOULD BE PERFORMED AT THE COST OF THE CONTRACTOR.
- BASED ON THE GEOTECHNICAL REPORT, BED ROCK IS NOT ANTICIPATED DURING EXCAVATION OPERATIONS. SHOULD ROCK BE ENCOUNTERED, THE CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING AND ADVISE OF THE PLAN TO EXCAVATE IF NECESSARY.

Typical Driveway Grading Scheme (Townhouse)
N.T.S.



Typical Driveway Grading Scheme (Cottages)
N.T.S.



0 30 60 120feet

Orchards on Hudson
Residential
Dock Road
Marlborough, NY

No.	Revision	Date	App'd.

Designed by **DB** Checked by **AL**
Issued for _____ Date _____

Site Plan Approval August 9, 2024

Not Approved for Construction

**Overall Grading and
Drainage Plan**



Drawing Number

C3.00

Sheet 8 of 47

Project Number
20578.01

IT IS A VIOLATION OF SECTION 2209 OF ARTICLE 145 OF THE NEW YORK STATE EDUCATION LAW, FOR ANY PERSON TO SIGN ANY DOCUMENT THAT BEARS THE SEAL OF A PROFESSIONAL ENGINEER, UNLESS THE PERSON IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER.

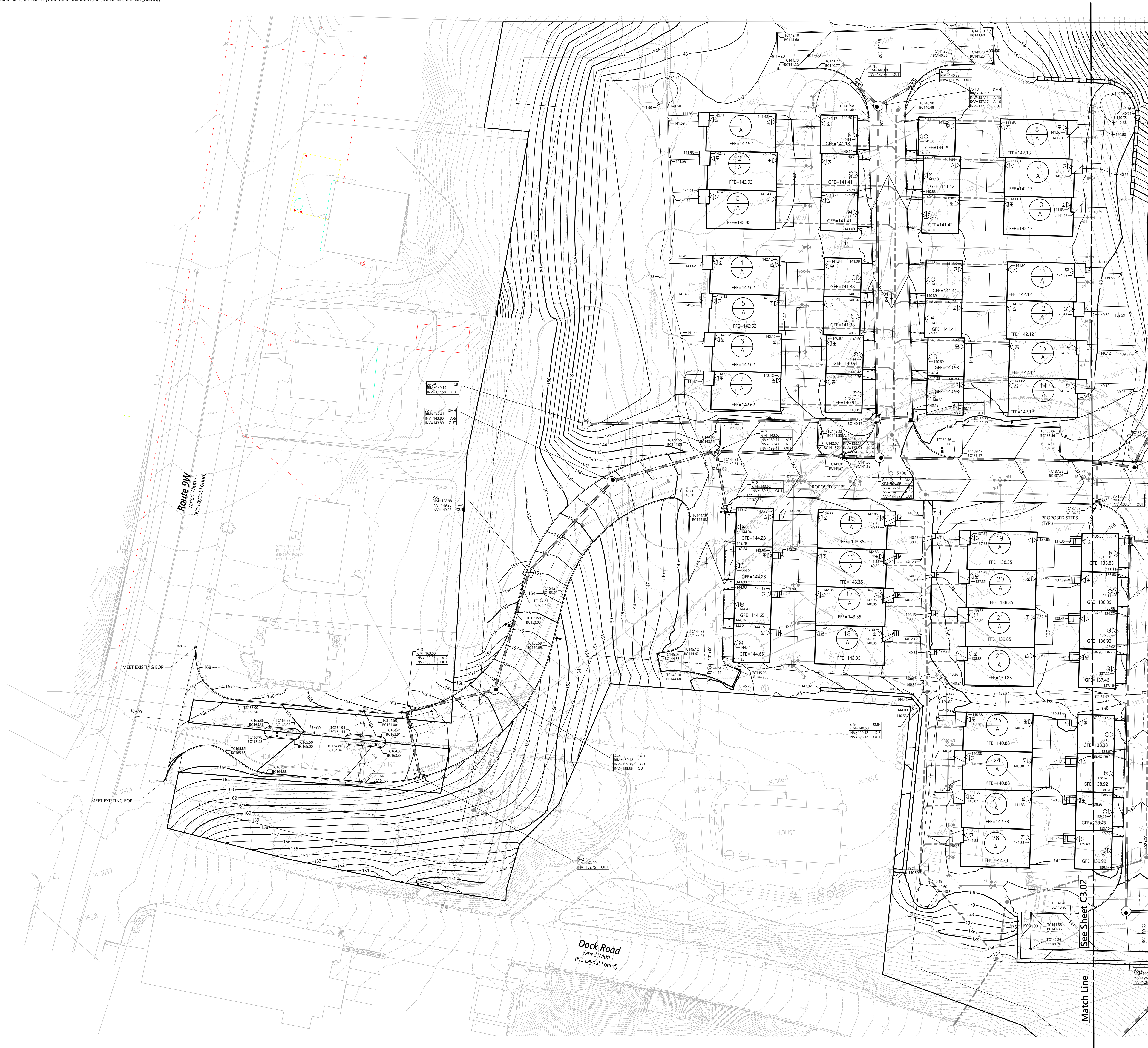
Designed by DB	Checked by AL
Issued for Site Plan Approval	Date August 9, 2024

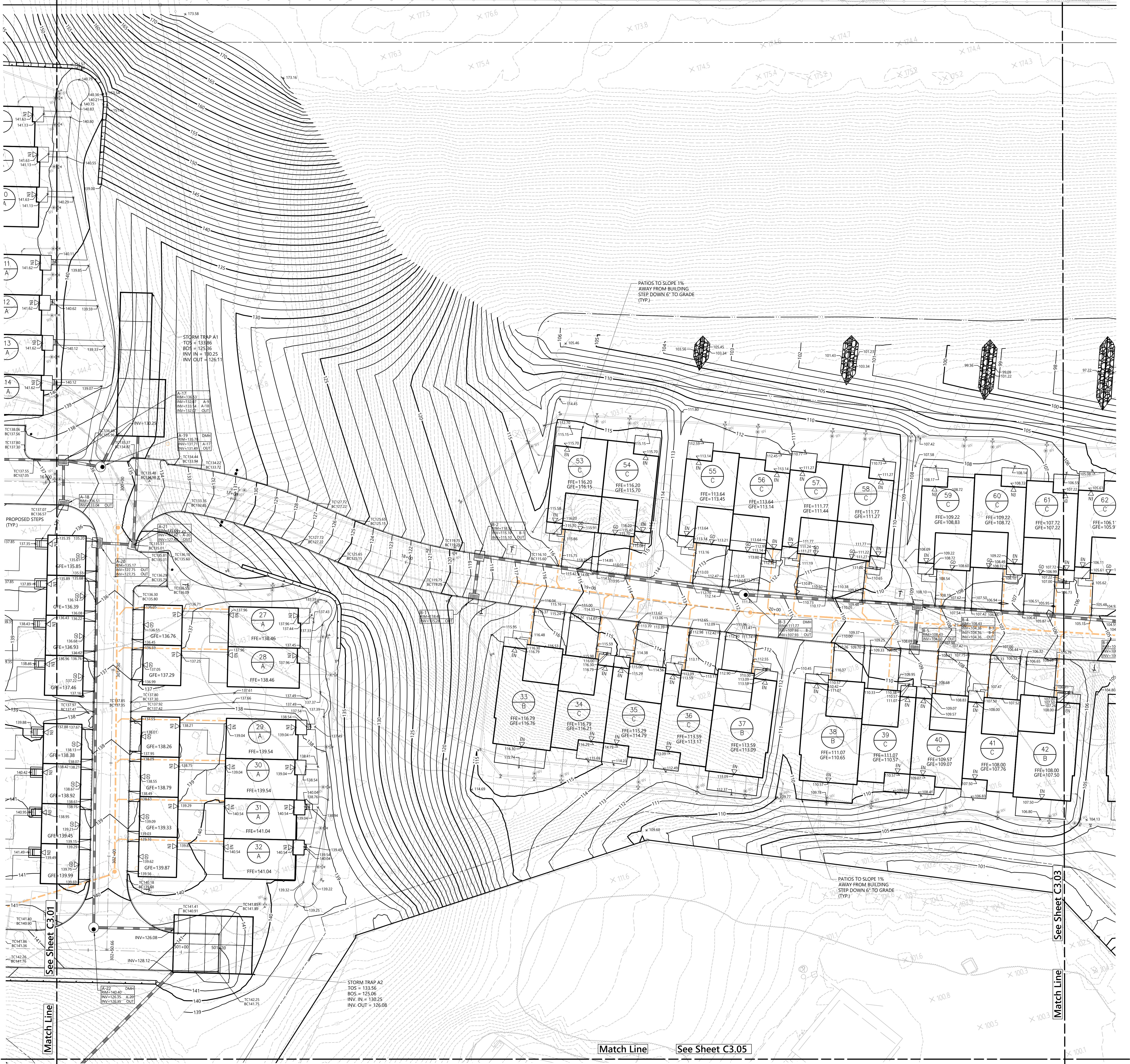
Drawing Number

C3.01

Sheet _____ of _____

9 47





**Orchards on Hudson
Residential**
Dock Road
Marlborough, NY

No.	Revision	Date	App'd.

Designed by: **DB** Checked by: **AL**
Issued for: **Site Plan Approval** Date: **August 9, 2024**

Not Approved for Construction
**Grading and Drainage
Plan**



C3.02

Sheet **10** of **47**

Project Number: **20578.01**





**Orchards on Hudson
Residential**
Dock Road
Marlborough, NY

Rev. Revision Date App'd.

Designed by: DB Checked by: AL
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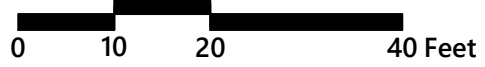
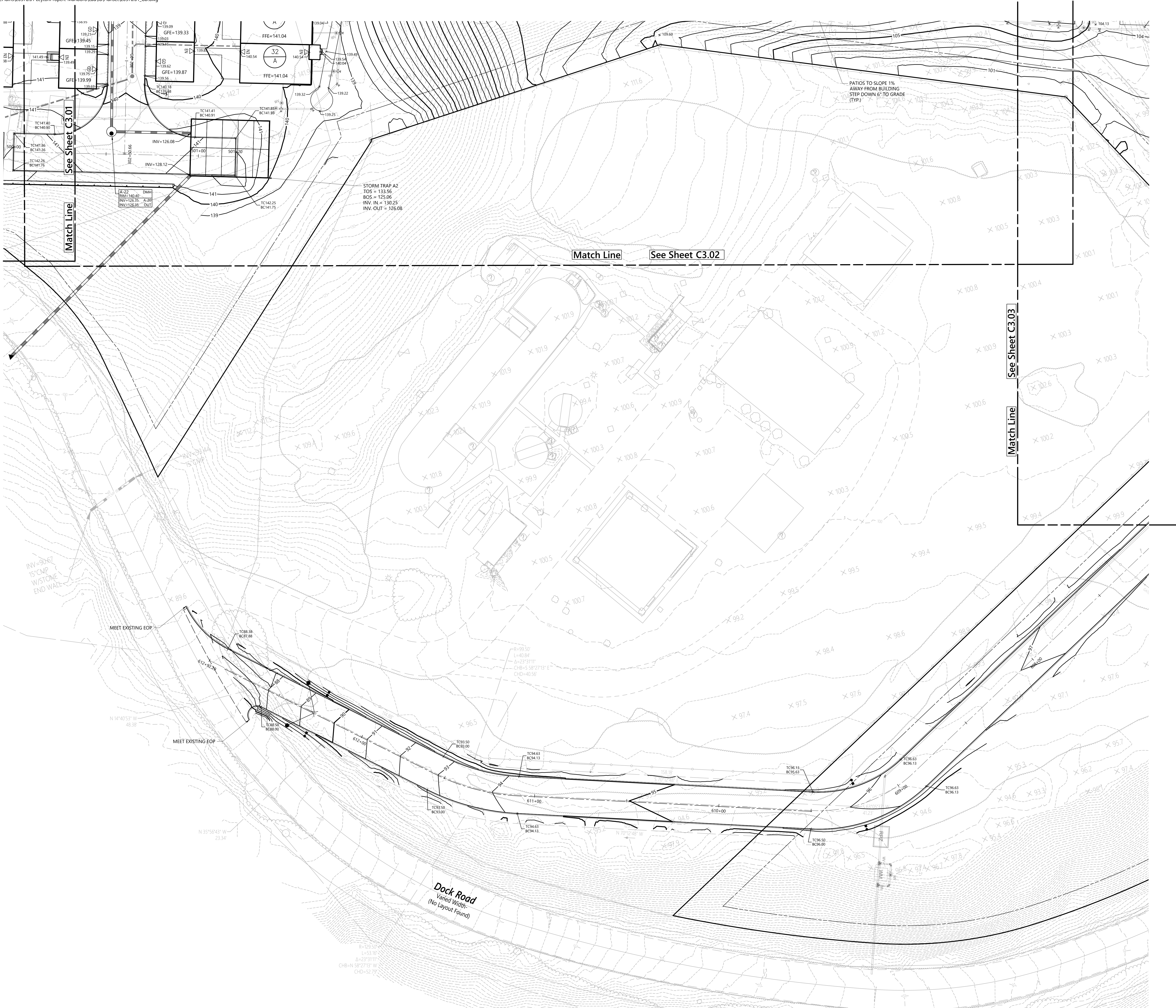
Site Plan Approval August 9, 2024

Not Approved for Construction
Grading and Drainage
Plan

Project Number
C3.04
Sheet 12 of 47



It is a violation of SECTION 2209 of ARTICLE 165 OF THE NEW YORK STATE EDUCATION LAW, BEARS THE SEAL OF A PROFESSIONAL ENGINEER, UNLESS THE PERSON IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER.



**Orchards on Hudson
Residential**
Dock Road
Marlborough, NY

No.	Revision	Date	App'd.
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Site Plan Approval August 9, 2024

Not Approved for Construction
Grading and Drainage
Plan

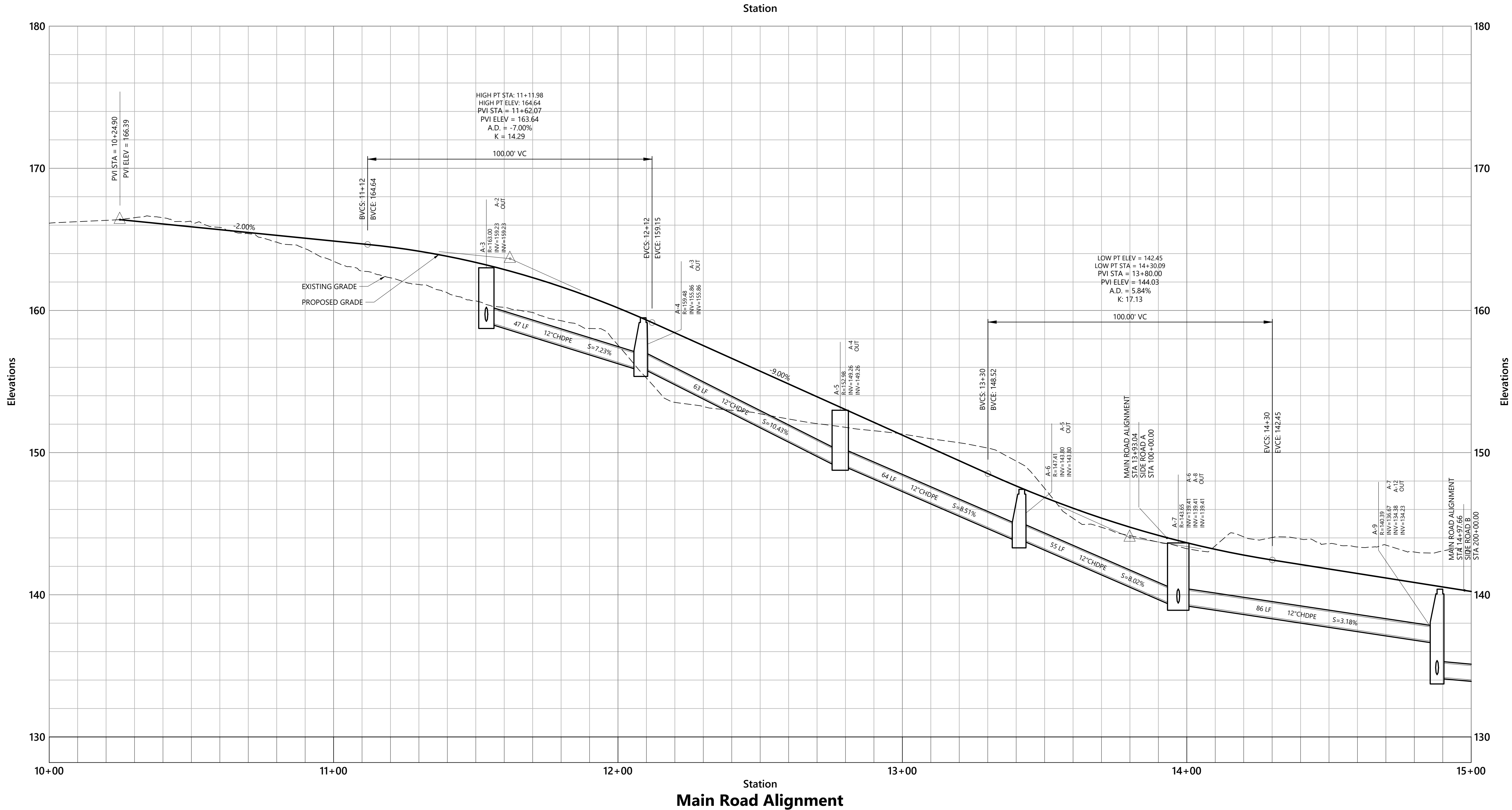
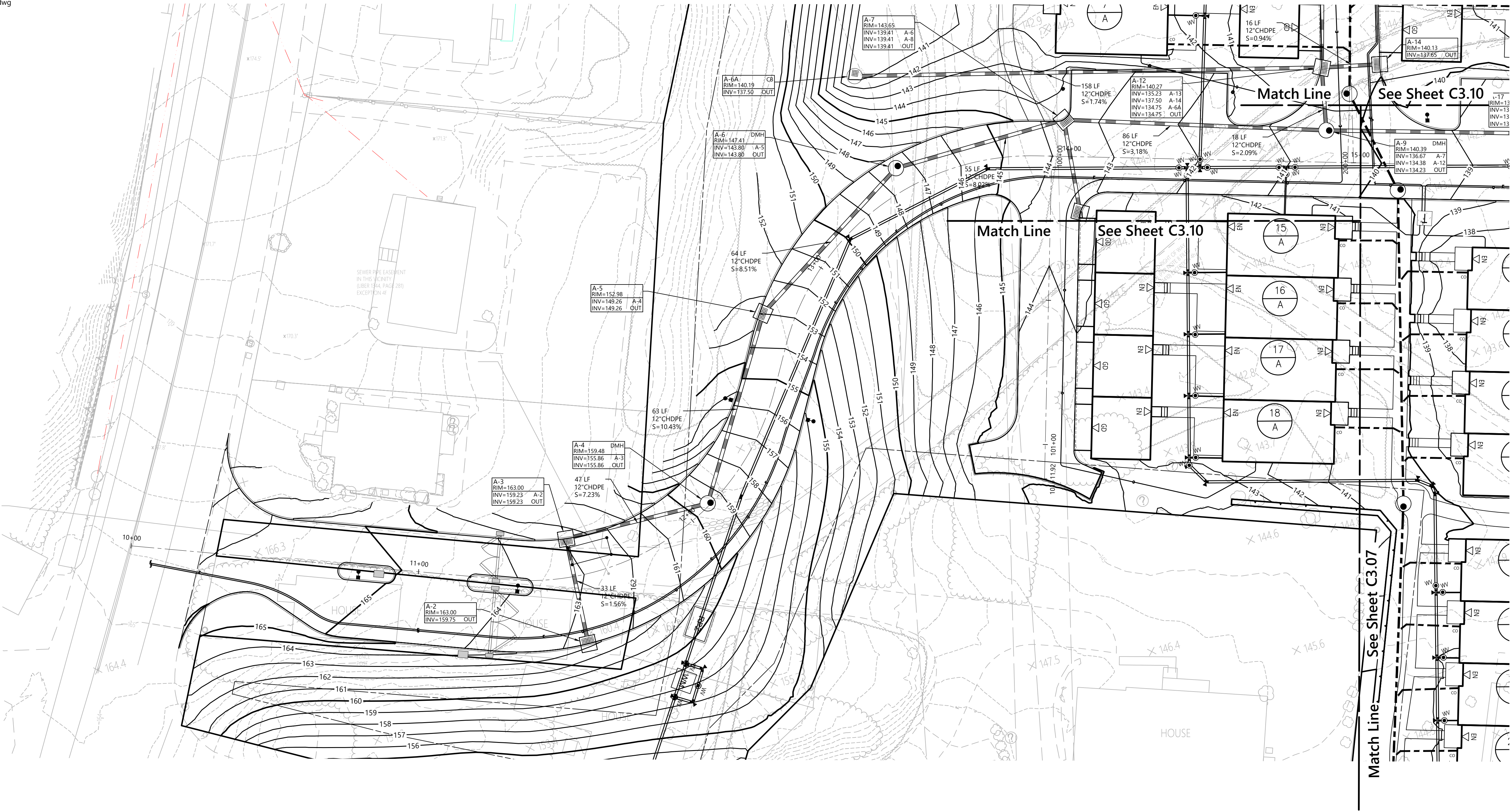


Drawing Number

C3.05

Sheet 13 of 47

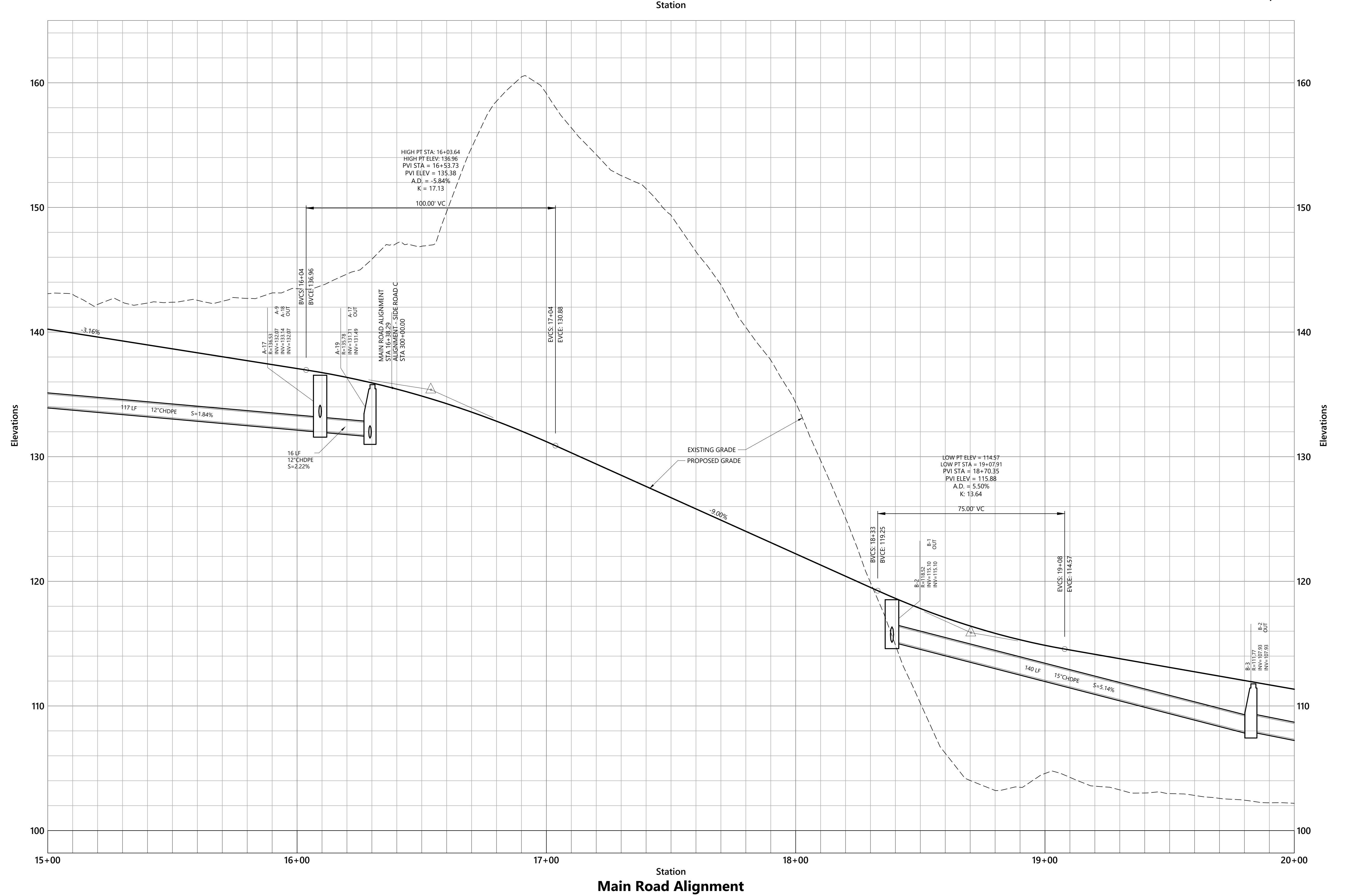
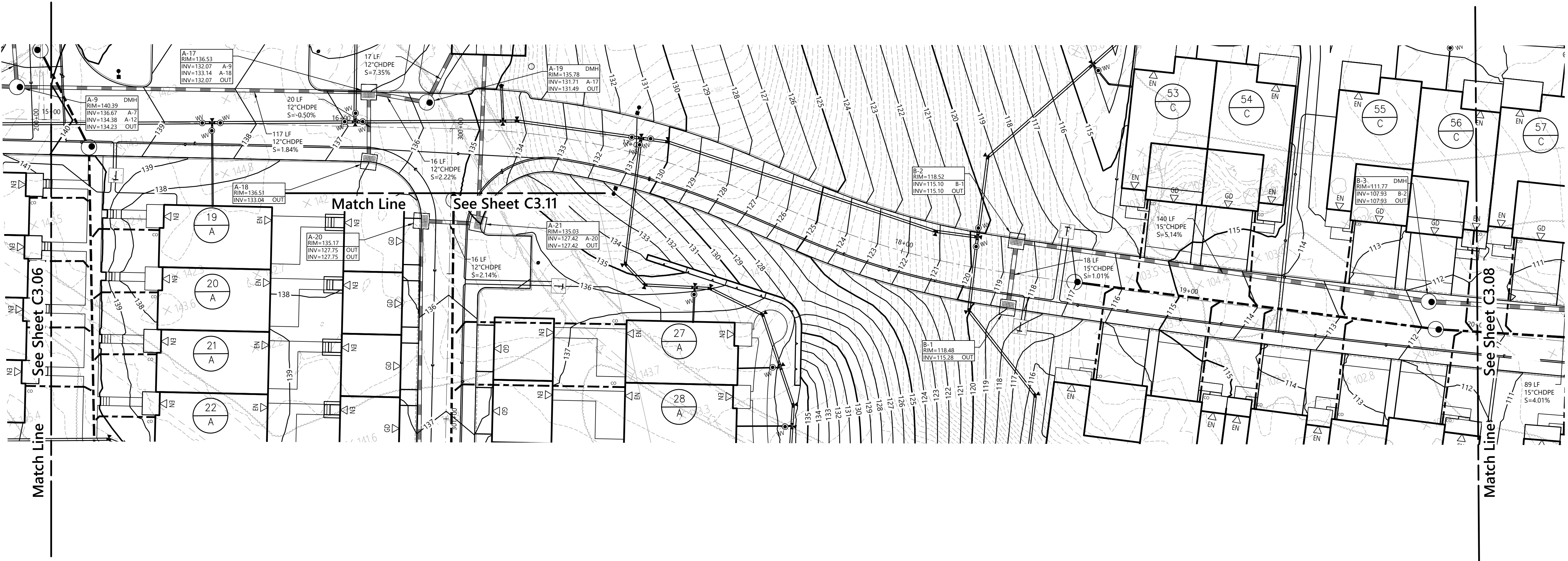
Project Number
20578.01



Rev	Revision	Date	App'd

Designed by: **TC** Checked by: **AL**
Issued for: **Site Plan Approval** Date: **August 9, 2024**

Not Approved for Construction
**Main Road
Plan Over Profile
Station 10+00 to 15+00**



**Leyton Properties
Residences**
Dock Road
Marlborough, NY

Rev	Revision	Date	App'd

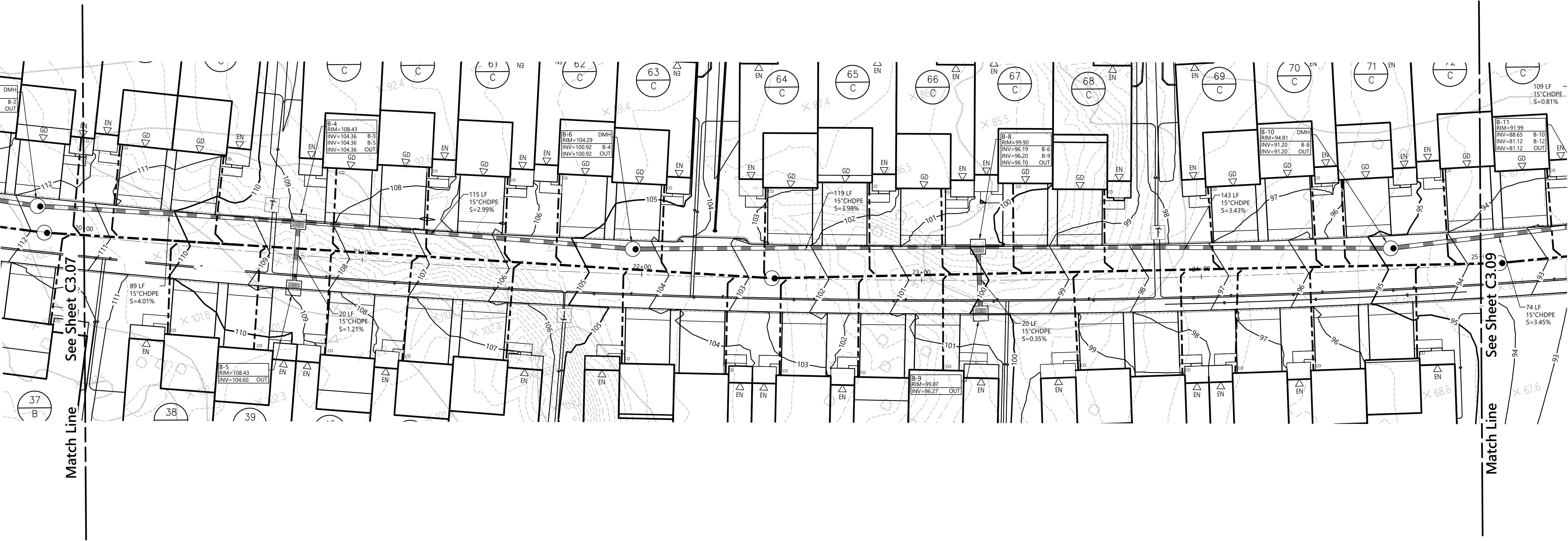
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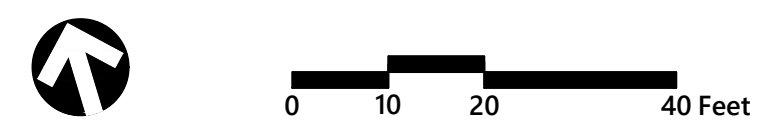
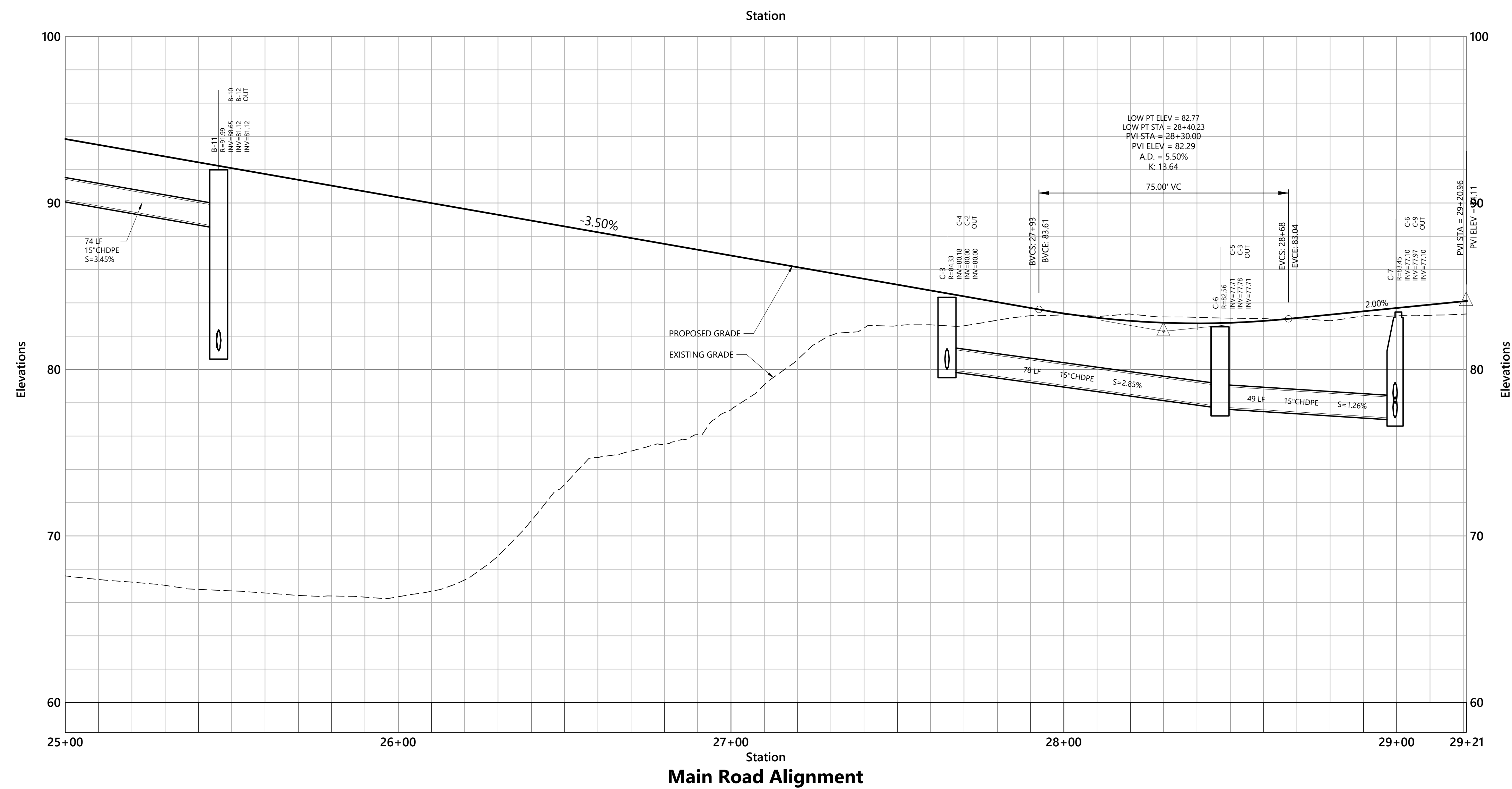
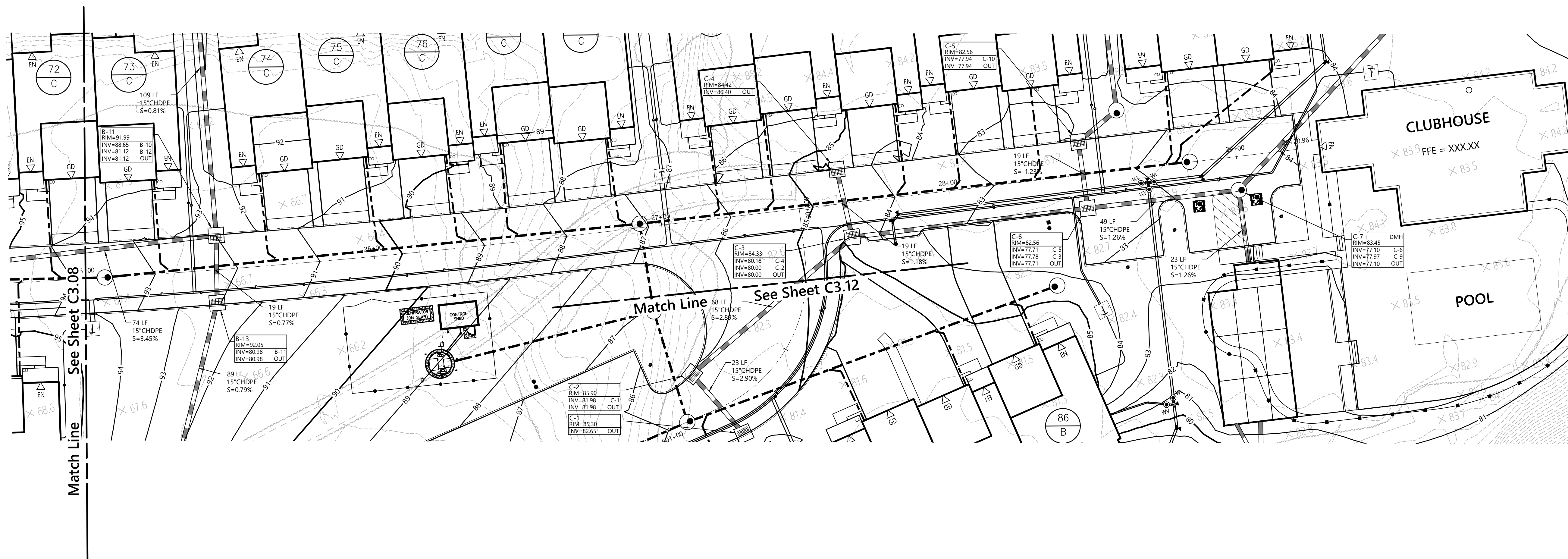
Site Plan Approval

Not Approved for Construction
**Main Road
Plan Over Profile
Station 15+00 to 20+00**

Sheet **C3.07** of 48
Project Number **20578.01**

IT IS A VIOLATION OF SECTION 2209 OF ARTICLE 165 OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON TO SEAL ANY DOCUMENT THAT BEARS THE SEAL OF A PROFESSIONAL ENGINEER, UNLESS THE PERSON IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER.





Leyton Properties
Residences
Dock Road
Marlborough, NY

[illegible]


Designed by	TC	Checked by	AL
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Site Plan Approval August 9, 2024

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Drawing Title

**Main Road
Plan Over Profile
Station 25+00 to 29+21**



Drawing Number

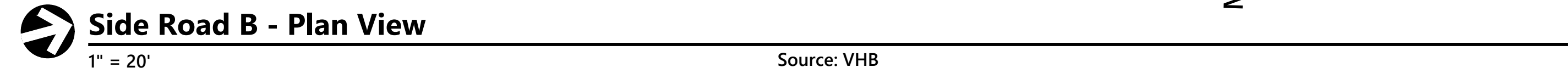
C3.09

Sheet of

17 48

IT IS A VIOLATION OF SECTION 7209 OF ARTICLE 145 OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON TO ALTER ANY INSTRUMENT THAT BEARS THE SEAL OF A PROFESSIONAL ENGINEER, UNLESS THE PERSON IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER.

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20578.01

[illegible]

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Issued for Site Plan Approval	Date August 9, 2024

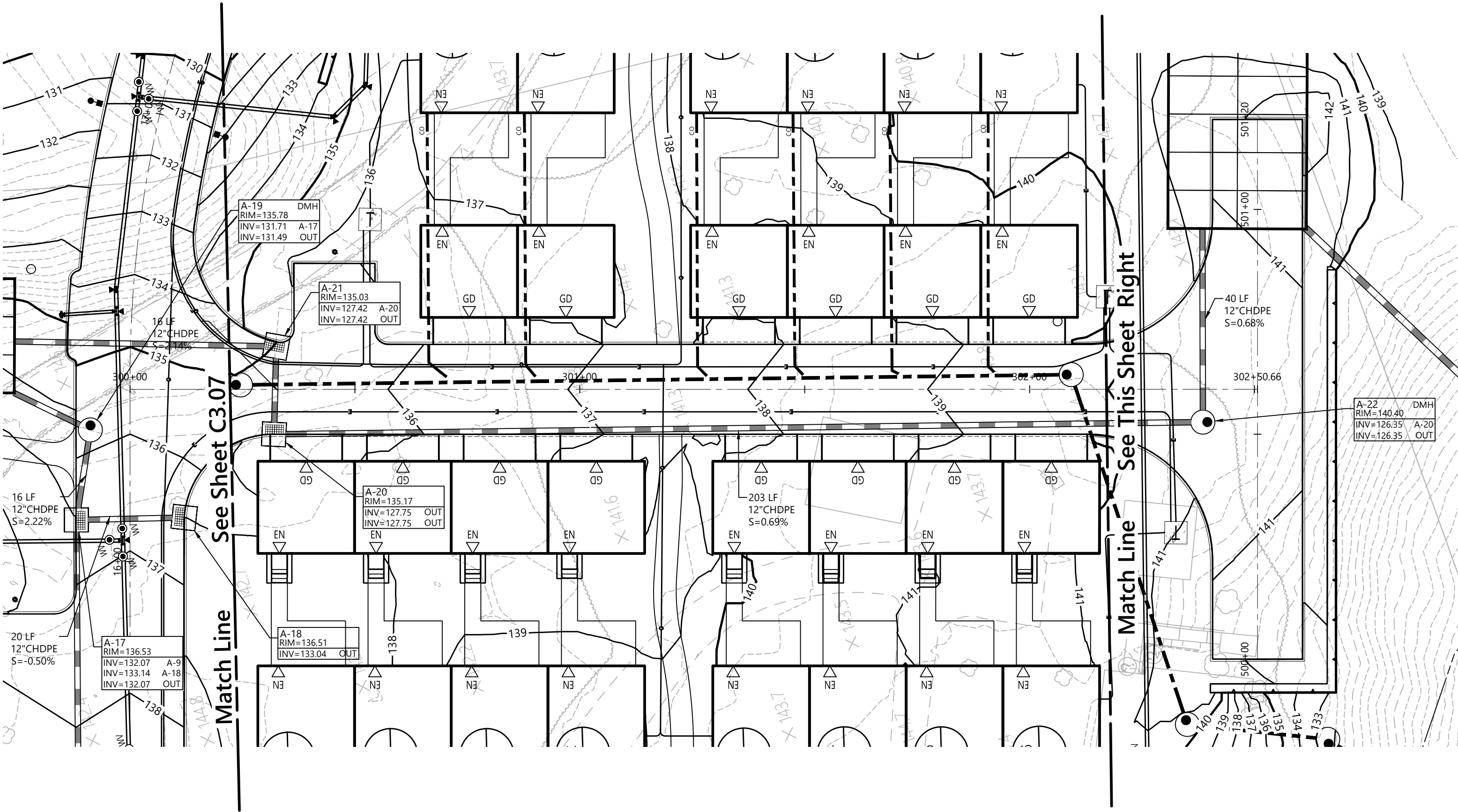
Side Road A and B Plan Over Profile

C3.10

Sheet 18 of 48

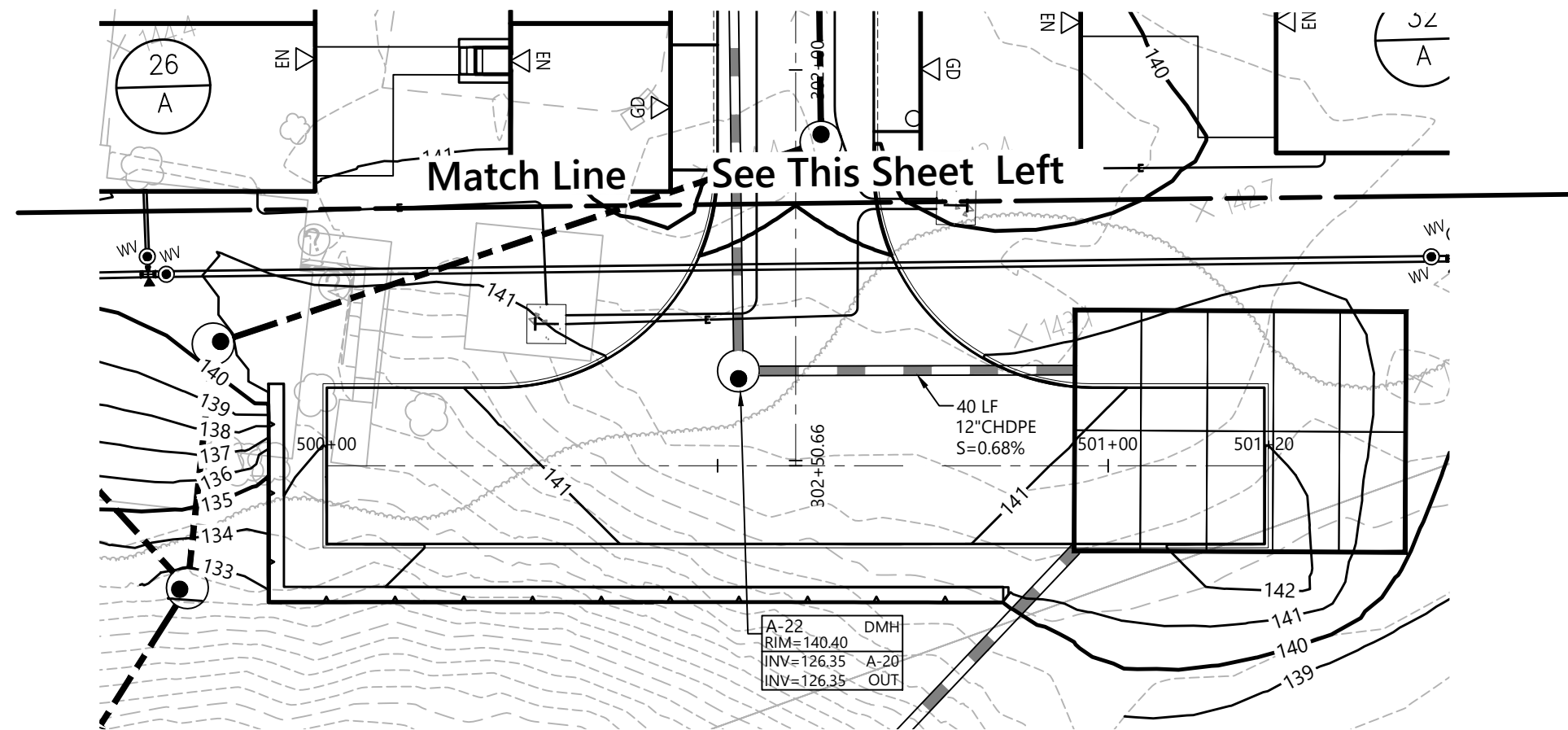
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Project Number
20578.01



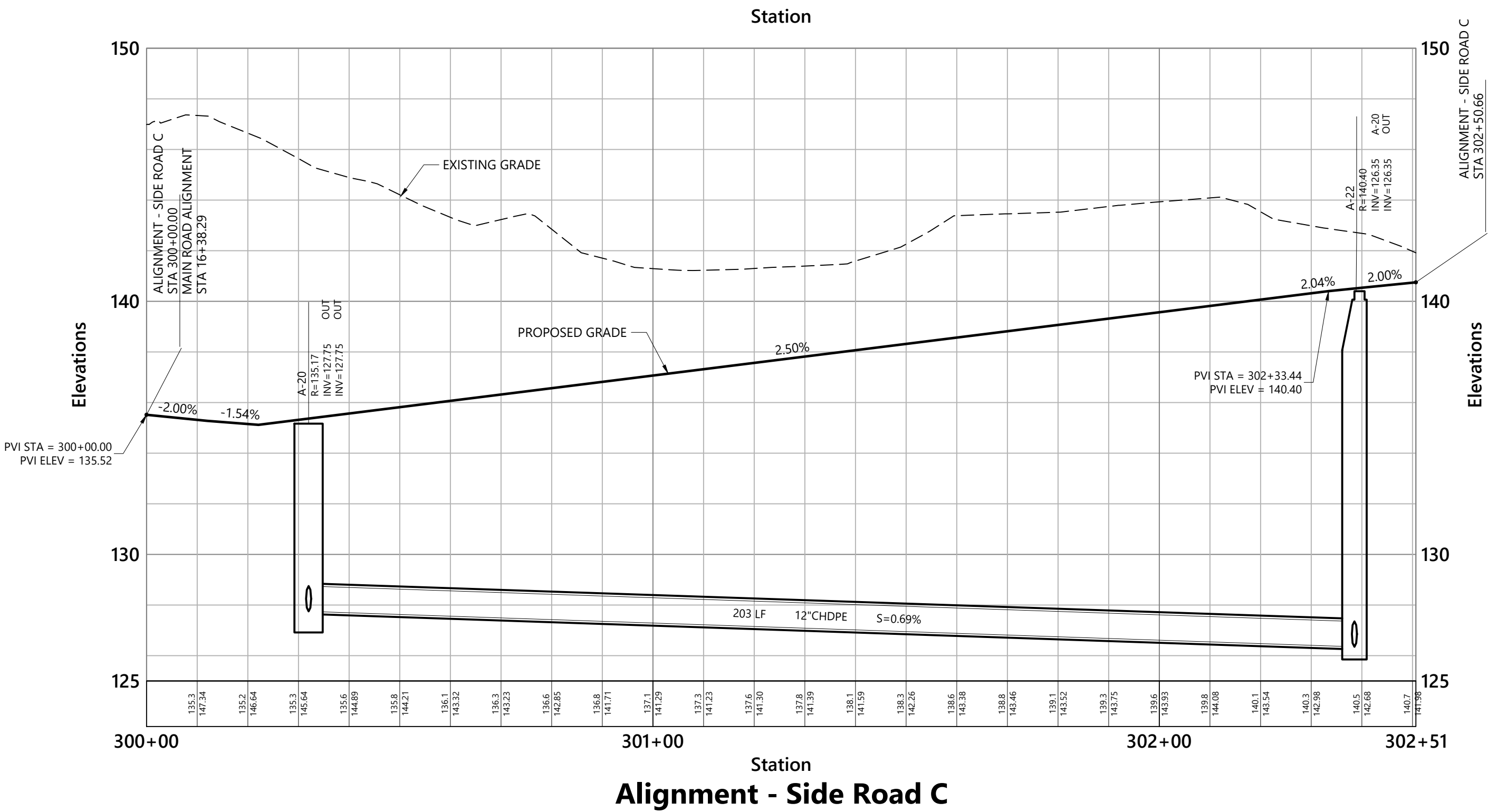
Side Road C - Plan View
1" = 20'

Source: VHB

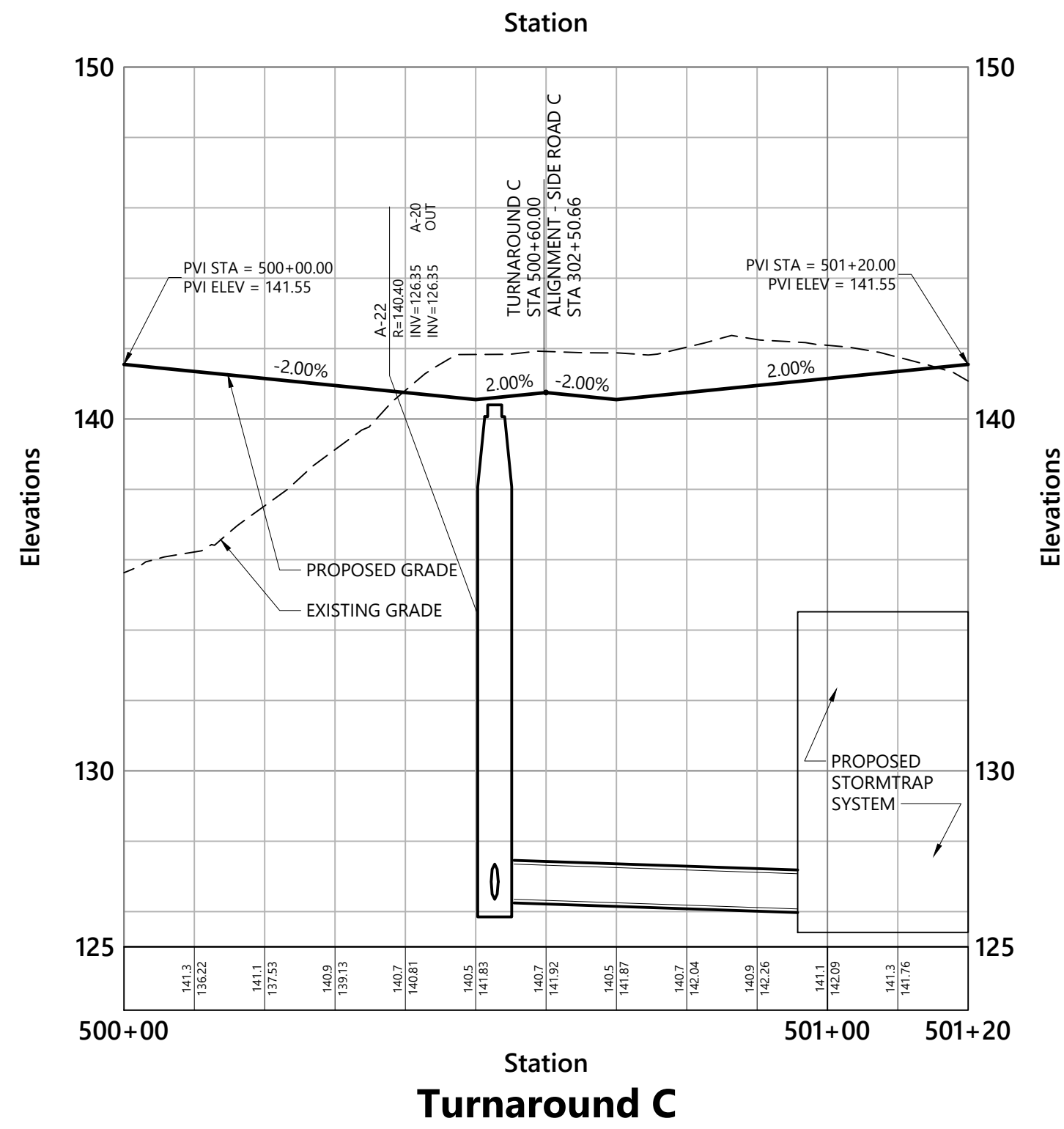


Turnaround C - Plan View
1" = 20'

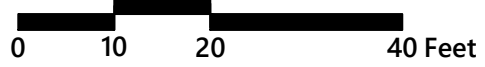
Source: VHB



Alignment - Side Road C



Turnaround C



**Leyton Properties
Residences**
Dock Road
Marlborough, NY

No.	Revision	Date	App'd.
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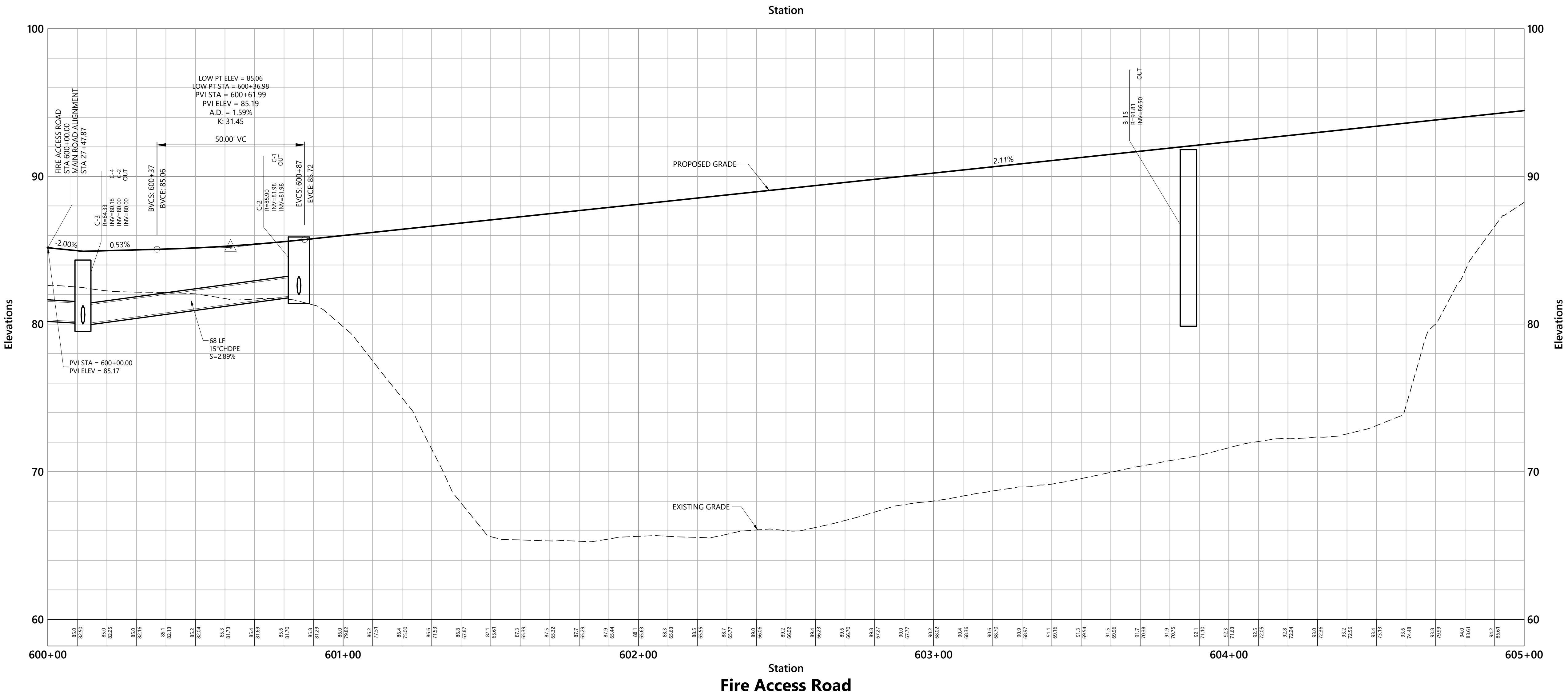
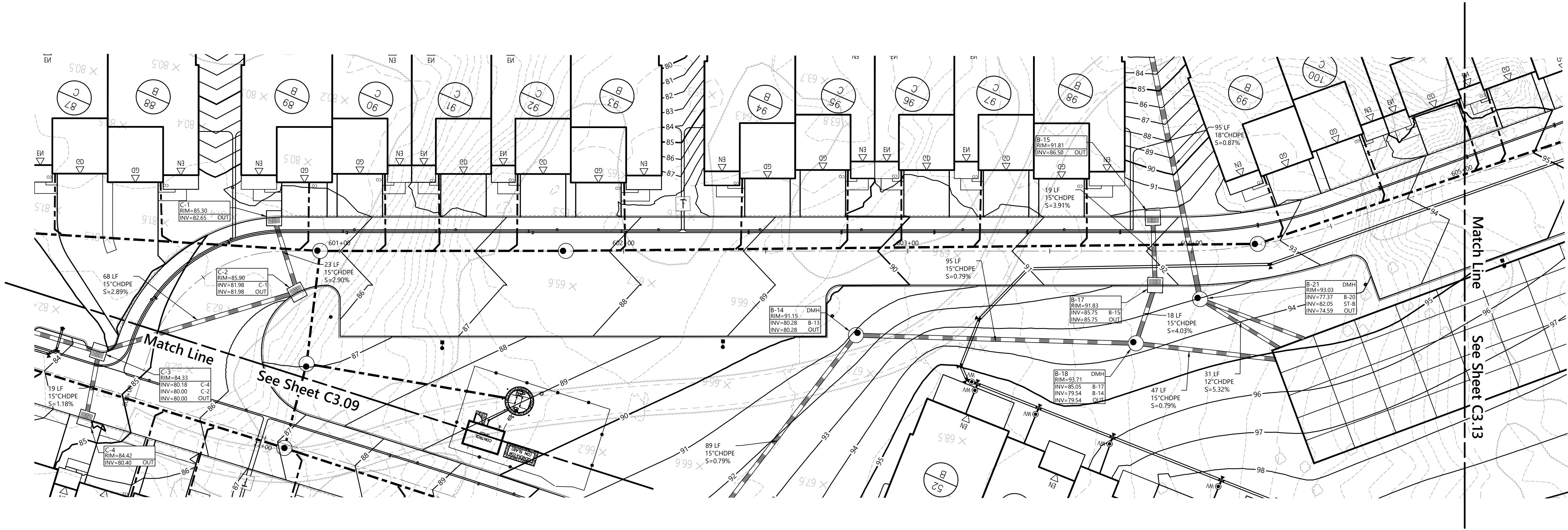
Not Approved for Construction
Side Road C
Plan Over Profile

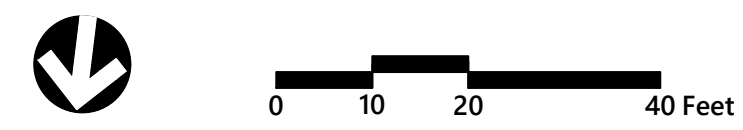
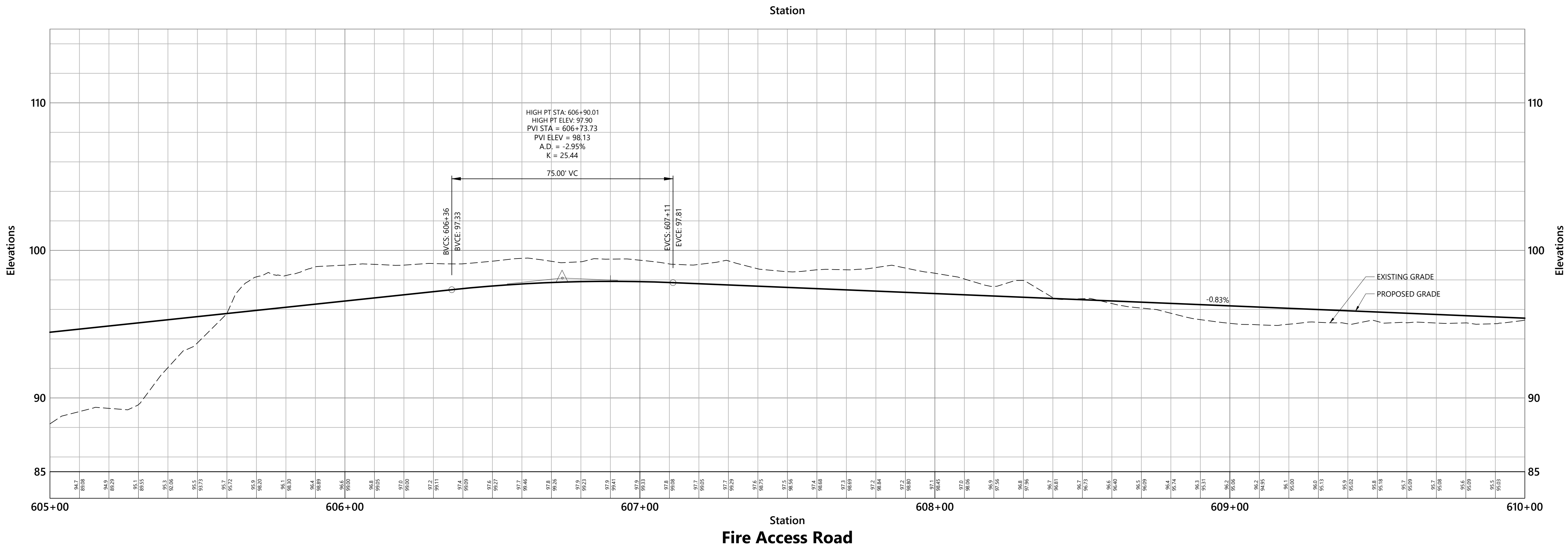
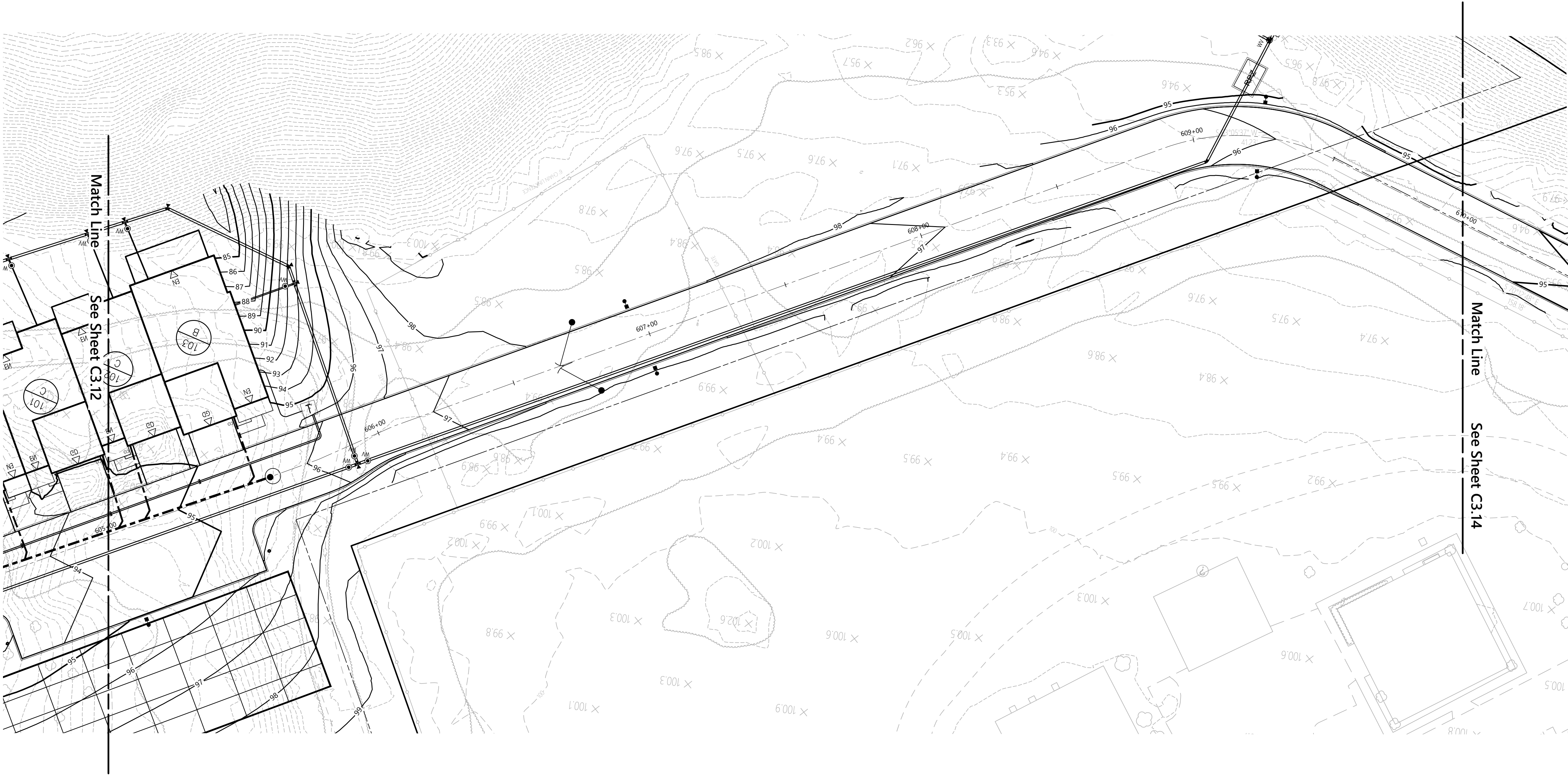
Drawing Number

C3.11

Sheet 19 of 48

Project Number
20578.01





Leyton Properties
Residences
Dock Road
Marlborough, NY

No. Revision Date Approval

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Issued for Date

Site Plan Approval August 9, 2024

Not Approved for Construction

Drawing Title

Fire Access Road

Plan Over Profile

Station 605+00 to 610+00

Drawing Title

Fire Access Road

Plan Over Profile

Station 605+00 to 610+00

Drawing Title

Fire Access Road

Plan Over Profile

Station 605+00 to 610+00

Drawing Title

Fire Access Road

Plan Over Profile

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Fire Access Road

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Station 605+00 to 610+00

Drawing Title

Fire Access Road

Plan Over Profile

Station 605+00 to 610+00

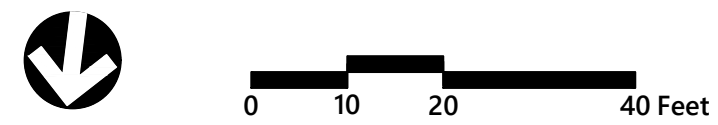
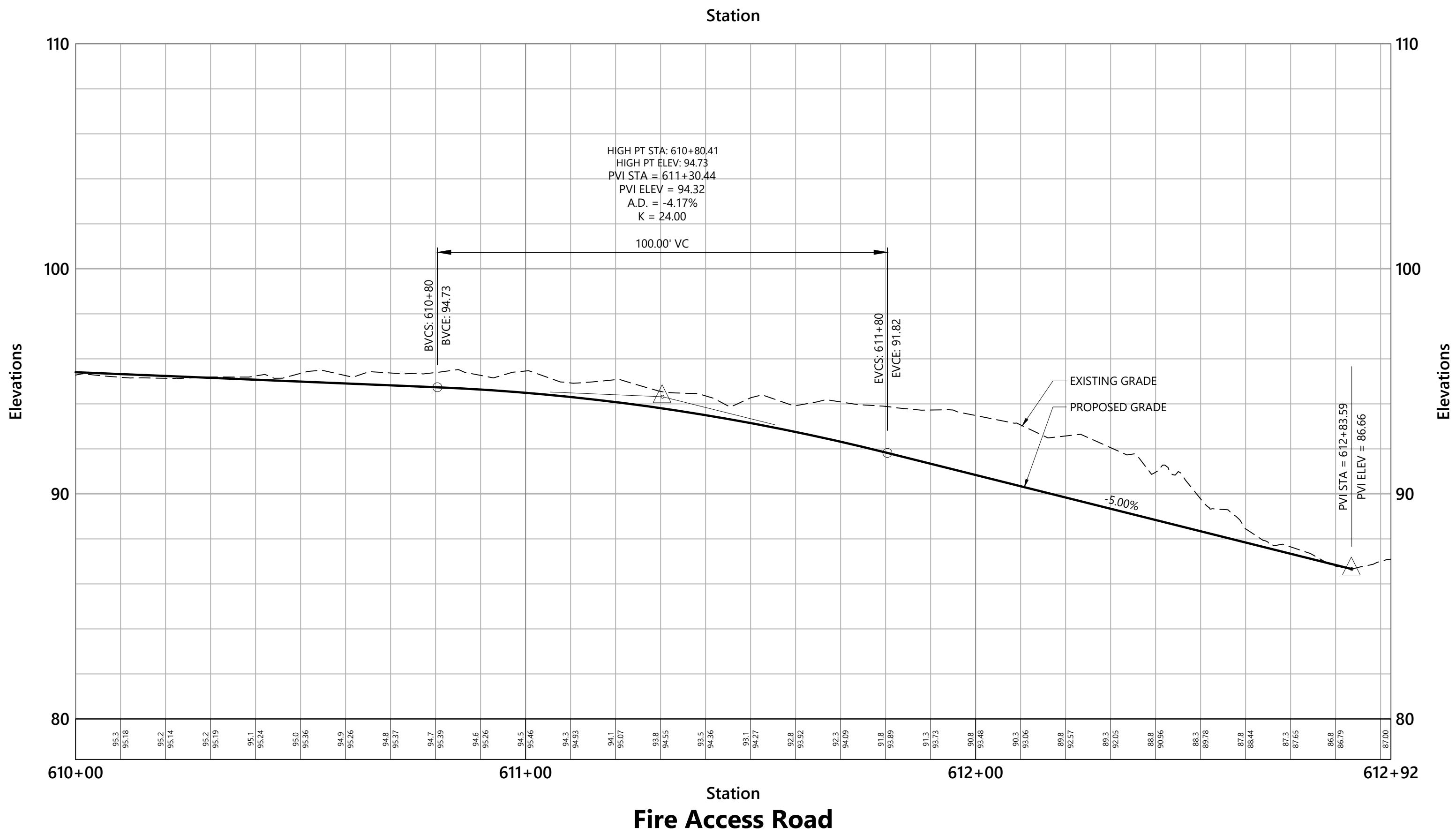
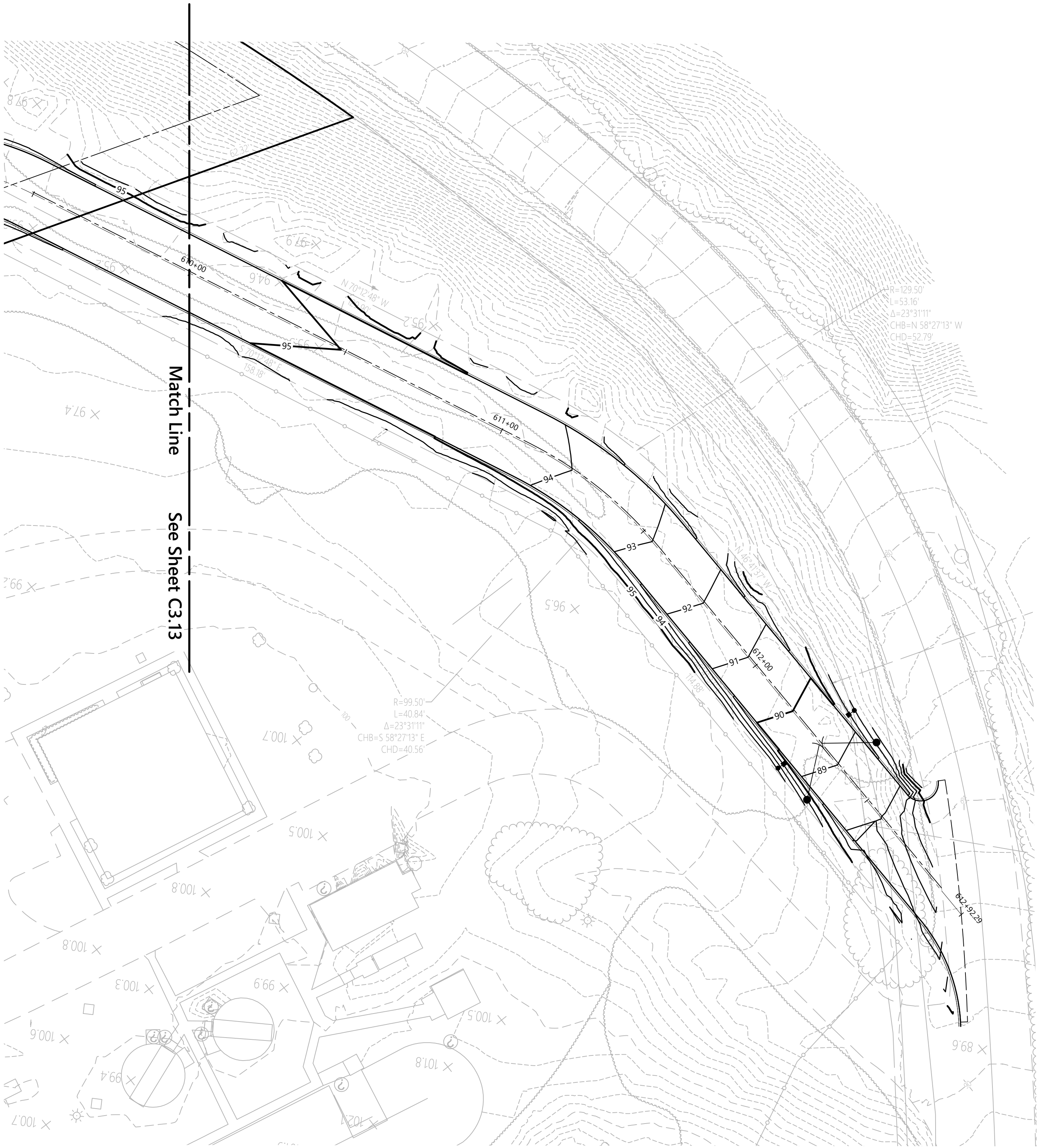


C3.13

Sheet 21 of 48

It is a violation of SECTION 2209 of ARTICLE 145 OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON TO ALLOW ANY DOCUMENT THAT BEARS THE SEAL OF A PROFESSIONAL ENGINEER, UNLESS THE PERSON IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER.

Project Number
20578.01



**Leyton Properties
Residences**
Dock Road
Marlborough, NY

No.	Revision	Date	App'd.
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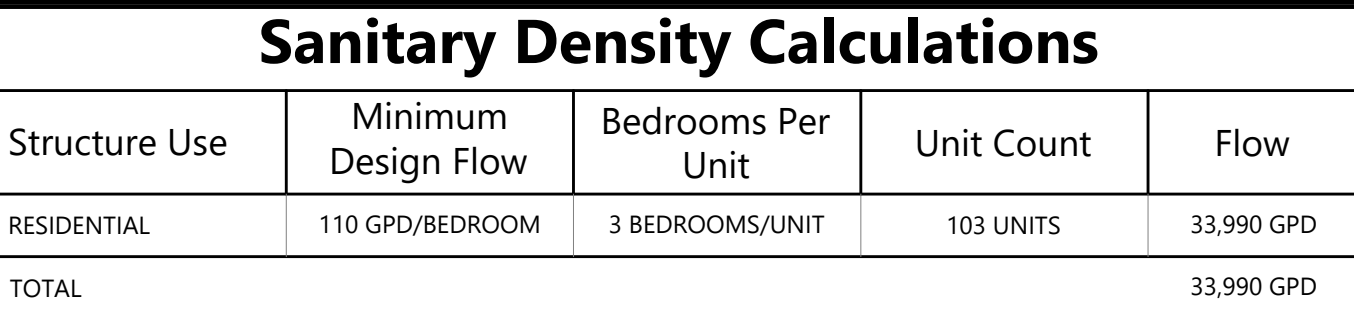
Site Plan Approval August 9, 2024

Not Approved for Construction

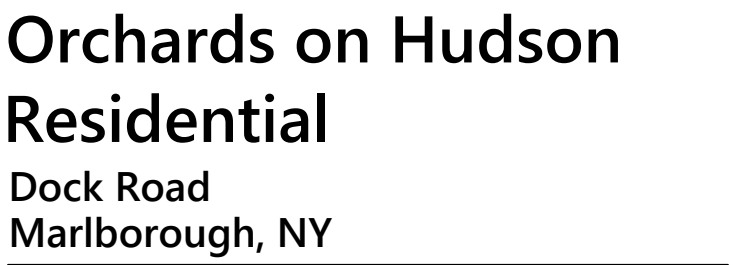
Drawing Title
**Fire Access Road
Plan Over Profile
Station 610+00 to 612+92**

Sheet **22** of **48**

Project Number
20578.01



1. ALL DRAINAGE PIPE TO BE 15" UNLESS OTHERWISE NOTED ON PLAN.
2. ALL SANITARY PIPE TO BE 8" UNLESS OTHERWISE NOTED ON PLAN. DOMESTIC HOUSE SERVICE LINES ARE 2" AND FIRE SERVICE LINES ARE 4".
3. TRANSFORMER LOCATIONS AS WELL AS ELECTRIC AND GAS SERVICES TO BE COORDINATED WITH CENTRAL HUDSON GAS & ELECTRIC.
4. ALL WATER AND SANITARY DESIGN SUBJECT TO APPROVAL BY TOWN OF MALBORO DEPARTMENT OF HEALTH SERVICES/WATER DEPARTMENT AND SHALL MEET ALL OF THE REQUIREMENTS OF THE SAME.
5. ALL SANITARY PIPES SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED:
 - MINIMUM 2 FEET OF CAST IRON PIPE FROM THE FOUNDATION WALL.
 - ALL SANITARY HOUSE CONNECTIONS TO BE 6" DR-18 WITH MINIMUM SLOPE OF 2%.
 - SANITARY MAINS TO BE MINIMUM 8" DR-18 PVC.
6. THERE SHALL BE A MINIMUM SEPARATION OF 10 FEET BETWEEN SANITARY LINES AND WATER/DRAINAGE LINES.
7. WATER AND SEWER CROSSINGS SHALL MAINTAIN MINIMUM 18 INCHES VERTICAL SEPARATION.



No.	Revision	Date	Appvd.
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Site Plan Approval August 9, 2024

Not Approved for Construction

Utility Plan

C4.00

23 of 47

20578.01



Orchards on Hudson Residential
Dock Road
Marlborough, NY

No.	Revision	Date	Appr'd.

Designed by: **DB** Checked by: **AL**
Issued for: Date: August 9, 2024

Site Plan Approval

Not Approved for Construction
Overall Utility Plan

Drawing Number: **C4.01**
Sheet: **24** of **47**
Project Number: **20578.01**

STATE OF NEW YORK
SEAL OF PROFESSIONAL ENGINEER
August 9, 2024

IT IS A VIOLATION OF SECTION 2209 OF ARTICLE 165 OF THE NEW YORK STATE EDUCATION LAW, BEARS THE SEAL OF A PROFESSIONAL ENGINEER, UNLESS THE PERSON IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER.



Orchards on Hudson Residential
Dock Road
Marlborough, NY

No.	Revision	Date	App'd.

Designed by: **DB** Checked by: **AL**
Issued for: **Site Plan Approval** Date: **August 9, 2024**

Not Approved for Construction
Utility Plan

Drawing Number: **C4.02**
Sheet: **25** of **47**
Project Number: **20578.01**

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0102040
0 10 20 40 Feet

Orchards on Hudson
Residential

Dock Road
Marlborough, NY

No.	Revision	Date	App'd.

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Site Plan Approval

August 9, 2024

Not Approved for Construction

Utility Plan



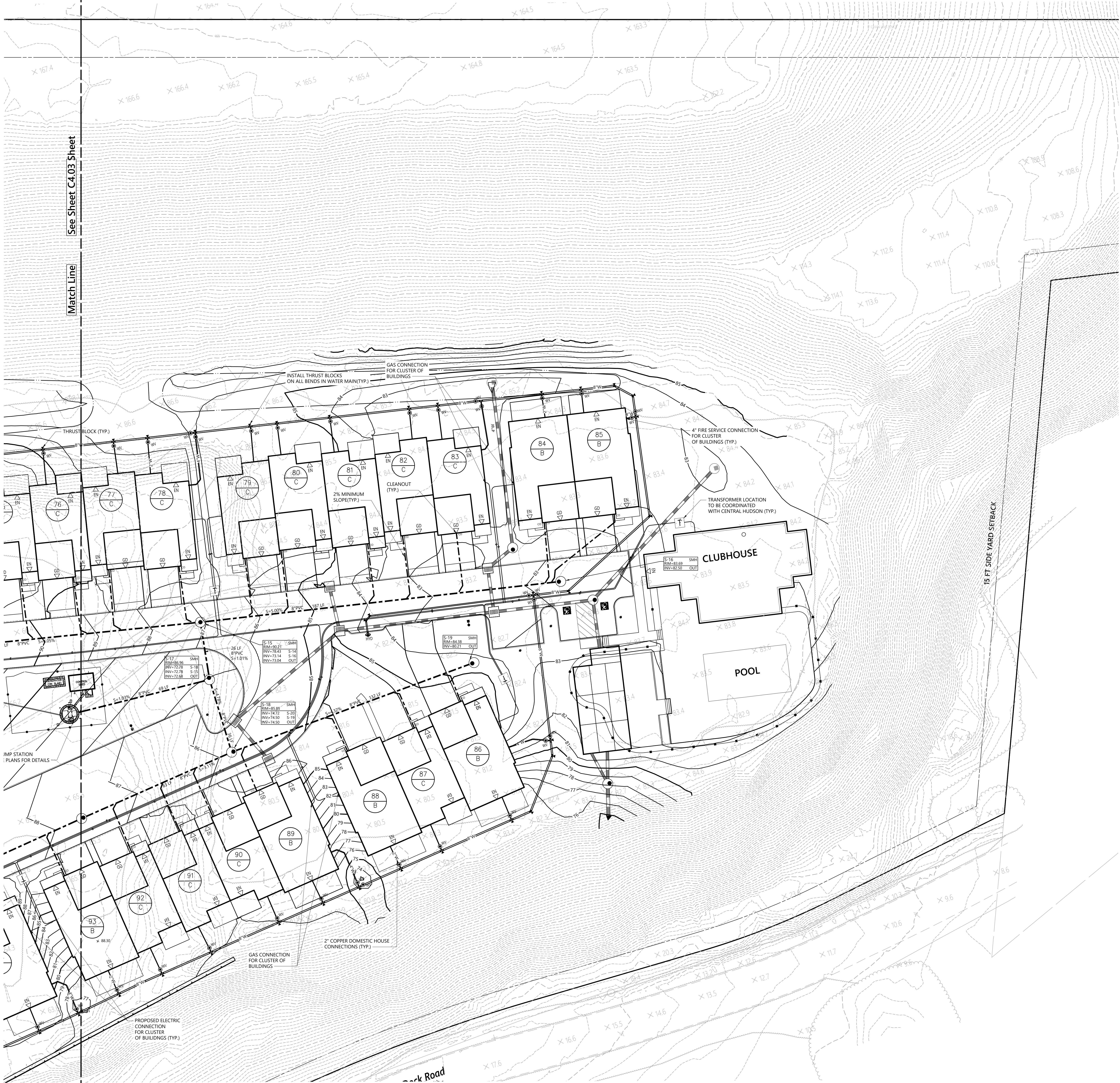
STATE OF NEW YORK
08/16
086176
PROFESSIONAL ENGINEER

C4.03

Sheet 26 of 47

Project Number

20578.01



**Orchards on Hudson
Residential**
Dock Road
Marlborough, NY

No. Revision Date Appd.

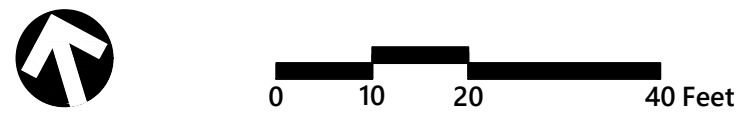
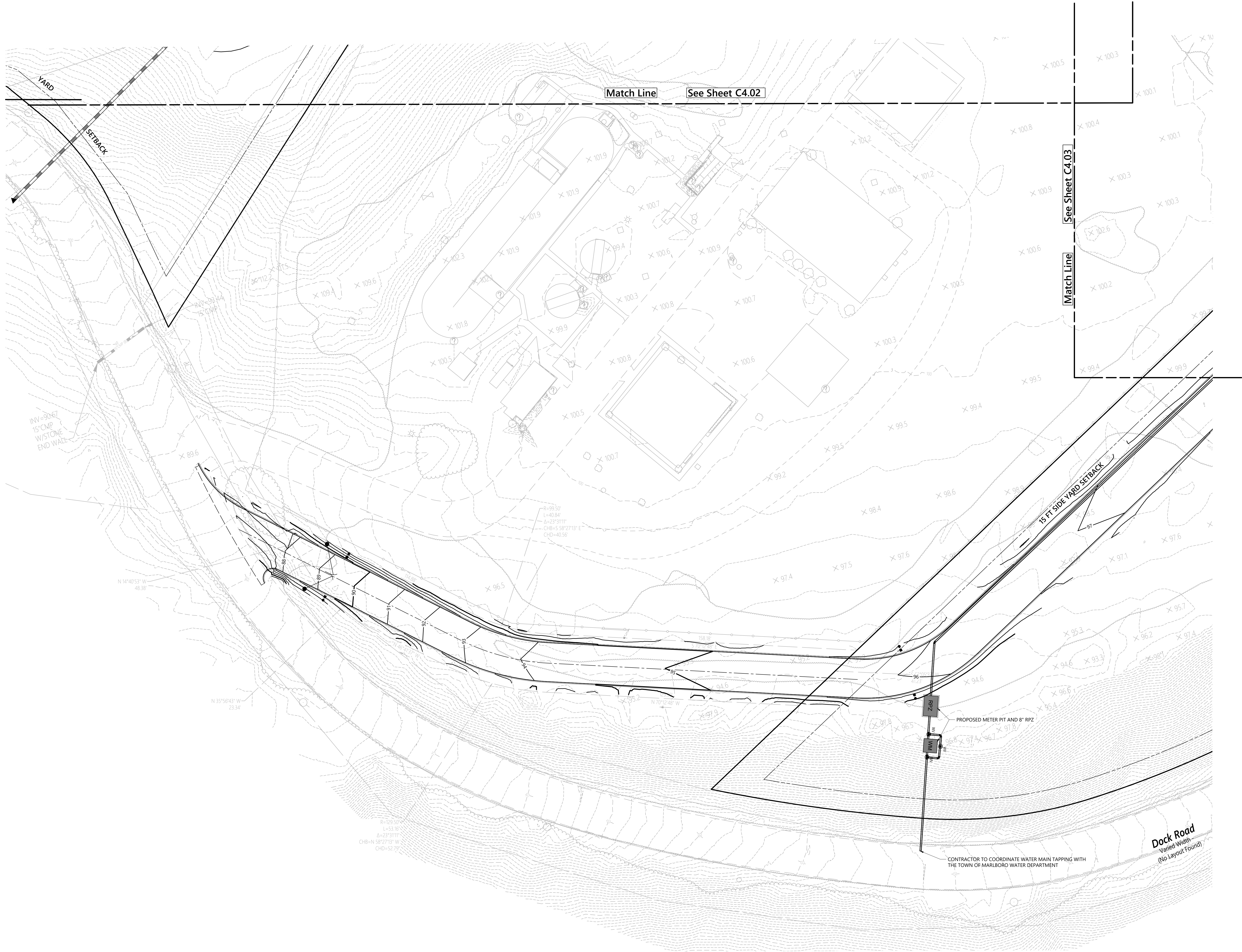
Designed by: DB Checked by: AL
Issued for: Date:

Site Plan Approval August 9, 2024

Not Approved for Construction

Utility Plan

STATE OF NEW YORK
Professional Engineer
C4.04
Sheet 27 of 47
Project Number 20578.01



**Orchards on Hudson
Residential**
Dock Road
Marlborough, NY

No.	Revision	Date	App'd.

Designed by	DB	Checked by	AL
Issued for		Date	August 9, 2024

Site Plan Approval

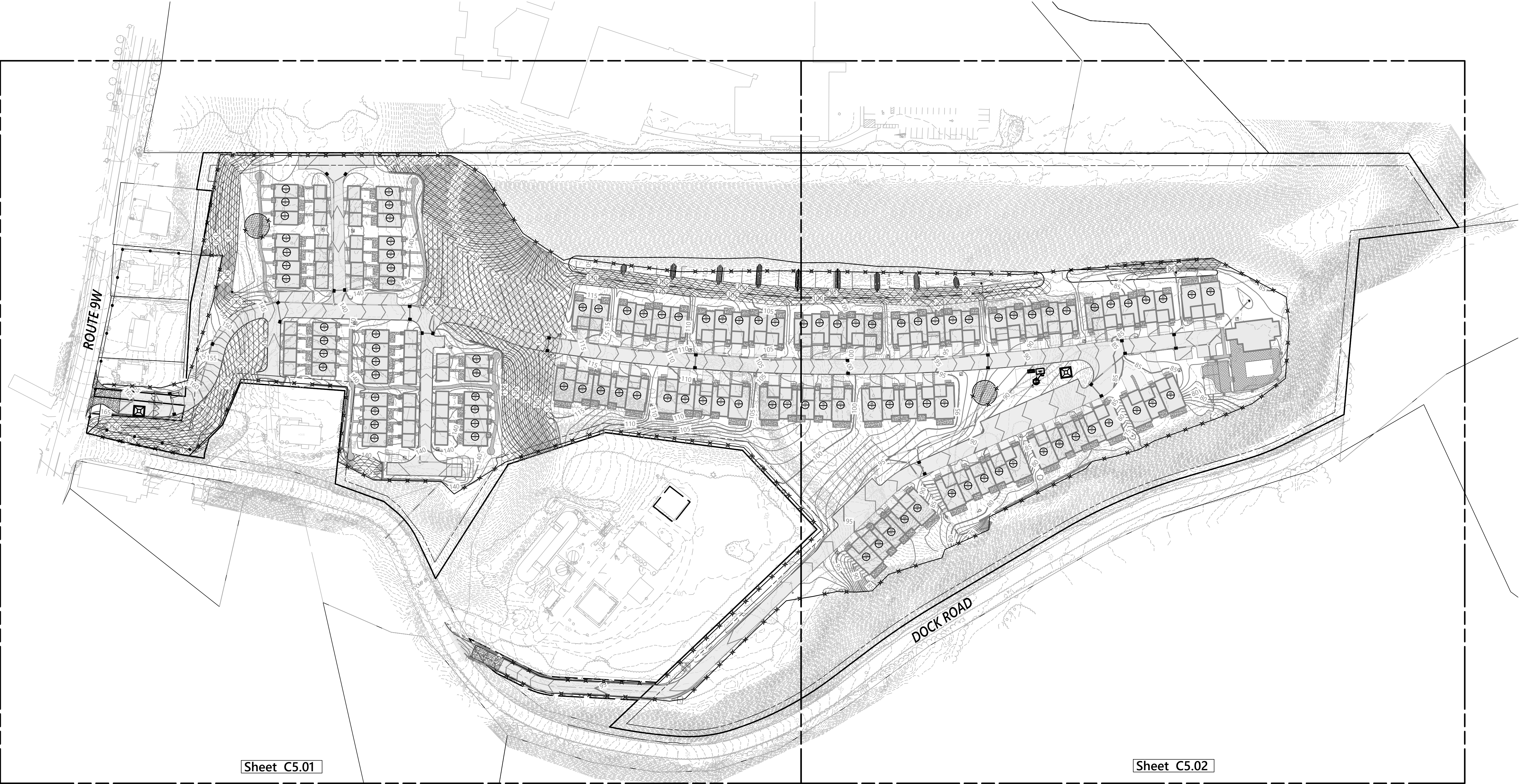
Not Approved for Construction

Utility Plan

Drawing Number

C4.05
Sheet 28 of 47

Project Number
20578.01



Erosion Control Notes

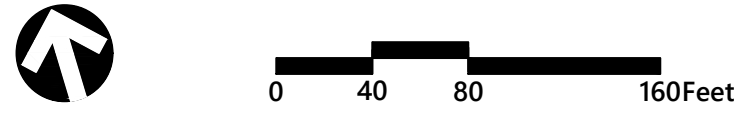
- PRIOR TO STARTING WORK ON THE SITE, INCLUDING DEMOLITION, CONTRACTOR SHALL NOTIFY THE APPROPRIATE AGENCIES AND INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE PLANS AND AS REQUIRED BY STATE & LOCAL AGENCIES. ACTUAL EROSION CONTROL MEASURES WILL BE DICTATED BY FIELD CONDITIONS AS CONSTRUCTION PROGRESSES. EROSION CONTROL MEASURES TO BE ADJUSTED AS CONSTRUCTION PROGRESSES AS NECESSARY TO ENSURE THAT SEDIMENT IS TRAPPED ON-SITE.
- SPECIFIC METHODS AND MATERIALS EMPLOYED IN THE INSTALLATION AND MAINTENANCE OF EROSION CONTROL MEASURES SHALL CONFORM TO "THE NEW YORK GUIDELINES FOR EROSION AND SEDIMENT CONTROL".
- SEDIMENT BARRIERS (SILT FENCE OR APPROVED EQUAL) SHALL BE INSTALLED AS REQUIRED ALONG THE LIMITS OF DISTURBANCE FOR THE DURATION OF THE WORK. NO SEDIMENT FROM THE SITE SHALL BE PERMITTED TO WASH ONTO ADJACENT PROPERTIES, WETLANDS OR ROADS.
- DRAINAGE INLETS INSTALLED AS PART OF THE PROJECT SHALL BE PROTECTED FROM SEDIMENT BUILDUP THROUGH THE USE OF SEDIMENT BARRIERS, SEDIMENT TRAPS, DANDY BAGS, ETC., AS REQUIRED.
- PROPER MAINTENANCE OF EROSION CONTROL MEASURES IS TO BE PERFORMED AS INDICATED BY PERIODIC INSPECTION AND AFTER HEAVY OR PROLONGED STORMS. MAINTENANCE MEASURES INCLUDE, BUT ARE NOT LIMITED TO: CLEANING OF SEDIMENT BASINS AND TRAPS; CLEANING OR REPAIR OF SEDIMENT BARRIERS; CLEANING AND REPAIR OF BERMS AND DIVERSIONS; AND CLEANING AND REPAIR OF INLET PROTECTION.
- APPROPRIATE MEANS SHALL BE USED TO CONTROL DUST DURING CONSTRUCTION.
- A STABILIZED CONSTRUCTION ENTRANCE SHALL BE MAINTAINED TO PREVENT SOIL AND LOOSE DEBRIS FROM BEING TRACKED ONTO LOCAL ROADS. THE CONSTRUCTION ENTRANCE SHALL BE MAINTAINED UNTIL THE SITE IS PERMANENTLY STABILIZED.
- SEDIMENT BARRIERS AND OTHER CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL DISTURBED AREAS ARE PERMANENTLY STABILIZED. AFTER PERMANENT STABILIZATION, PAVED AREAS SHALL BE CLEANED AND DRAINAGE SYSTEMS CLEANED AND FLUSHED AS NECESSARY.
- LOCATION AND EXTENT OF EROSION & SEDIMENT CONTROL MEASURES TO BE ADJUSTED AS NECESSARY DURING THE COURSE OF CONSTRUCTION AS CONSTRUCTION PROGRESS AND FIELD CONDITIONS DICTATE.
- CONCRETE WASHOUT SHALL BE LOCATED A MINIMUM OF 50 FT FROM ANY DRAINAGE INLET OR CONCENTRATED FLOW. ONCE CONCRETE WASTE HAS BEEN WASHED IN THE WASHOUT AREA AND ALLOWED TO HARDEN, THE CONCRETE SHALL BE BROKEN UP AND REMOVED FROM THE SITE. CONTRACTOR SHALL REMOVE WASHED OUT CONCRETE ON A REGULAR BASIS. PLASTIC LINING SHALL BE A MINIMUM OF 10 MIL POLYETHYLENE SHEETING AND SHALL BE FREE OF HOLES AND TEARS AND ALL OTHER DEFECTS THAT MAY COMPROMISE THE INTEGRITY OF THE LINER. CONCRETE WASHOUT FACILITIES SHALL BE CLEANED OUT ONCE 75% CAPACITY IS REACHED. STRAW BALES MAY BE SUBSTITUTED WITH ALTERNATE SECURING MEASURES SUCH AS CONCRETE BLOCKS.

Concrete Washout Note

- CONCRETE WASHOUT SHALL BE LOCATED A MINIMUM OF 50 FT FROM ANY DRAINAGE INLET OR CONCENTRATED FLOW. ONCE CONCRETE WASTE HAS BEEN WASHED IN THE WASHOUT AREA AND ALLOWED TO HARDEN, THE CONCRETE SHALL BE BROKEN UP AND REMOVED FROM THE SITE. CONTRACTOR SHALL REMOVE WASHED OUT CONCRETE ON A REGULAR BASIS. PLASTIC LINING SHALL BE A MINIMUM OF 10 MIL POLYETHYLENE SHEETING AND SHALL BE FREE OF HOLES AND TEARS AND ALL OTHER DEFECTS THAT MAY COMPROMISE THE INTEGRITY OF THE LINER. CONCRETE WASHOUT FACILITIES SHALL BE CLEANED OUT ONCE 75% CAPACITY IS REACHED. STRAW BALES MAY BE SUBSTITUTED WITH ALTERNATE SECURING MEASURES SUCH AS CONCRETE BLOCKS.

Dandy Bag Notes

- INSTALLATION AND MAINTENANCE GUIDELINES (SEE DETAIL)
- INSTALLATION:
EMPTY DANDY BAG SHOULD BE PLACED OVER THE GRATE AS THE GRATE STANDS ON END. IF USING OPTIONAL OIL ABSORBENTS, PLACE ABSORBENT PILLOW IN POUCH ON BOTTOM OF THE UNIT. ATTACH ABSORBENT PILLOW TO TETHER LOOP. HOLDING THE LIFTING DEVICE (DO NOT RELY ON LIFTING DEVICE TO SUPPORT ENTIRE WEIGHT OF GRATE); PLACE THE GRATE INTO ITS FRAME.
 - MAINTENANCE:
REMOVE ALL ACCUMULATED SEDIMENT AND DEBRIS FROM THE SURFACE AND VICINITY OF THE UNIT AFTER EACH STORM EVENT. REMOVE THE SEDIMENT THAT HAS ACCUMULATED WITHIN THE CONTAINMENT AREA OF THE DANDY BAG AS NEEDED. IF USING OPTIONAL OIL ABSORBENTS, REMOVE AND REPLACE ABSORBENT PILLOW WHEN NEAR SATURATION.



**Leyton Properties
Residences**
Dock Road
Marlborough, NY

No.	Revision	Date	App'd.
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Site Plan Approval August 9, 2024

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Drawing Title

**Overall Erosion and
Control Plan**

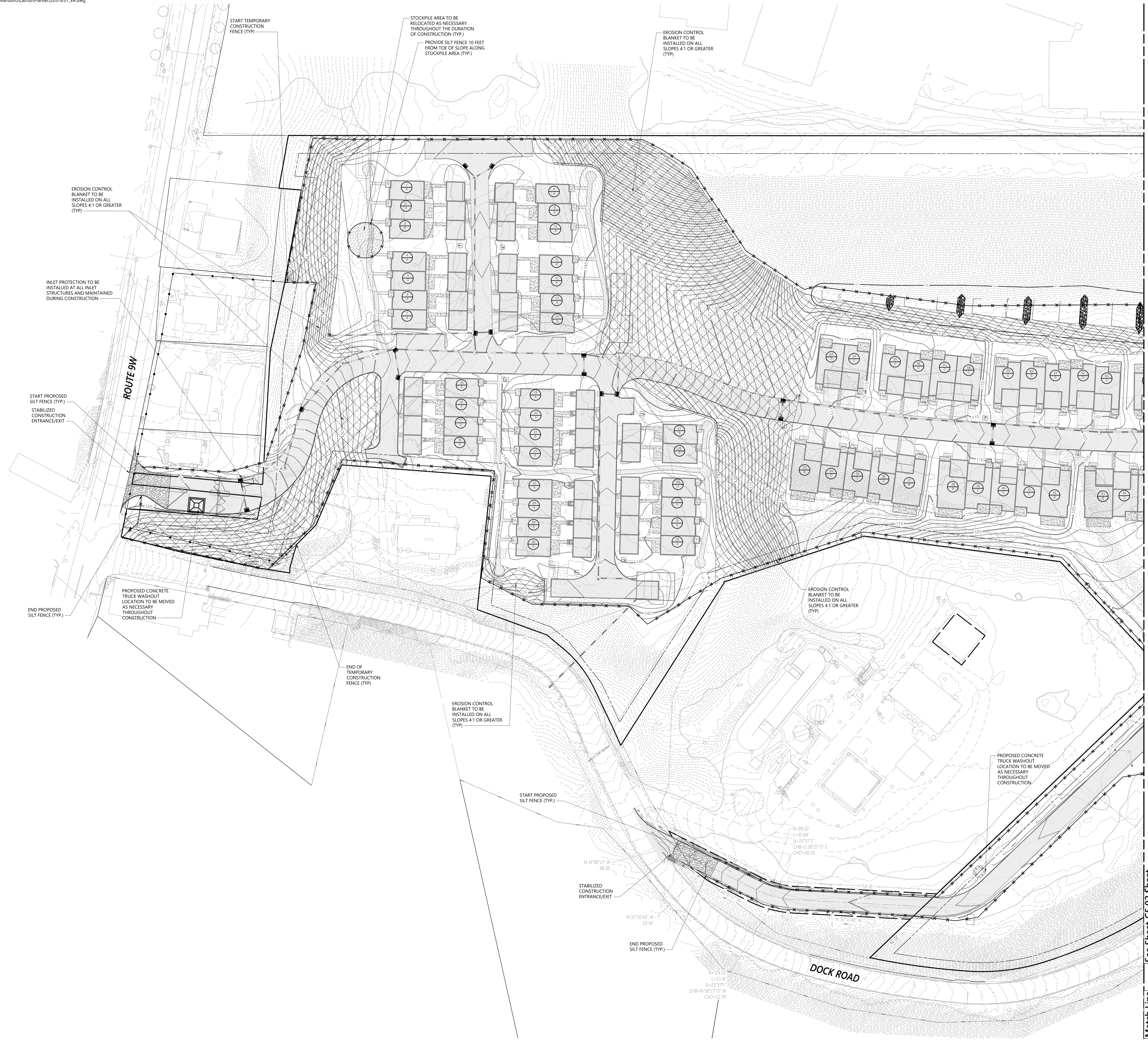
Drawing Number


C5.00
Sheet 29 of 47

Project Number
20578.01

Legend

- SF SILT FENCE
- CONSTRUCTION FENCE
- CONCRETE WASHOUT AREA
- SOIL STABILIZATION BLANKETS AND OR MATTING
- STORM DRAIN INLET PROTECTION
- STABILIZED CONSTRUCTION ENTRANCE



 0 20 40 80 Feet

Orchards on Hudson Residential
Dock Road
Marlborough, NY

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Issued for	Date
Site Plan Approval	August 9, 2024

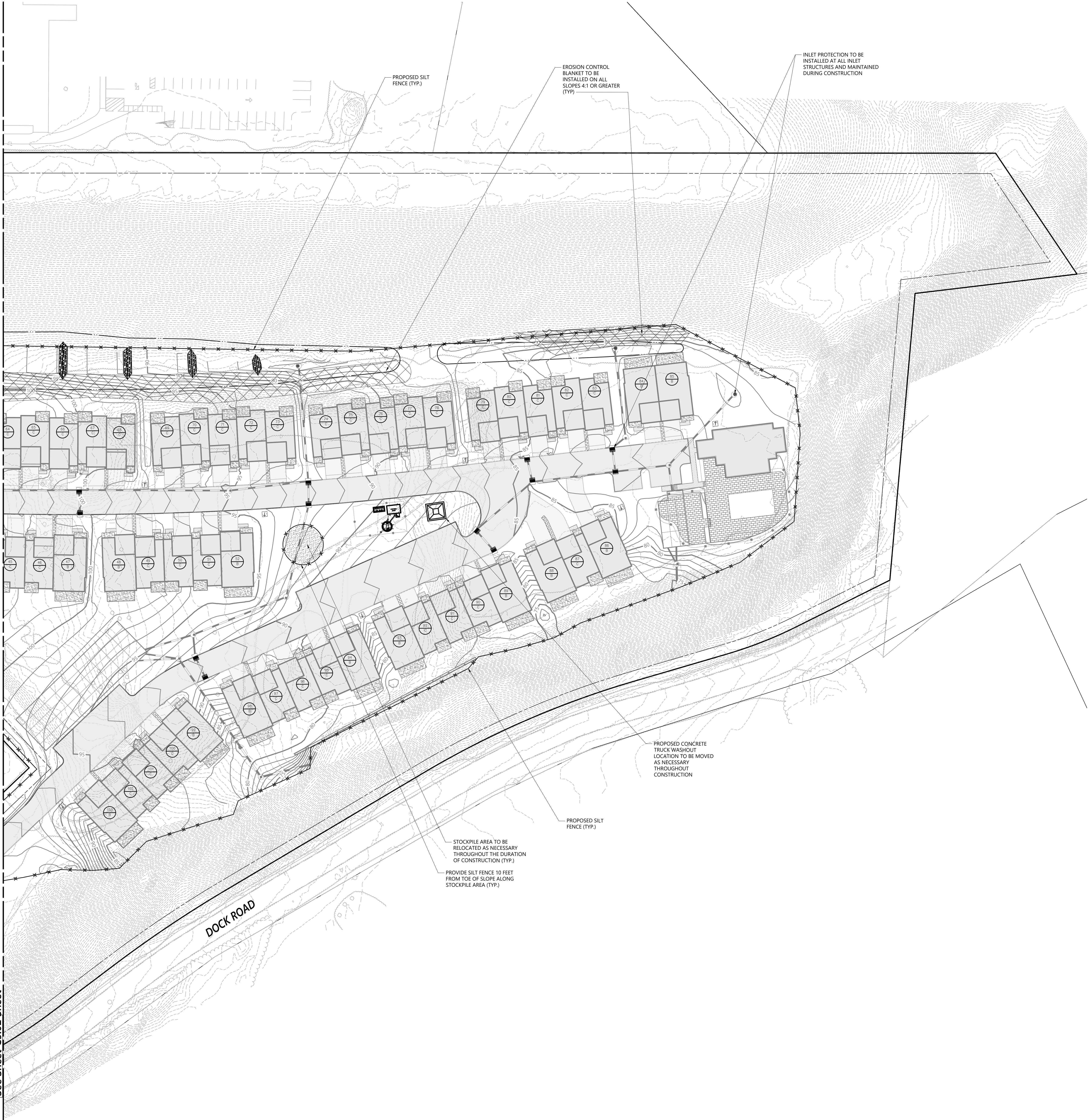
Not Approved for Construction

Erosion and Control Plan

Drawing Title	Drawing Number
C5.01	

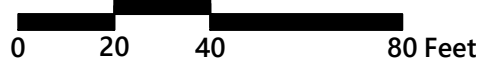
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30	47

Project Number: 20578.01



See Sheet C5.02 Sheet

Match Line



**Orchards on Hudson
Residential**
Dock Road
Marlborough, NY

No.	Revision	Date	Appr'd.
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Designed by	Checked by
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Issued for	Date
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Site Plan Approval August 9, 2024

Not Approved for Construction
Drawing Title
**Erosion and
Residential Development**

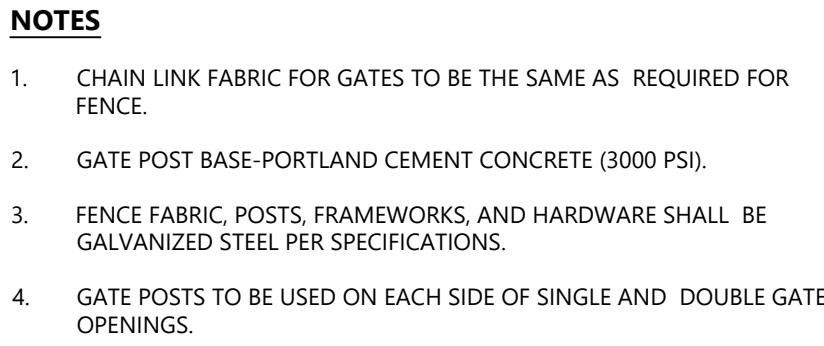
Drawing Number



C5.02

Sheet 31 of 47

IT IS A VIOLATION OF SECTION 2209 OF ARTICLE 145 OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON TO ALLOW ANY DOCUMENT THAT BEARS THE SEAL OF A PROFESSIONAL ENGINEER, UNLESS THE PERSON IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER.
Project Number
20578.01



NOTES

1. MATERIALS TO BE SUPPLIED AND INSTALLED IN CONFORMANCE WITH "CHAIN LINK MANUFACTURER'S INSTITUTE" PRODUCT MANUAL.

NOTES:

1. FENCING TO BE BLACK ALUMI-GUARD ALUMINUM FENCING OR APPROVED EQUAL.
2. FENCING SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND IN ACCORDANCE WITH ALL INDUSTRY STANDARDS.

NOTES
IF THE CONTRACTOR PROPOSES TO USE A PRECAST BASE THAT DIFFERS FROM THIS DETAIL, SHOP DRAWINGS SHALL INCLUDE CERTIFICATION THAT THE PROPOSED BASE MEETS NYS BUILDING CODE REQUIREMENTS FOR THE LOADING AND SOIL CONDITIONS OF THIS PROJECT BY A LICENSED PROFESSIONAL ENGINEER.

NOTES

1. PAVER BANDS TO BE NICOLock ON APPROVED EQUAL
2. PAVERS TO BE RATE FOR VEHICLE LOADING.

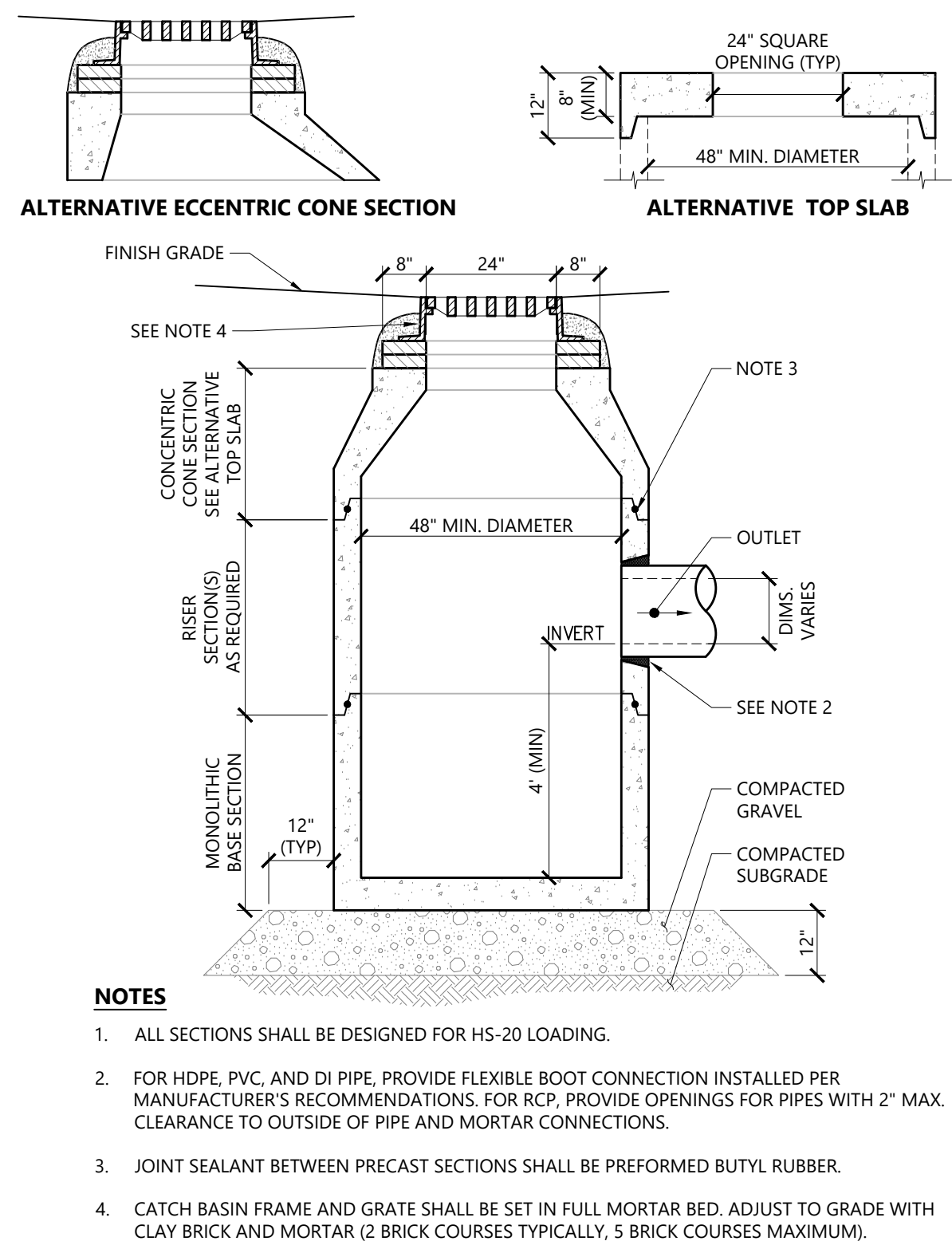
1. THIS DIMENSION SHALL BE A MINIMUM OF 5' FOR ACCESSIBLE SIGNAGE.
2. THIS DIMENSION SHALL BE A MAXIMUM OF 8' FOR ACCESSIBLE SIGNAGE

1. THIS DIMENSION SHALL BE A MINIMUM OF 5' FOR ACCESSIBLE SIGNAGE.
2. THIS DIMENSION SHALL BE A MAXIMUM OF 8' FOR ACCESSIBLE SIGNAGE

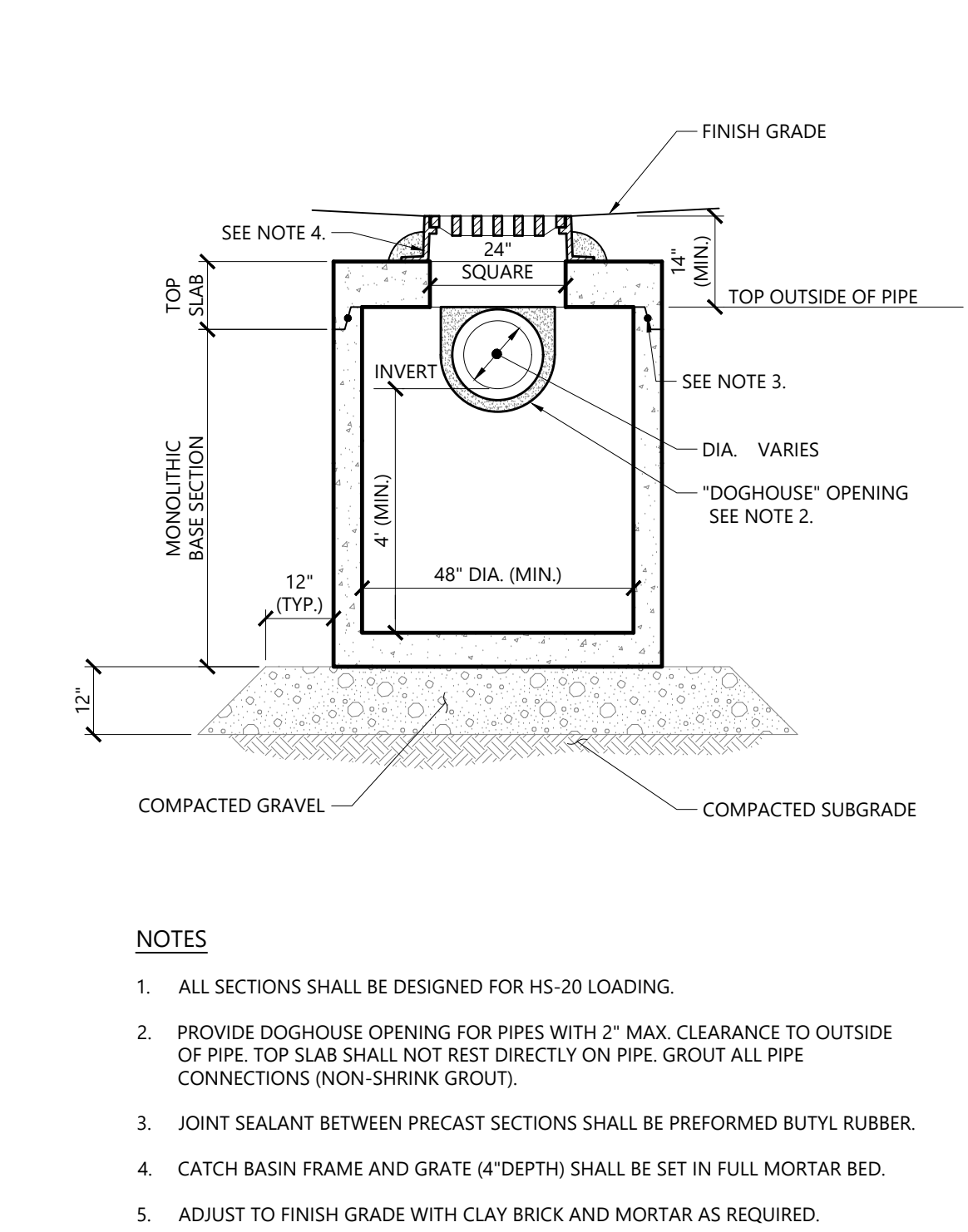
NOTES

DETAIL PROVIDED FOR GENERAL INFORMATION ONLY. STAMPED FINAL DESIGN OF MODULAR WALL SYSTEM TO BE PROVIDED BY CONTRACTOR BASED ON GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.

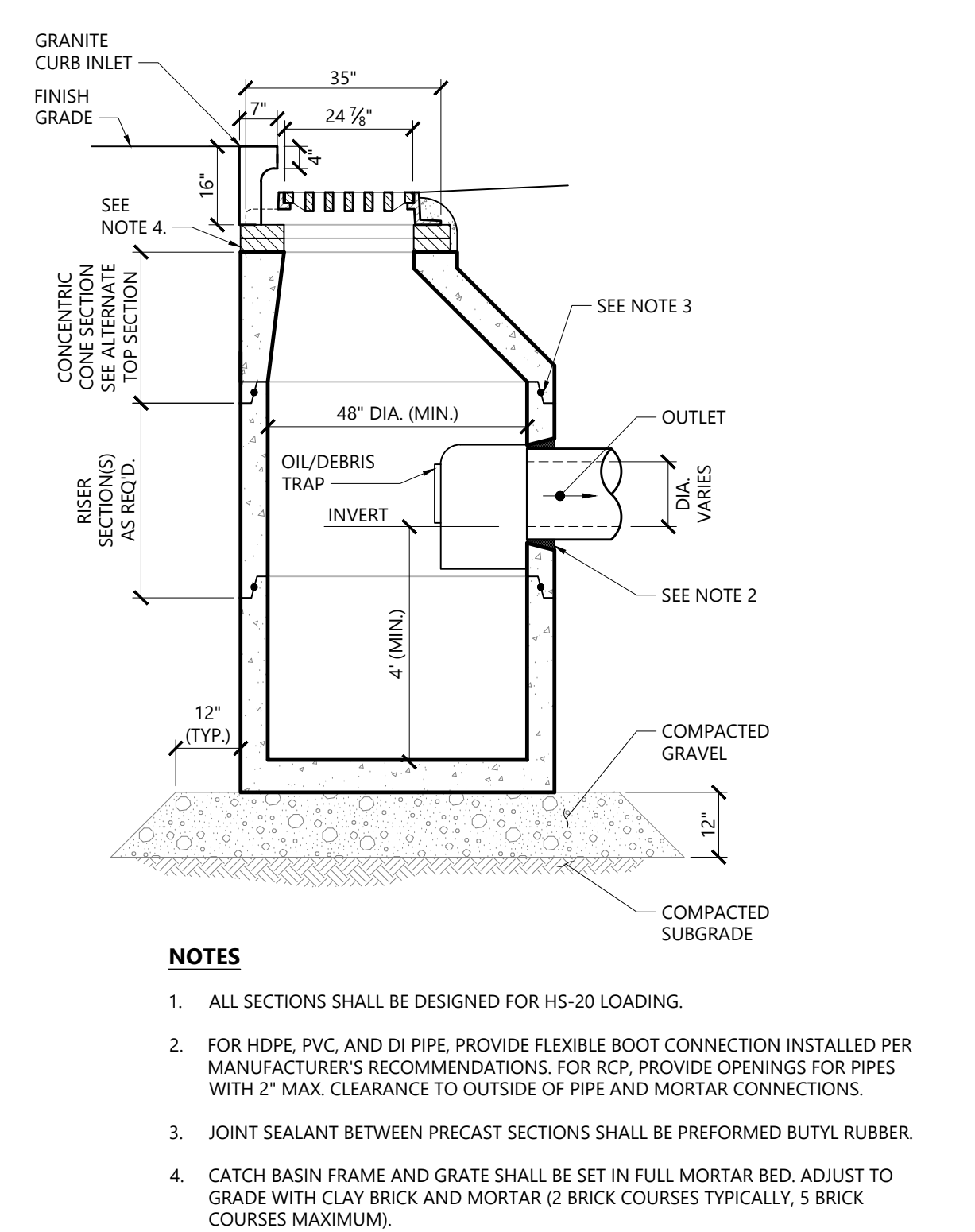
IT IS A VIOLATION OF SECTION 7209 OF ARTICLE 145 OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON TO ALTER ANY DOCUMENT THAT BEARS THE SEAL OF A PROFESSIONAL ENGINEER, UNLESS THE PERSON IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER.



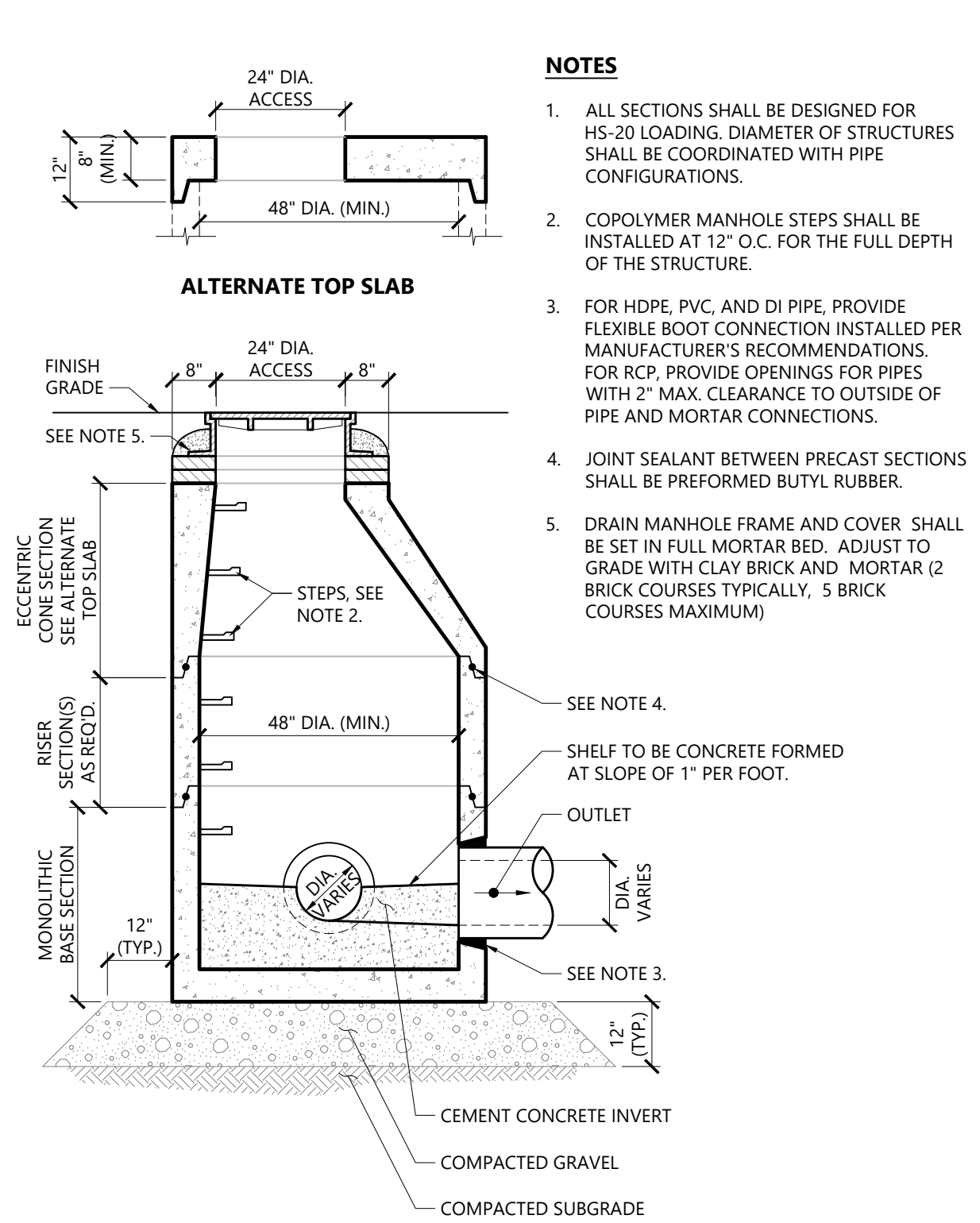
Catch Basin (CB) 11/19
N.T.S. Source: VHB LD_100



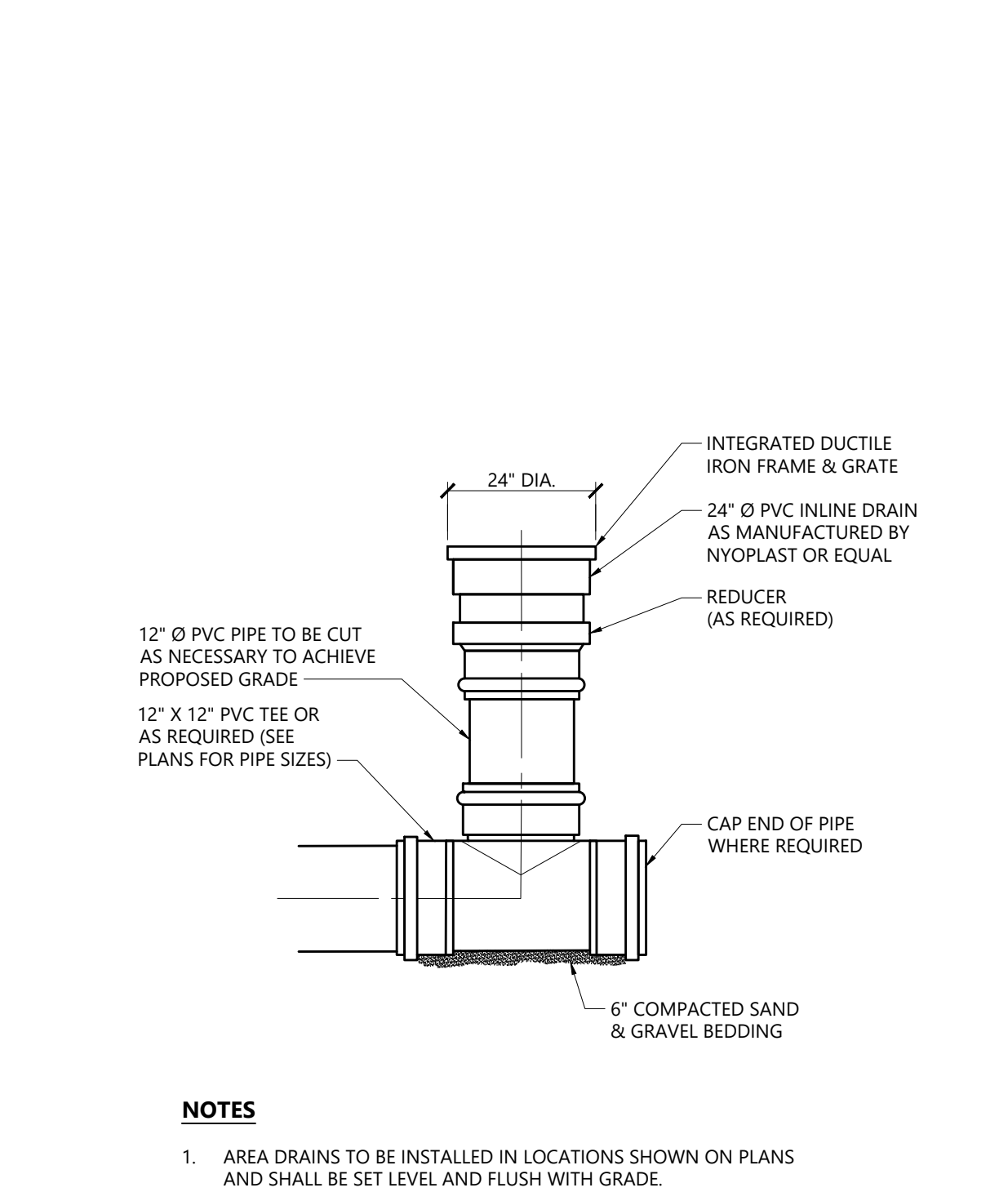
Catch Basin (CB) Shallow Cover 1/16
N.T.S. Source: VHB LD_104



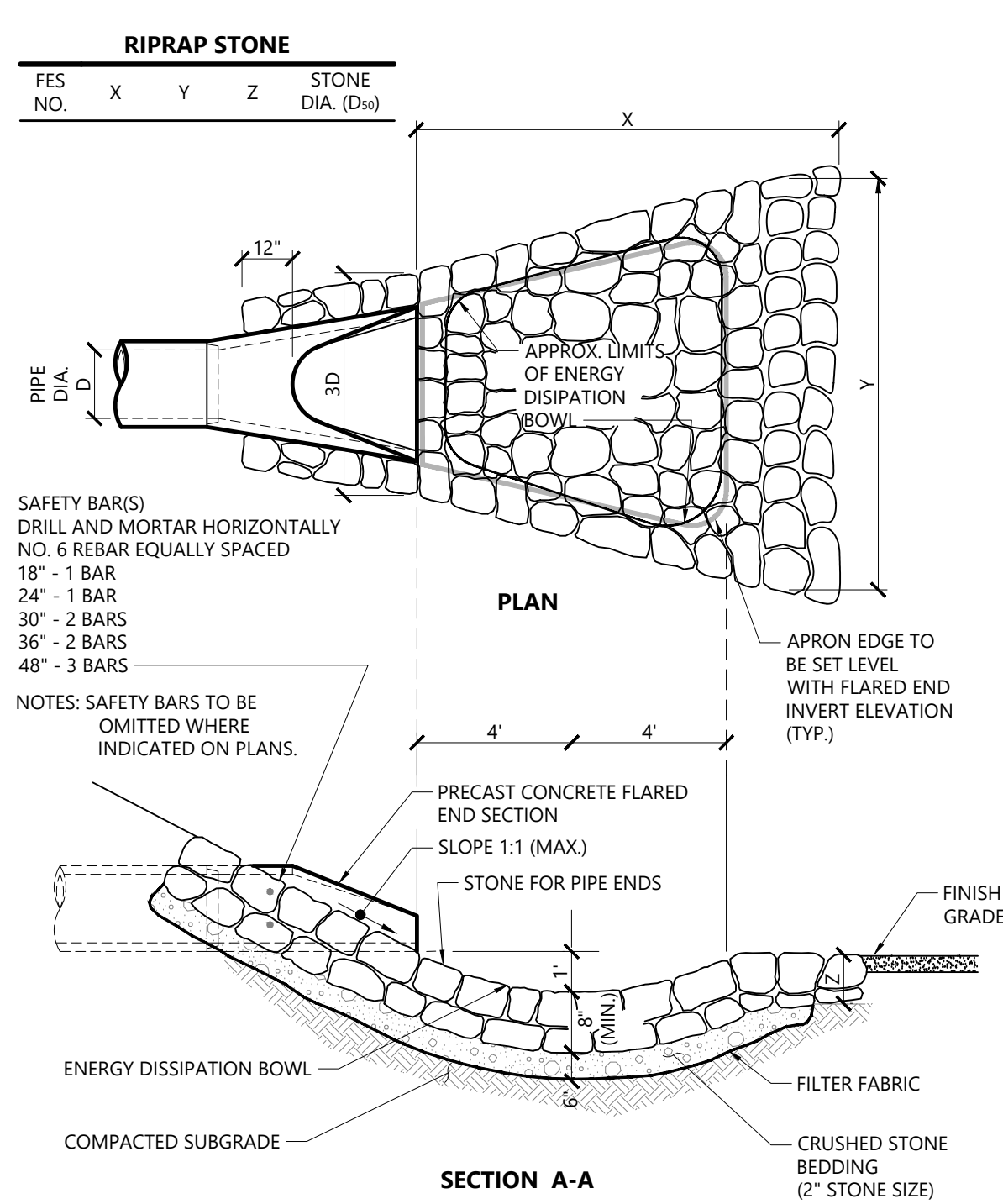
Catch Basin With Curb Inlet (CBCI) 11/19
N.T.S. Source: VHB LD_110



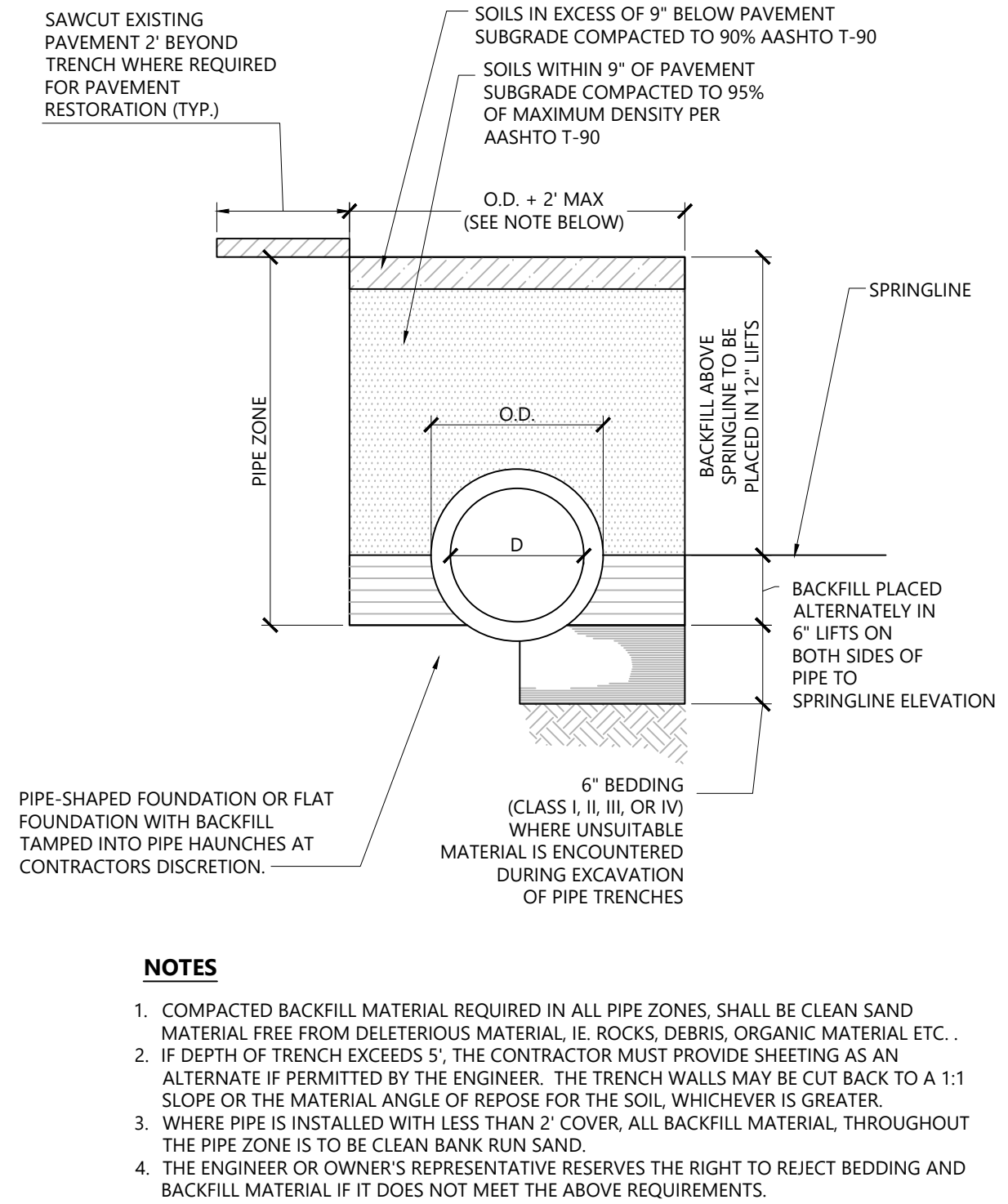
Drain Manhole (DMH) 11/19
N.T.S. Source: VHB LD_115



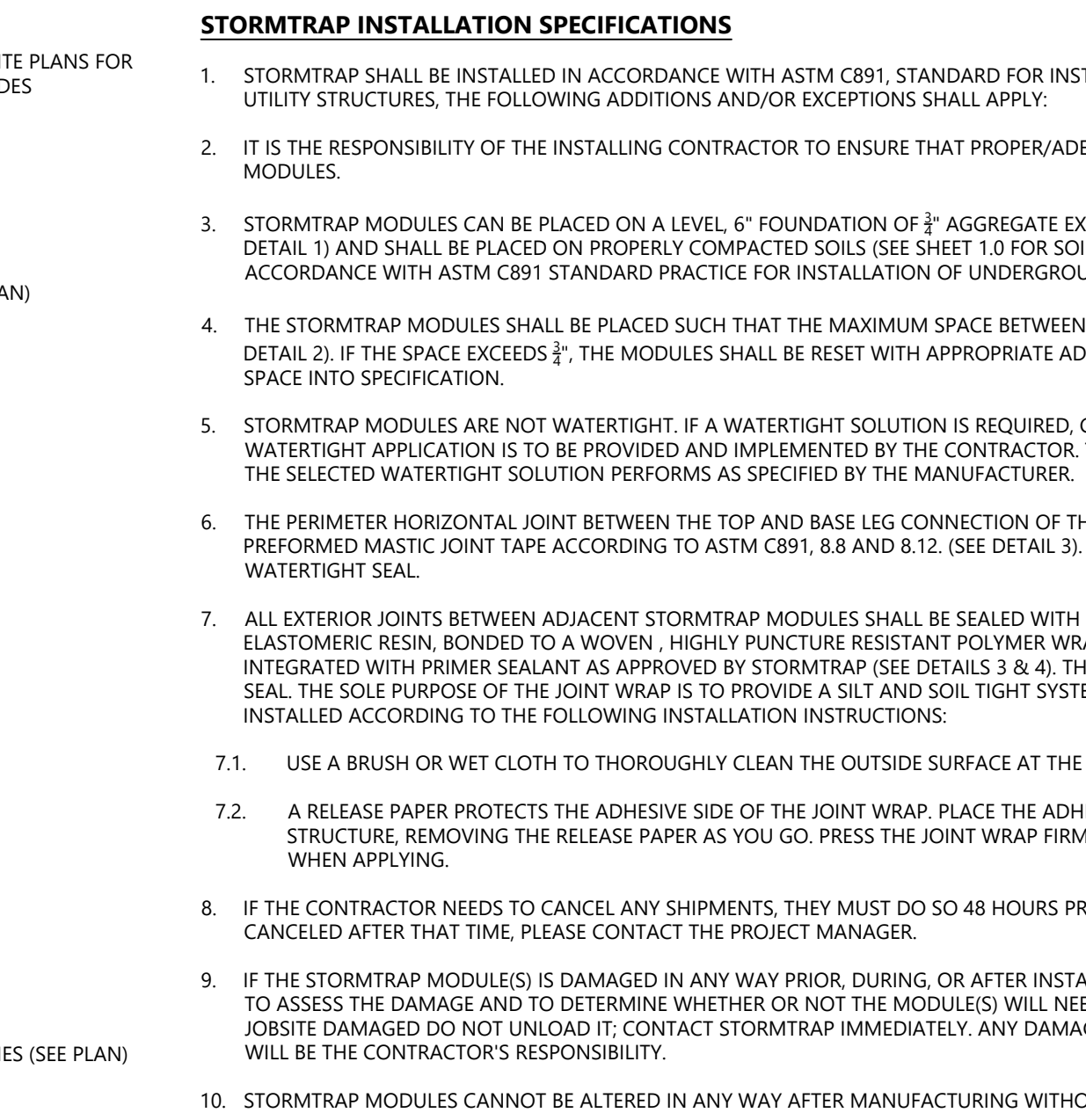
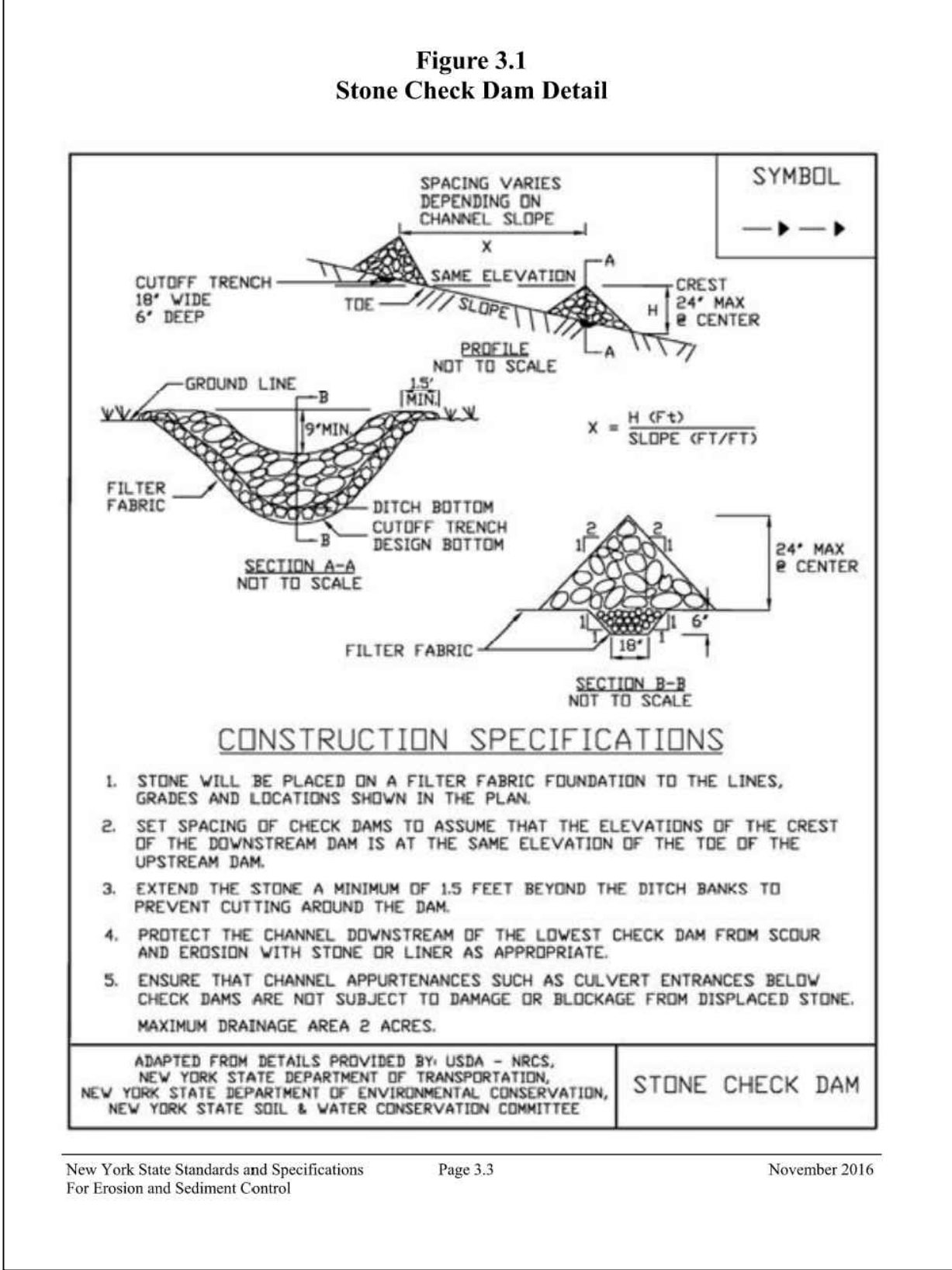
Area Drain Detail 3/23
N.T.S. Source: VHB



Flared End Section (FES) with Stone Protection 3/19
N.T.S. Source: VHB LD_134

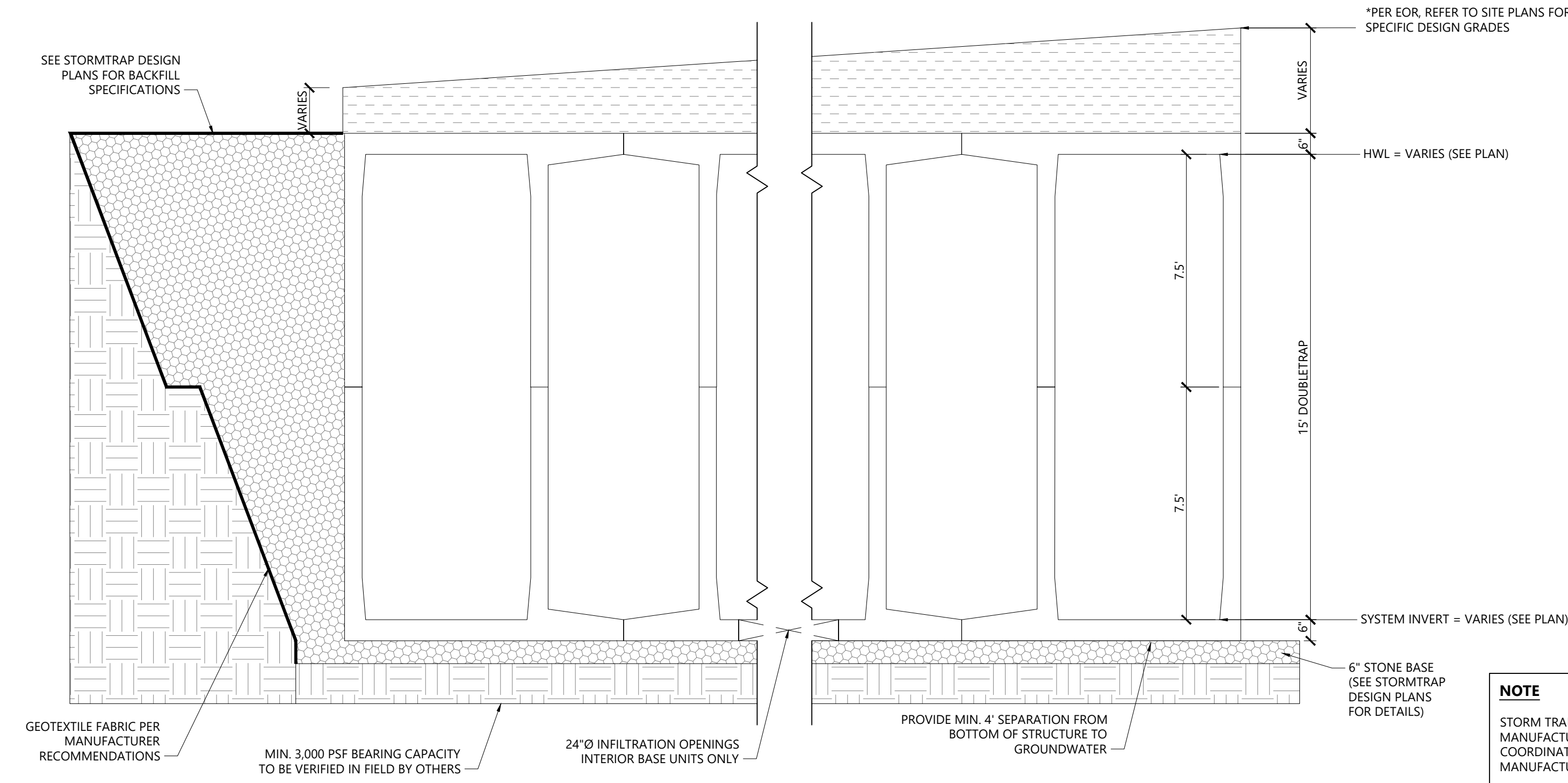


Pipe Trench Detail 1/16
N.T.S. Source: VHB



NOTE

STORM TRAP SYSTEM FINAL DESIGN TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S PROJECT SPECIFIC DESIGN PLANS AND CONTRACTOR TO COORDINATE LOCATIONS OF ALL INVERTS, ELEVATIONS AND HEIGHTS WITH MANUFACTURER PRIOR TO CONSTRUCTION.



Stormtrap Doubletrap Section Detail 11/15
N.T.S. Source: Stormtrap LD_

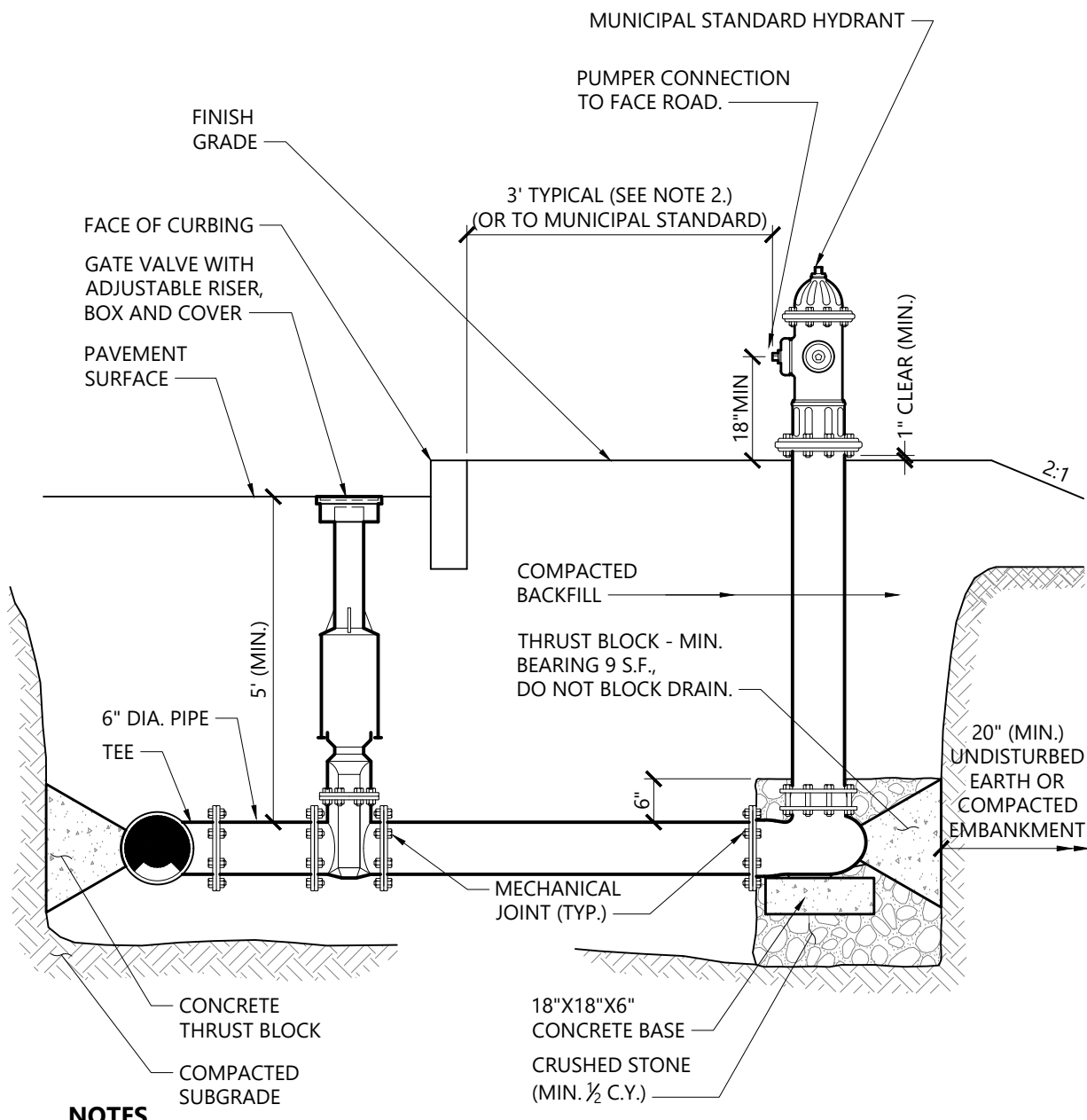
**Orchards on Hudson
Residential**

**Dock Road
Marlborough, NY**

Rev	Revision	Date	App'd

Designed by **DB** Checked by **AL**
Issued for **Site Plan Approval** Date **August 9, 2024**

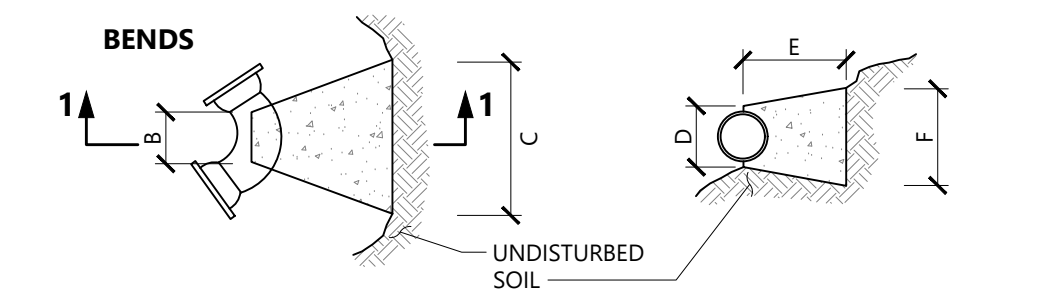
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Drainage Details



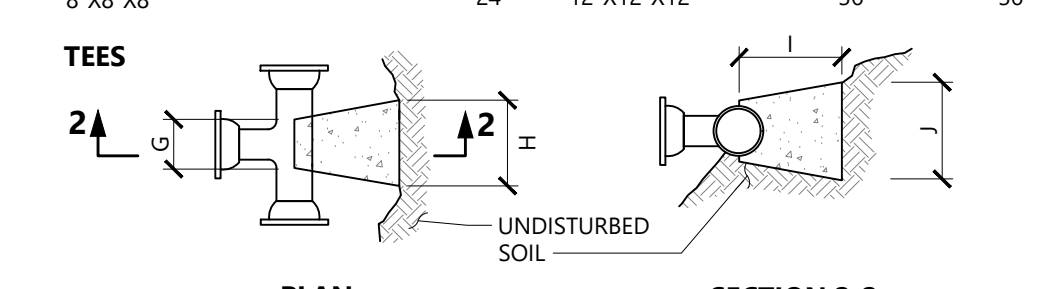
- NOTES**
1. CONCRETE THRUST BLOCKS TO BE USED ONLY WHERE THEY CAN BEAR ON UNDISTURBED EARTH AS SHOWN. USE CLAMPS AND TIE RODS OR OTHER ACCEPTABLE METHOD OF JOINT RESTRAINT WHERE SOIL CONDITIONS PROHIBIT THE USE OF THRUST BLOCKS.
 2. HYDRANT IN SIDEWALK AREAS TO BE LOCATED TO PROVIDE MINIMUM CLEAR SIDEWALK PASSAGE WIDTH OF 3 FEET AT HYDRANT.
 3. A 36-INCH CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF THE HYDRANT UNLESS OTHERWISE APPROVED BY AUTHORITY HAVING JURISDICTION.

Hydrant Construction 12/19
N.T.S. Source: VHB LD_250

TABLE OF DIMENSIONS										
BENDS	B	C	D	E	F	BENDS	B	C	D	E
6" 11 1/2"	8"	15"	12"	24"	12"	6" 45"	8"	30"	12"	24"
6" 22 1/2"	-	19"	-	-	13"	6" 90"	-	30"	-	27"
8" 11 1/2"	-	20"	-	-	12"	8" 45"	-	30"	-	24"
8" 22 1/2"	-	22"	-	-	17"	8" 90"	-	38"	-	36"
12" 11 1/2"	-	30"	-	-	15"	12" 45"	-	40"	-	40"
12" 22 1/2"	-	35"	-	-	25"	12" 90"	-	60"	-	52"

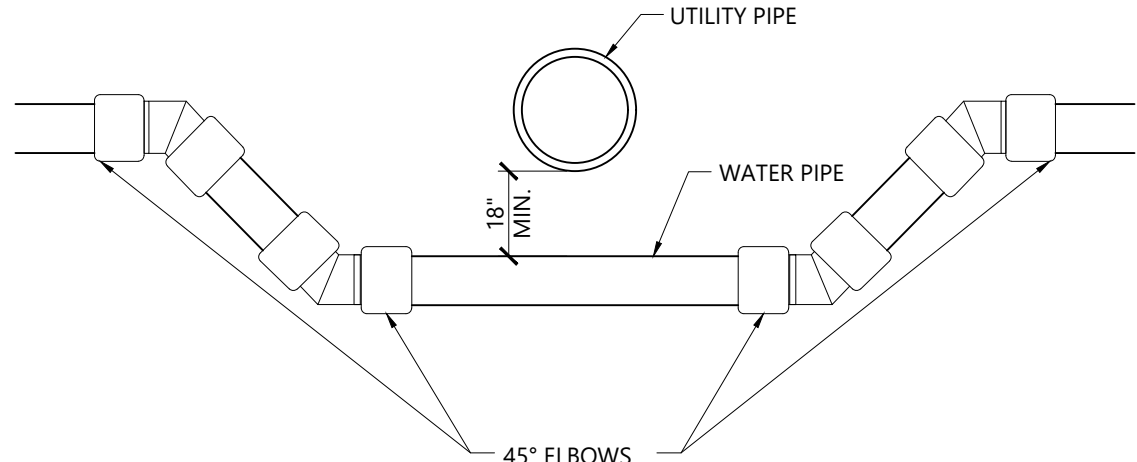


Plan					SECTION 1-1				
TABLE OF DIMENSIONS									
TEES	G	H	I	J	TEES	G	H	I	J
6"X6"X6"	12"	24"	24"	18"	12"X12"X6"	12"	24"	24"	18"
8"X8"X6"	"	"	"	"	12"X12"X8"	"	"	"	24"
8"X8"X8"	"	"	"	24"	12"X12"X12"	"	36"	"	36"



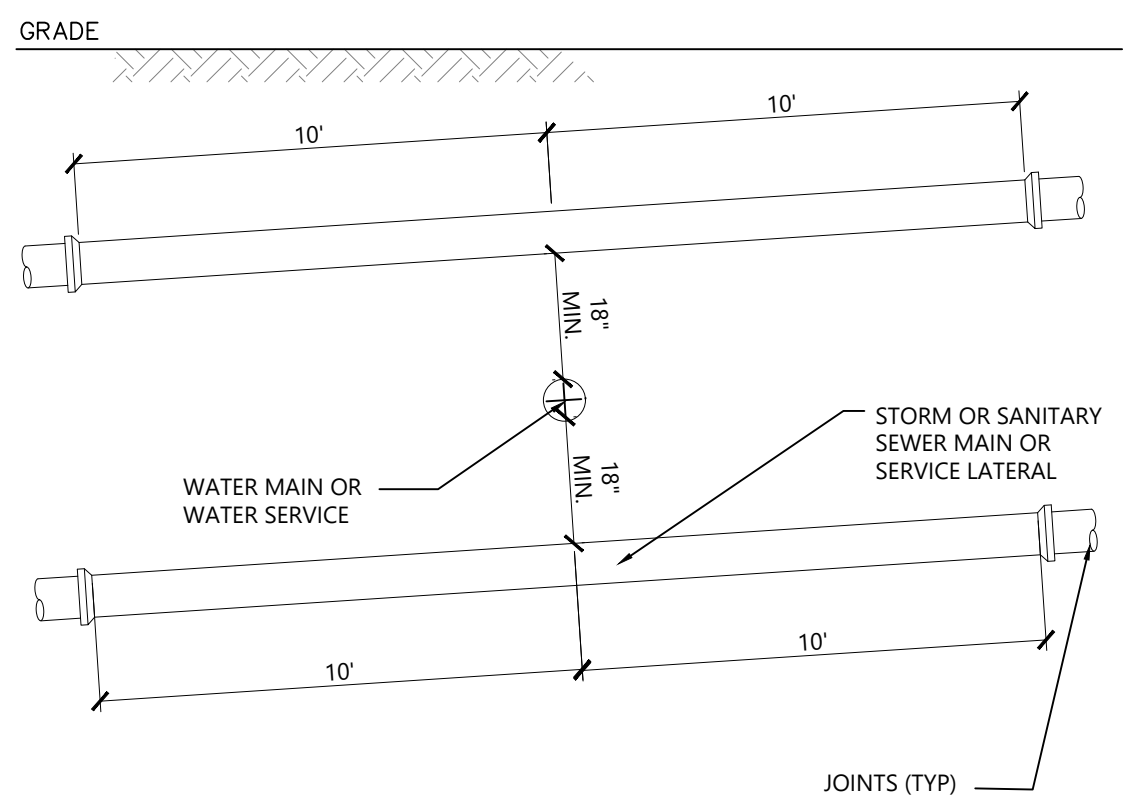
- NOTES**
1. PROVIDE BLOCKS FOR TAPPING SLEEVES, DEAD ENDS, GATE VALVES, AND VERTICAL BENDS (SAME SIZE AS REQUIRED FOR TEES). PROVIDE ANCHOR RODS AT VERTICAL BENDS AND GATE VALVES.
 2. CONCRETE SHALL NOT BE PLACED AGAINST PIPE BEYOND FITTING.
 3. CONCRETE SHALL BE 3,000 PSI-TYPE I.

Concrete Thrust Block 1/16
N.T.S. Source: VHB LD_260



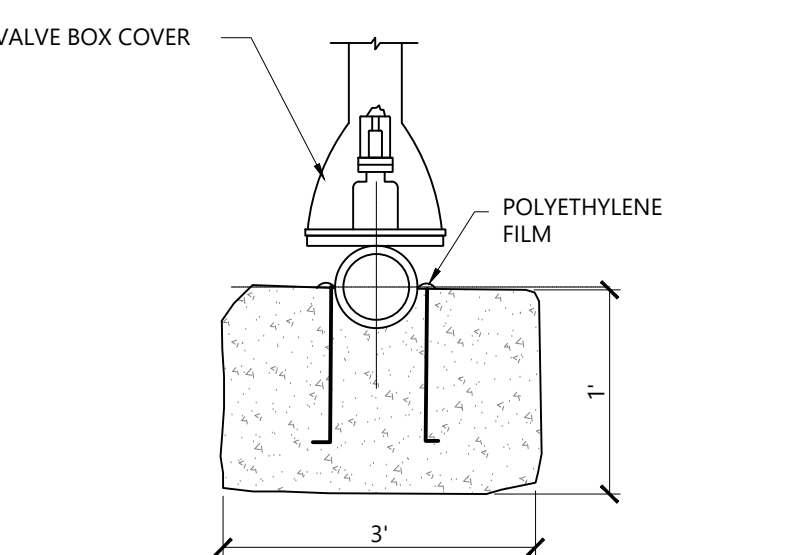
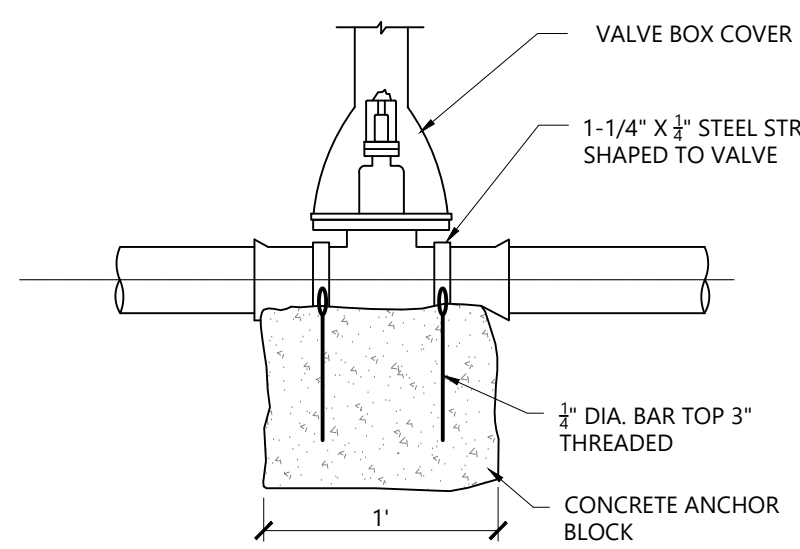
- NOTES**
- WATER MAIN DROP CROSSING LOCATIONS TO BE DETERMINED IN FIELD BY ENGINEER.

Water Main Drop Crossing Detail 1/16
N.T.S. Source: VHB

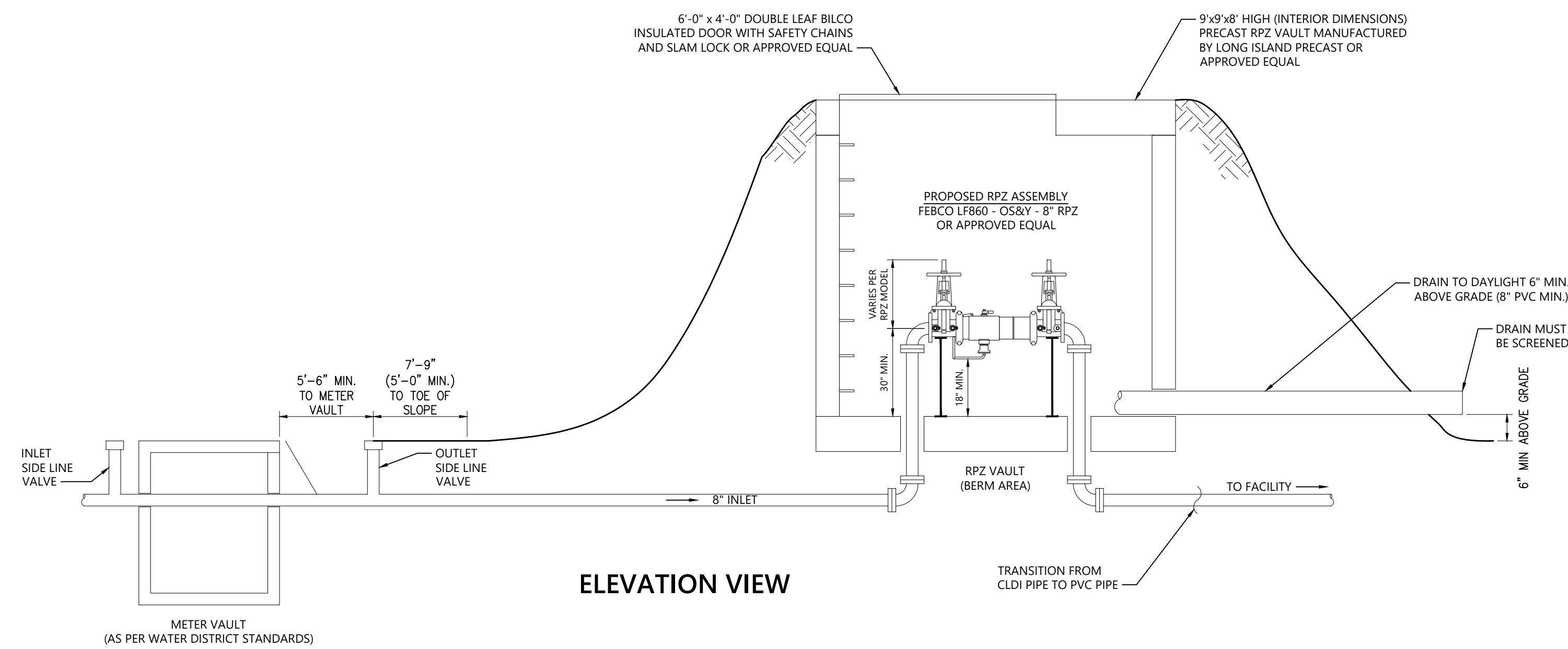


- NOTES**
1. ADEQUATE STRUCTURAL SUPPORT OF THE SEWER AND/OR WATER LINE MUST BE PROVIDED AT ALL CROSSINGS (BOTH UNDER AND OVER).
 2. WHERE SEWER LINE CROSSES OVER WATER LINE, ADEQUATE STRUCTURAL SUPPORT SHALL BE PROVIDED FOR THE SEWER AND WATER LINE. SEWER LINE JOINTS SHALL BE 10 FEET FROM THE POINT OF CROSSING WHERE SEWER LINES CROSS OVER WATER LINES. IF 18 INCH SEPARATION CANNOT BE MAINTAINED, A VERTICAL SEPARATION OF AT LEAST 12 INCHES MAY BE ALLOWED ON A CASE BY CASE BASIS.
 3. WHERE WATER LINE CROSSES OVER SEWER LINE AND 18 INCH SEPARATION CANNOT BE MAINTAINED, BOTH WATER AND SEWER LINES SHALL BE CONSTRUCTED OF PRESSURE PIPE AND A MINIMUM SEPARATION BETWEEN THE BOTTOM OF THE WATER LINE AND THE TOP OF THE SEWER LINE OF 12 INCHES SHALL BE MAINTAINED.
 4. IN THE EVENT THAT A STORM SEWER CROSSES OVER A SANITARY SEWER, THE SANITARY SEWER MUST BE CONSTRUCTED OF CLASS S3 DIP UNLESS 18 INCH SEPARATION IS MAINTAINED. ADEQUATE STRUCTURAL SUPPORT SHALL BE PROVIDED AT STORM SEWER CROSSINGS.
 5. ADEQUATE STRUCTURAL SUPPORT SHALL BE PROVIDED AT THE CROSSING OF STORM DRAIN PIPING. ADEQUATE STRUCTURAL SUPPORT SHALL BE CONCRETE CRADLE (SEE DETAIL).

Water/Drainage/ Sewer Service Crossing 1/16
N.T.S. Source: VHB



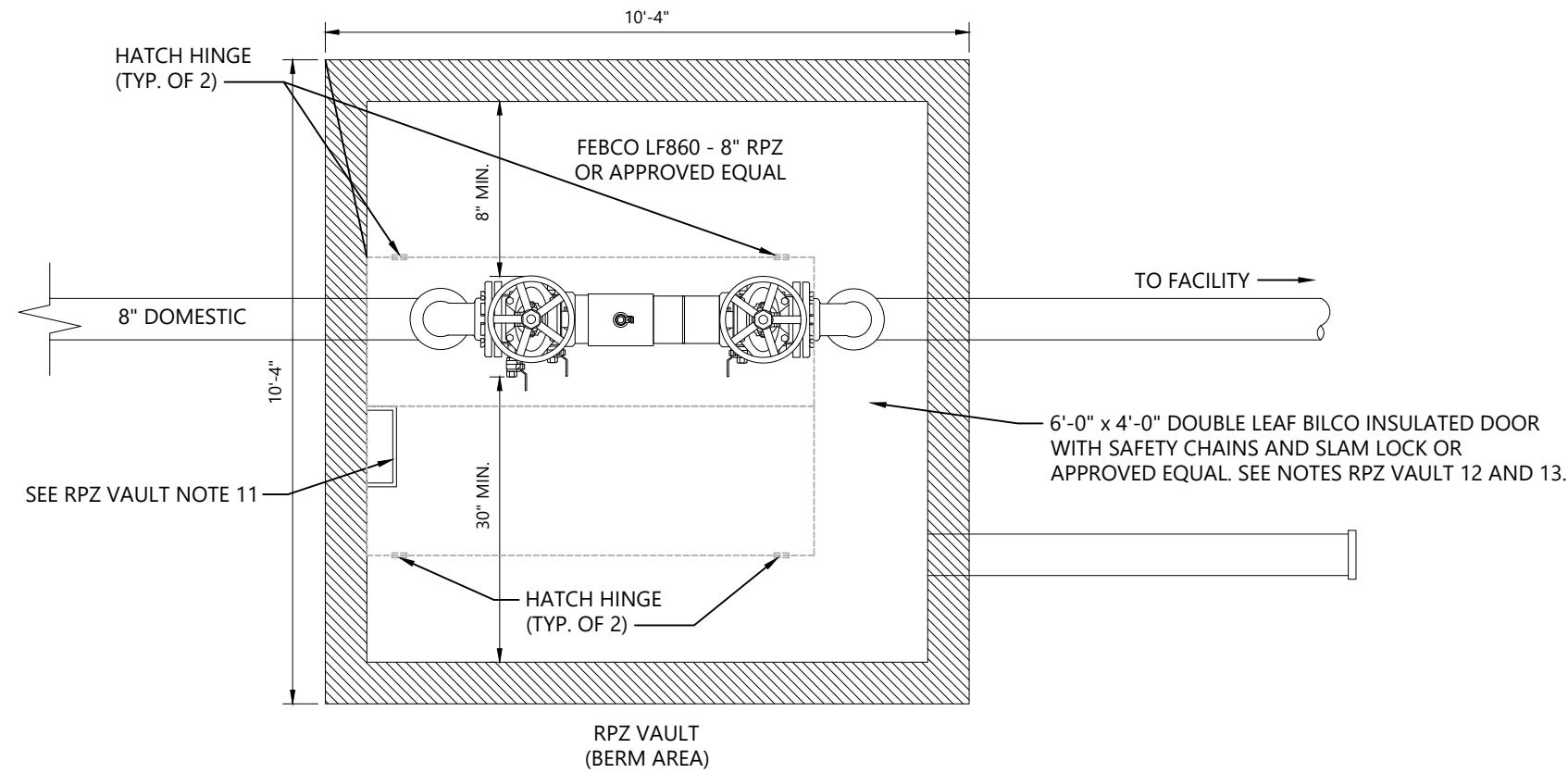
Valve Anchor Detail 1/16
N.T.S. Source: VHB



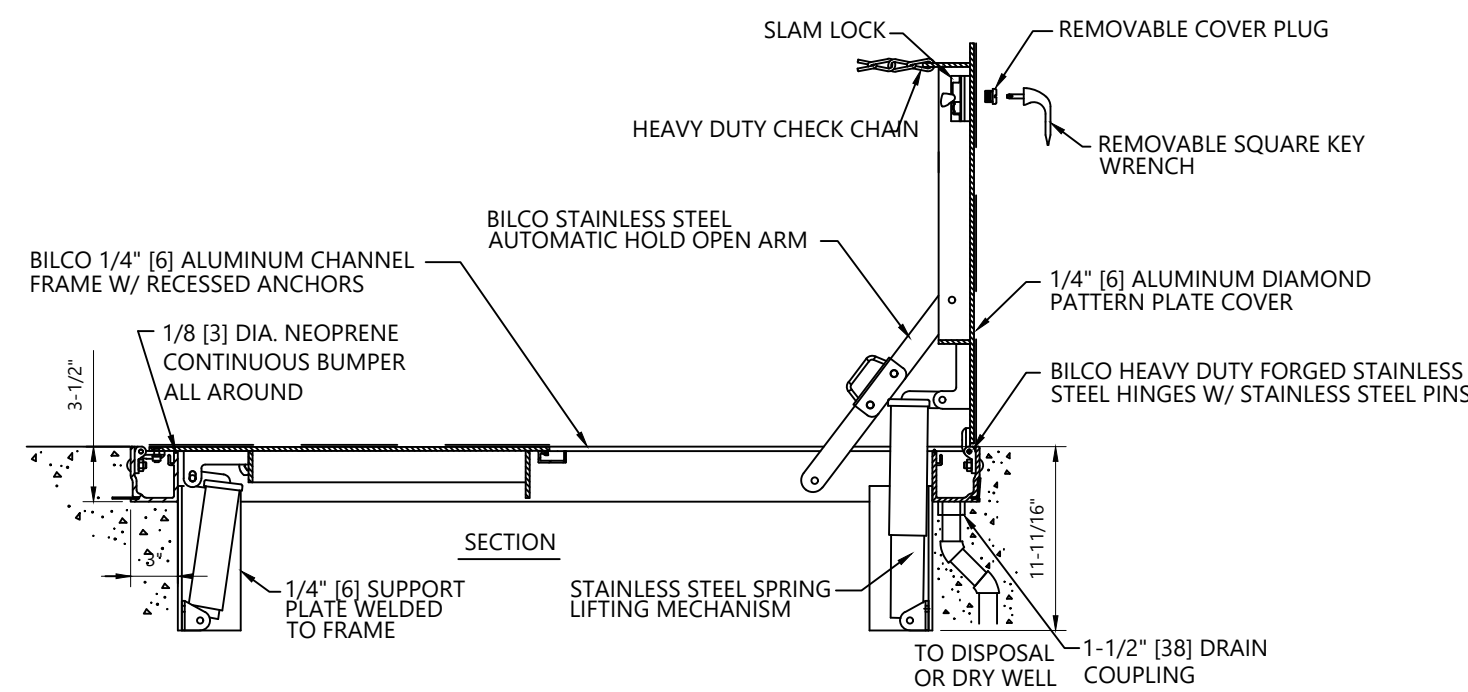
RPZ Vault Notes

1. THIS DEVICE MUST BE PROTECTED AGAINST FREEZING.
2. TEST COCKS MUST BE POSITIONED TO FACILITATE TESTING (30" MINIMUM CLEARANCE).
3. ALL CONNECTIONS T-S HOSE BIBS, IRRIGATION ETC. MUST BE INSTALLED AFTER (DOWNSTREAM) OF DEVICE.
4. DRAINS CANNOT BE SUBJECT TO FLOODING AND MUST HAVE EXTERIOR SCREEN(S).
5. DRAIN PIPE SHOULD BE SIZED ACCORDING TO MANUFACTURER'S FLOW CURVES TO DETERMINE MAXIMUM DISCHARGE RATES.
6. DESTINATION OF DRAINAGE MUST BE SHOWN.
7. EACH RPZ MUST BE ADEQUATELY SUPPORTED TO THE CONCRETE SLAB (FLOOR) WITH PIPE STANTIONS TO PREVENT LATERAL MOVEMENT.
8. SUPPORTS MUST BE PLACED WHERE THEY WILL NOT OBSTRUCT THE FUNCTION OR ACCESS TO RELIEF VALVE.
9. EACH RPZ MUST HAVE USC FOUNDATION OF CROSS CONNECTION APPROVAL.
10. EACH RPZ MUST BE TESTED ANNUALLY.
11. ACCESS LADDER TO BE PROVIDED.
12. FULL OPENING HATCH TO ENCOMPASS CENTERLINE OF DEVICE.
13. LENGTH OF HATCH SHOULD BE LONG ENOUGH TO LIFT DEVICE THRU OPENING.
14. RPZ MUST BE A LEAD FREE MODEL.
15. ALL ASSEMBLIES MUST BE INSTALLED WITH THE MANUFACTURER-SUPPLIED RESILIENT SEATED SHUT-OFF VALVES INTEGRAL TO THE ASSEMBLY.

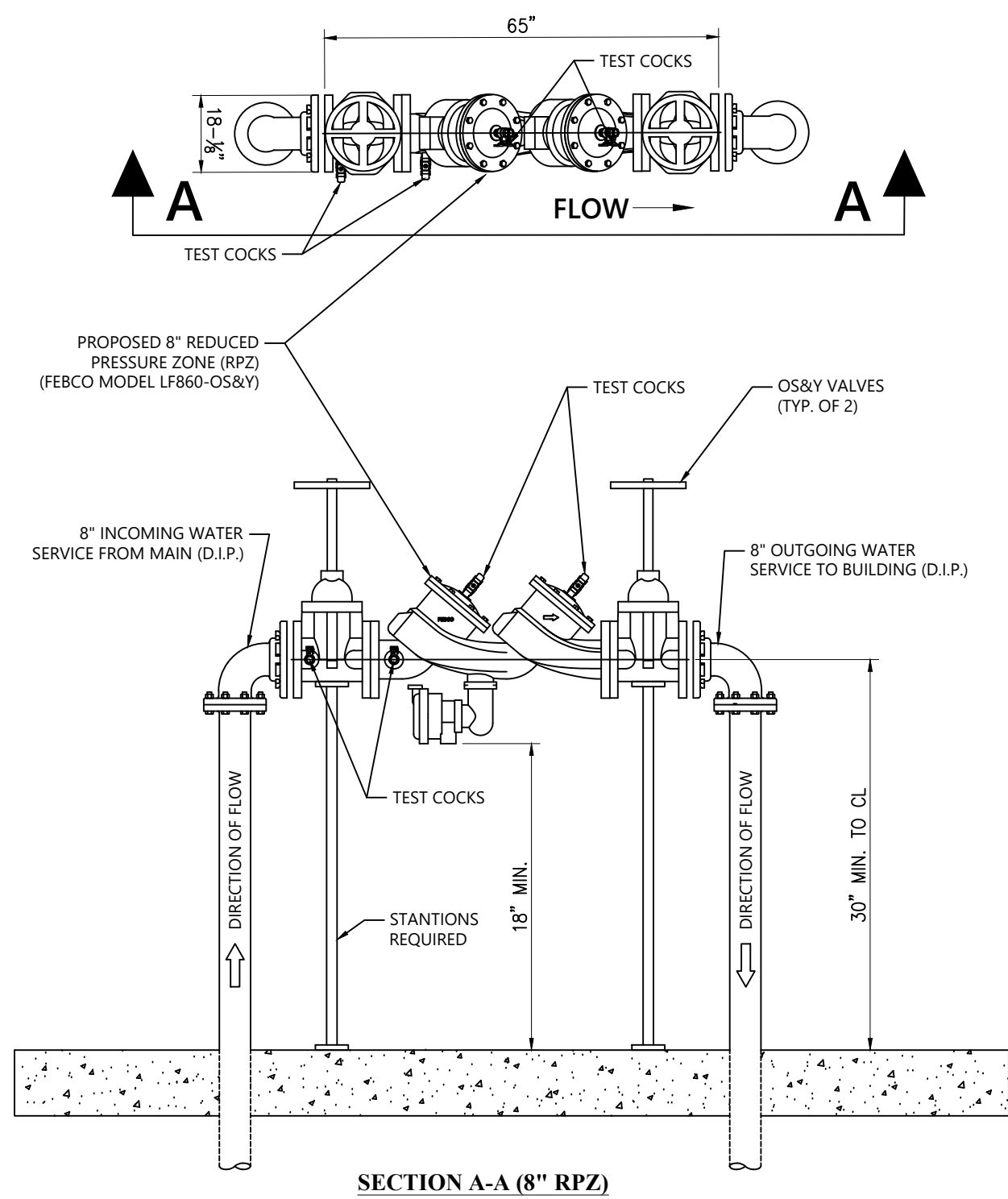
RPZ in Vault - Backflow Details
N.T.S. Source: VHB



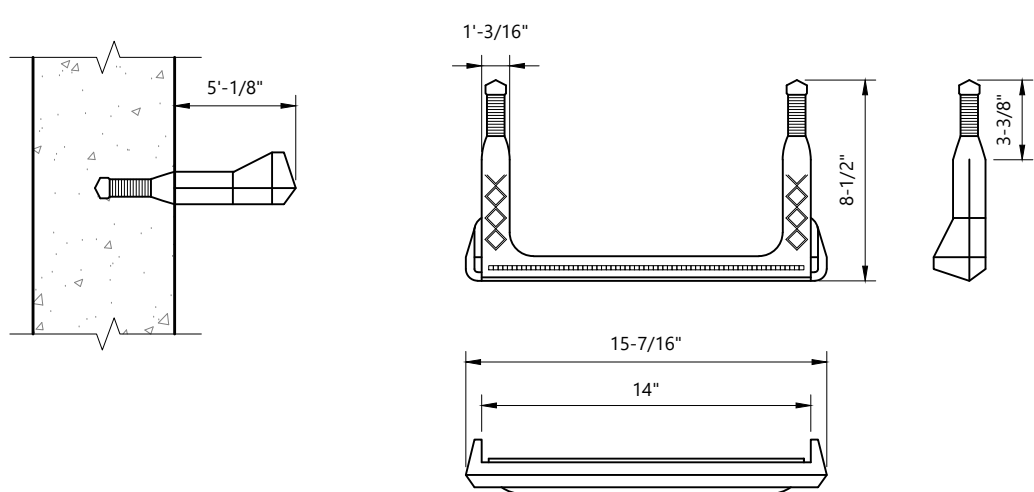
PLAN VIEW



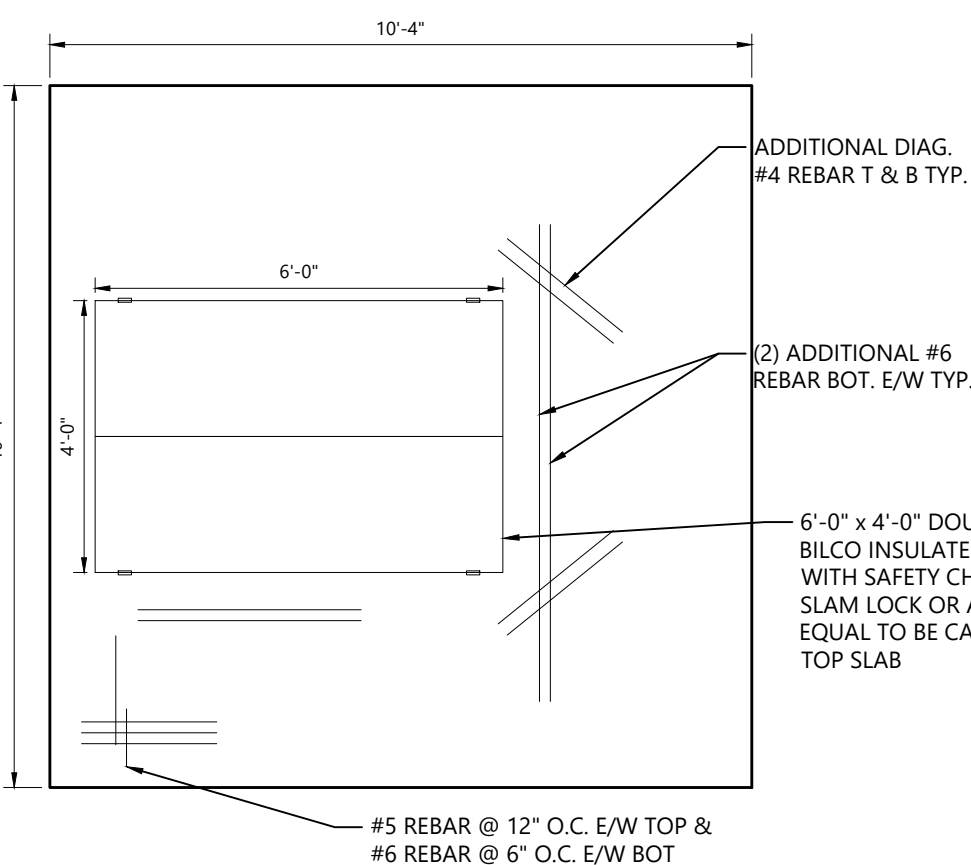
Bilco Door Detail 1/16
N.T.S. Source: VHB



8" RPZ Device 1/16
N.T.S. Source: VHB



Vault Step Detail 1/16
N.T.S. Source: VHB



RPZ Vault Top Slab Detail 1/16
N.T.S. Source: VHB

Orchards on Hudson Residential
Dock Road
Marlborough, NY

No.	Revision	Date	App'd.

Designed by: **DB** Checked by: **AL**
Issued for: **Site Plan Approval** August 9, 2024

Not Approved for Construction

Water Details

Sheet Number
10 of 10

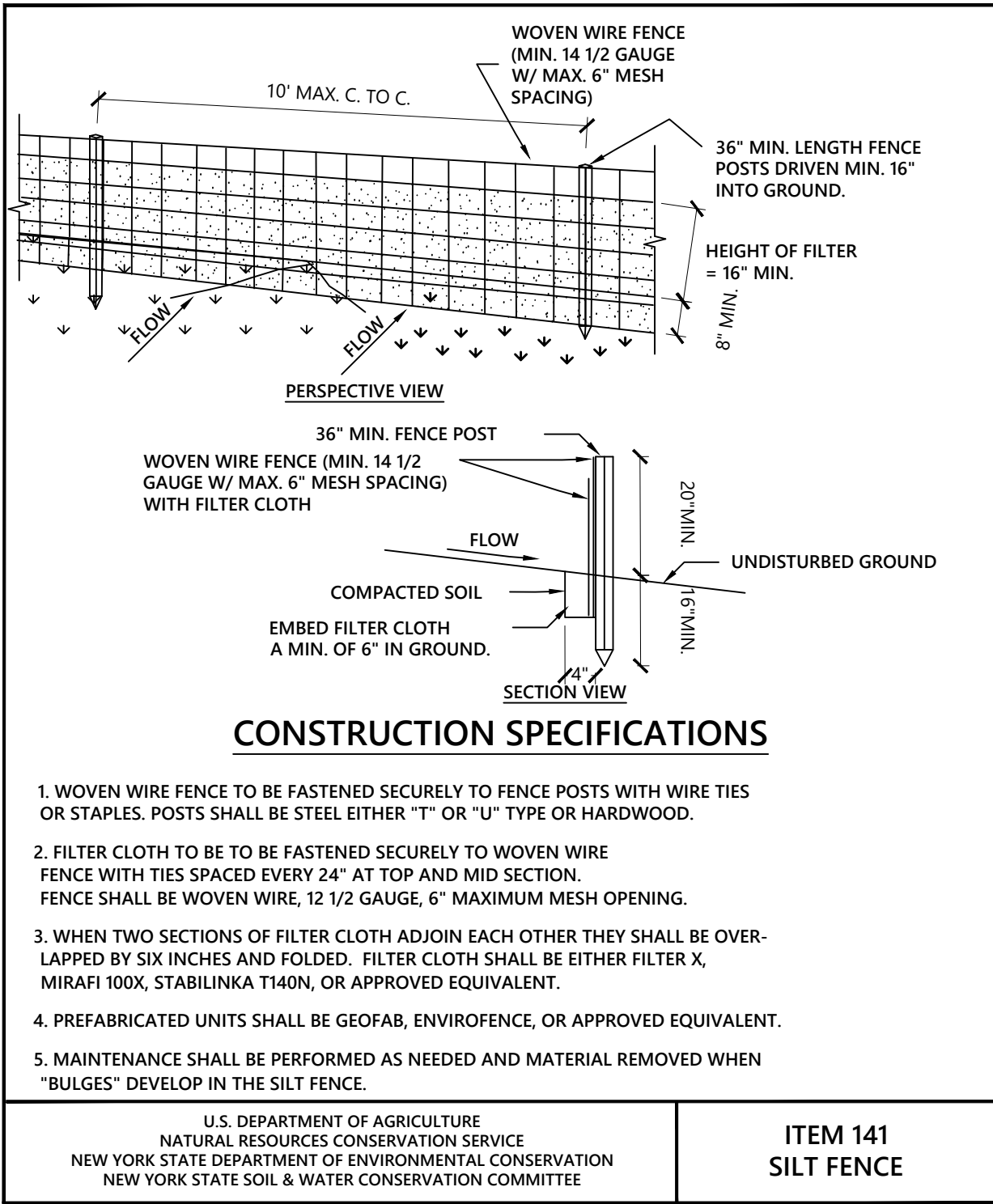


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Sheet 36 of 47

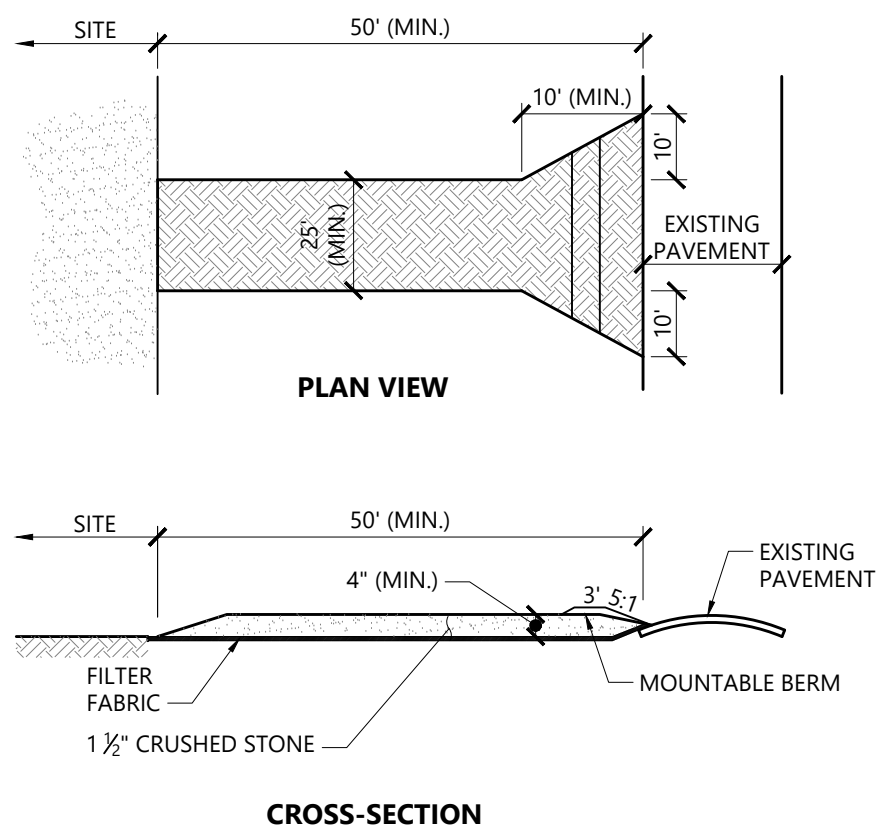
Project Number
20578.01

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Silt Fence

N.T.S. Source: VHB

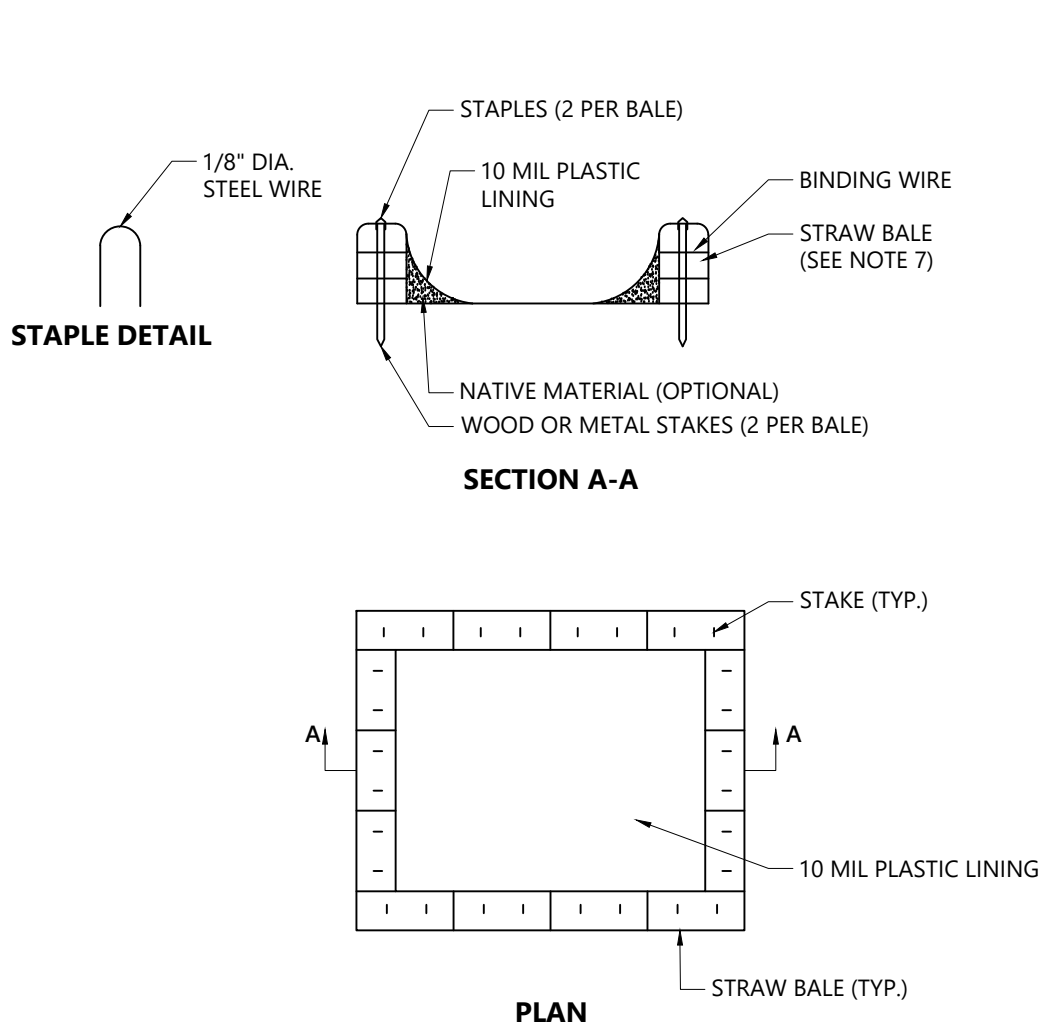


NOTES

- EXIT WIDTH SHALL BE A TWENTY-FIVE (25) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
- THE EXIT SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. BERM SHALL BE PERMITTED. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AS NEEDED.
- STABILIZED CONSTRUCTION EXIT SHALL BE REMOVED PRIOR TO FINAL FINISH MATERIALS BEING INSTALLED.

Stabilized Construction Exit

N.T.S. Source: VHB LD_682

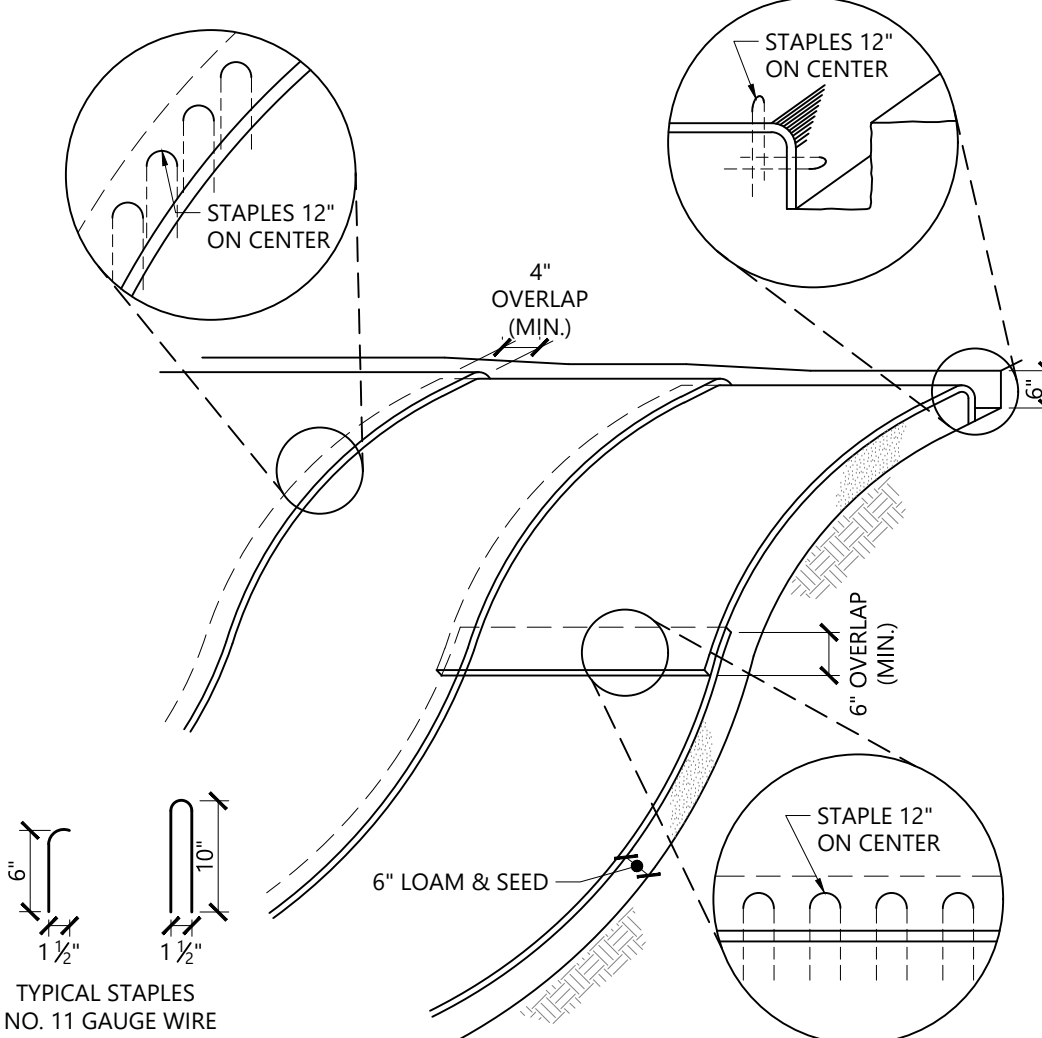


NOTES

- TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE LOCATED AS SHOWN ON PLANS.
- IN LIEU OF HAY BALES AND PLASTIC, CONTRACTOR MAY PROVIDE PREFABRICATED CONCRETE WASHOUT STRUCTURE. APPROVAL FROM ENGINEER REQUIRED PRIOR TO ON SITE ARRIVAL OF PREFABRICATED STRUCTURE.
- ONCE CONCRETE WASTES ARE WASHED INTO THE DESIGNATED AREA AND ALLOWED TO HARDEN, THE CONCRETE SHOULD BE BROKEN UP, REMOVED, AND DISPOSED OF OFF-SITE. CONTRACTOR TO DISPOSE OF HARDENED CONCRETE ON A REGULAR BASIS.
- A CONCRETE WASHOUT SIGN SHALL BE INSTALLED TO DESIGNATE THE TEMPORARY CONCRETE WASHOUT FACILITY.
- PLASTIC LINING MATERIAL SHOULD BE A MINIMUM OF 10 MIL POLYETHYLENE SHEETING AND SHOULD BE FREE OF HOLES, TEARS, OR OTHER DEFECTS THAT COMPROMISE THE IMPERMEABILITY OF THE MATERIAL.
- WASHOUT FACILITIES MUST BE CLEANED, OR NEW FACILITIES MUST BE CONSTRUCTED AND READY FOR USE ONCE THE WASHOUT IS 75% FULL.
- STRAW BALE AND STAPLES MAY BE SUBSTITUTED WITH ALTERNATE SECURING MEASURES SUCH AS CONCRETE BLOCK.
- IF EXCAVATED, SIDE SLOPES SHALL BE 2 HORIZONTAL TO 1 VERTICAL.

Concrete Truck Washout

N.T.S. Source: VHB

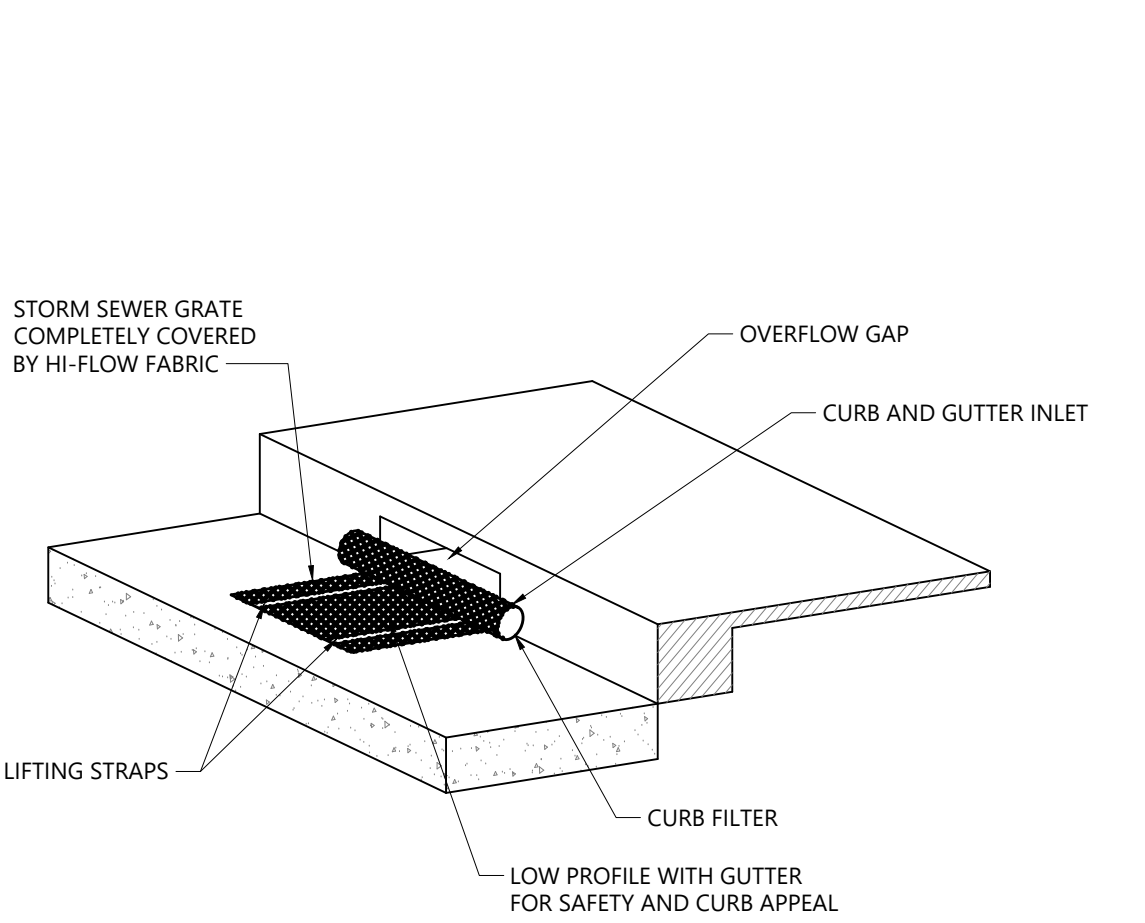


NOTES

- BEGIN AT THE TOP OF BLANKET INSTALLATION AREA BY ANCHORING BLANKET IN A 6" DEEP TRENCH BACKFILL AND COMPACT TRENCH AFTER STAPLING.
- ROLL THE BLANKET DOWN THE SWALE IN THE DIRECTION OF THE WATER FLOW.
- THE EDGES OF BLANKETS MUST BE STAPLED WITH APPROX. 4 INCH OVERLAP WHERE 2 OR MORE STRIP WIDTHS ARE REQUIRED.
- WHEN BLANKETS MUST BE SPLICED DOWN THE SWALE, PLACE UPPER BLANKET END OVER LOWER END WITH 6 INCH (MIN.) OVERLAP AND STAPLE BOTH TOGETHER.
- METHOD OF INSTALLATION SHALL BE AS PER MANUFACTURER'S RECOMMENDATIONS.
- EROSION CONTROL BLANKETS SHALL BE USED IN ALL AREAS WHERE SLOPES EXCEED 3:1.

Erosion Control Blanket Slope Installation

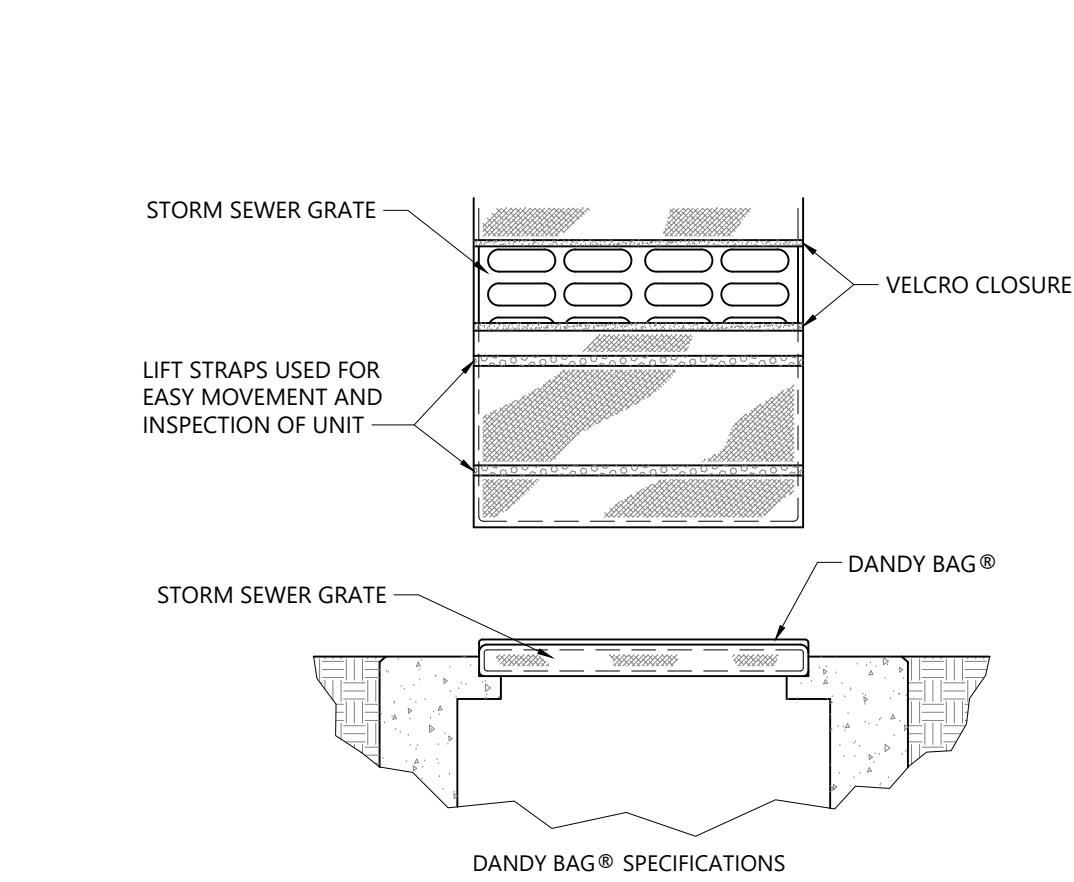
N.T.S. Source: VHB LD_680



HI-FLOW DANDY BAG® (SAFETY ORANGE)

Mechanical Properties	Test Method	Units	MARV
Grab Tensile Strength	ASTM D 4632	KN (lbs)	1.62 (365) X 0.89 (200)
Grab Tensile Elongation	ASTM D 4632	%	24 X 13
Puncture Strength	ASTM D 4633	KN (lbs)	0.40 (90)
Machine Tear Strength	ASTM D 5156	KN (lbs)	2907 (650)
Transected Tear Strength	ASTM D 4633	KN (lbs)	0.51 (115) X 0.33 (75)
UV Resistance	ASTM D 4355	h	8
Apparent Opening Size	ASTM D 4753	Min (US Std Sieve)	0.425 (40)
Flow Rate	ASTM D 4491	mm/min (gal/min/ft²)	2907 (145)
Permeability	ASTM D 4491	sec	3.1

*Note: All Dandy Bags® can be ordered with our optional oil absorbent pillows



HI-FLOW DANDY BAG® (SAFETY ORANGE)

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Grab Tensile Elongation	ASTM D 4632	%	24 X 13
Puncture Strength	ASTM D 4633	KN (lbs)	0.40 (90)
Machine Tear Strength	ASTM D 5156	KN (lbs)	2907 (650)
Transected Tear Strength	ASTM D 4633	KN (lbs)	0.51 (115) X 0.33 (75)
UV Resistance	ASTM D 4355	h	8
Apparent Opening Size	ASTM D 4753	Min (US Std Sieve)	0.425 (40)
Flow Rate	ASTM D 4491	mm/min (gal/min/ft²)	2907 (145)
Permeability	ASTM D 4491	sec	3.1

*Note: All Dandy Bags® can be ordered with our optional oil absorbent pillows

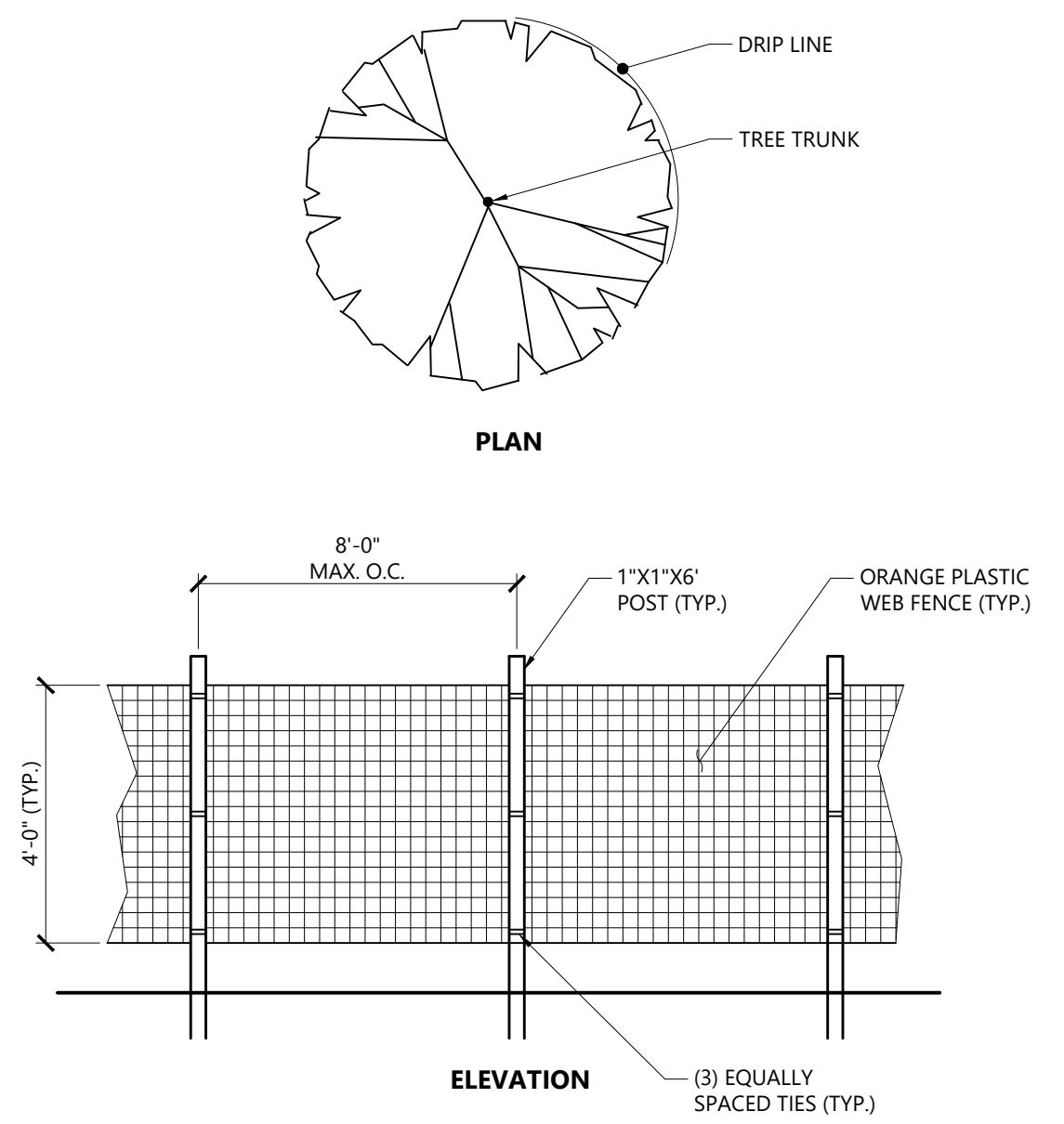


NOTE

THE DANDY BAG® WILL BE MANUFACTURED IN THE U.S.A. FROM A WOVEN MONOPLAMENT FABRIC THAT MEETS OR EXCEEDS THE FOLLOWING SPECIFICATIONS:

Detail of Curb Inlet Sediment Control Device with Curb Filter

N.T.S. Source: Dandy Products

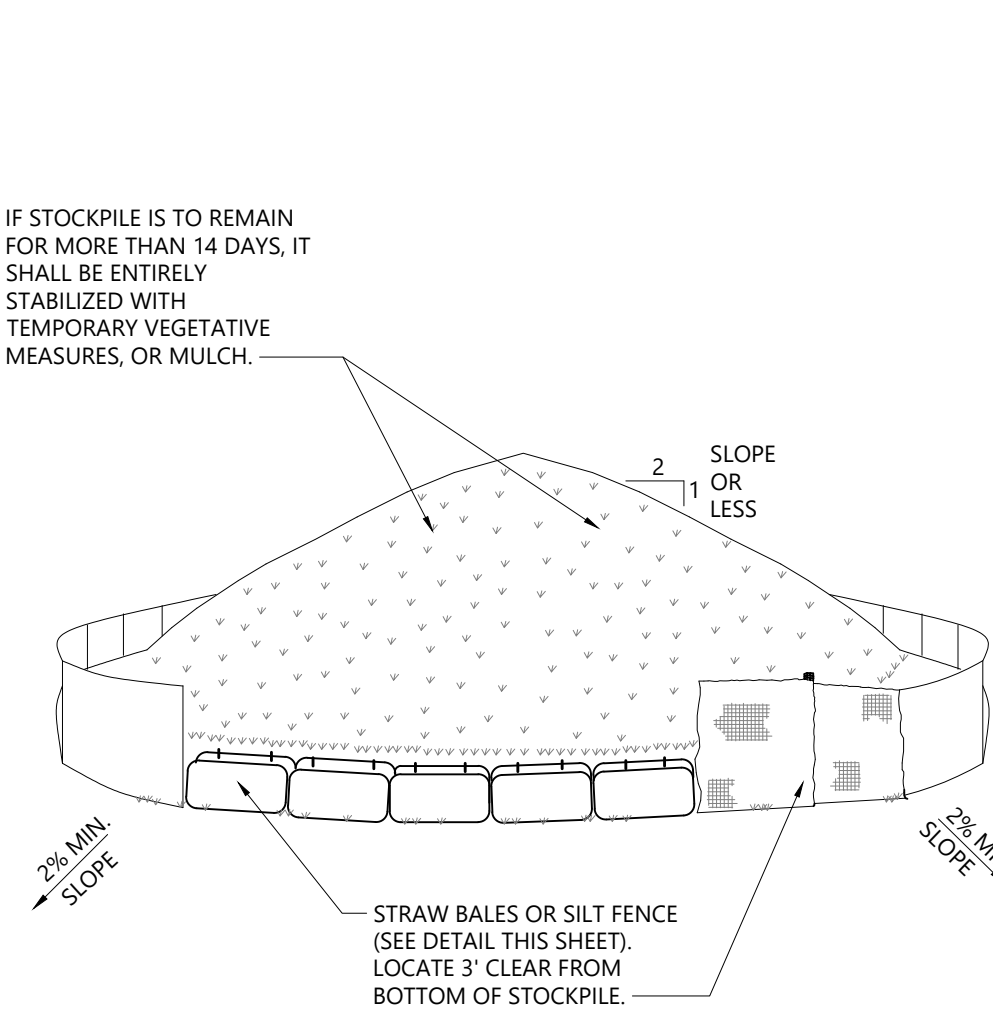


NOTES

- INSTALL TREE PROTECTION FENCE AT THE DRIP LINE OF EXISTING TREES TO REMAIN.

Tree Protection Fence

N.T.S. Source: VHB LD_610



IF STOCKPILE IS TO REMAIN FOR MORE THAN 14 DAYS, IT SHALL BE ENTIRELY STABILIZED WITH TEMPORARY VEGETATIVE MEASURES, OR MULCH.

NOTES

- AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
- MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
- UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAW BALES.
- CONTRACTOR SHALL INSPECT INSTALLATIONS EVERY 7 DAYS MINIMUM AND/OR AS REQUIRED AND AFTER ANY RAINFALL EVENT OF 1/2" OR GREATER AND MAKE NECESSARY REPAIRS AS NEEDED.

Material Stockpile Area Detail

N.T.S.

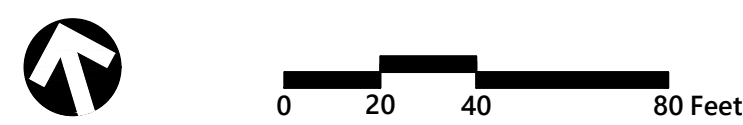
Orchards on Hudson Residential Dock Road Marlborough, NY

No. Revision Date Apprd.

Designed by DB Checked by AL
Issued for Date

Site Plan Approval August 9, 2024

Not Approved for Construction
Drawing Title
**Erosion and Sediment
Control Details**



Dock Road
Marlborough, NY

No.	Revision	Date	Appvd.
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Designed by	Checked by
DR	AL

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Photometric Plan

Drawing Number

 **C7.01**

Sheet **38** of **47**

IT IS A VIOLATION OF SECTION 7209 OF ARTICLE 145 OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON TO ALTER ANY DOCUMENT THAT BEARS THE SEAL OF A PROFESSIONAL ENGINEER, UNLESS THE PERSON IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER.



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**Leyton Properties
Residences**
Dock Road
Marlborough, NY

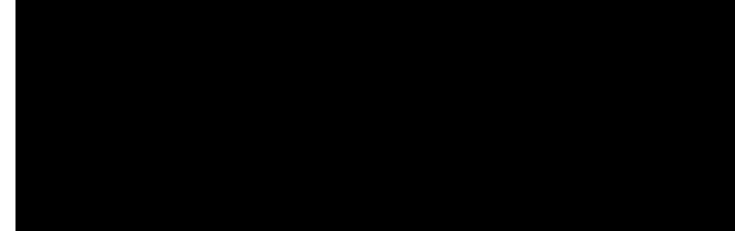
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Issued for		Date	

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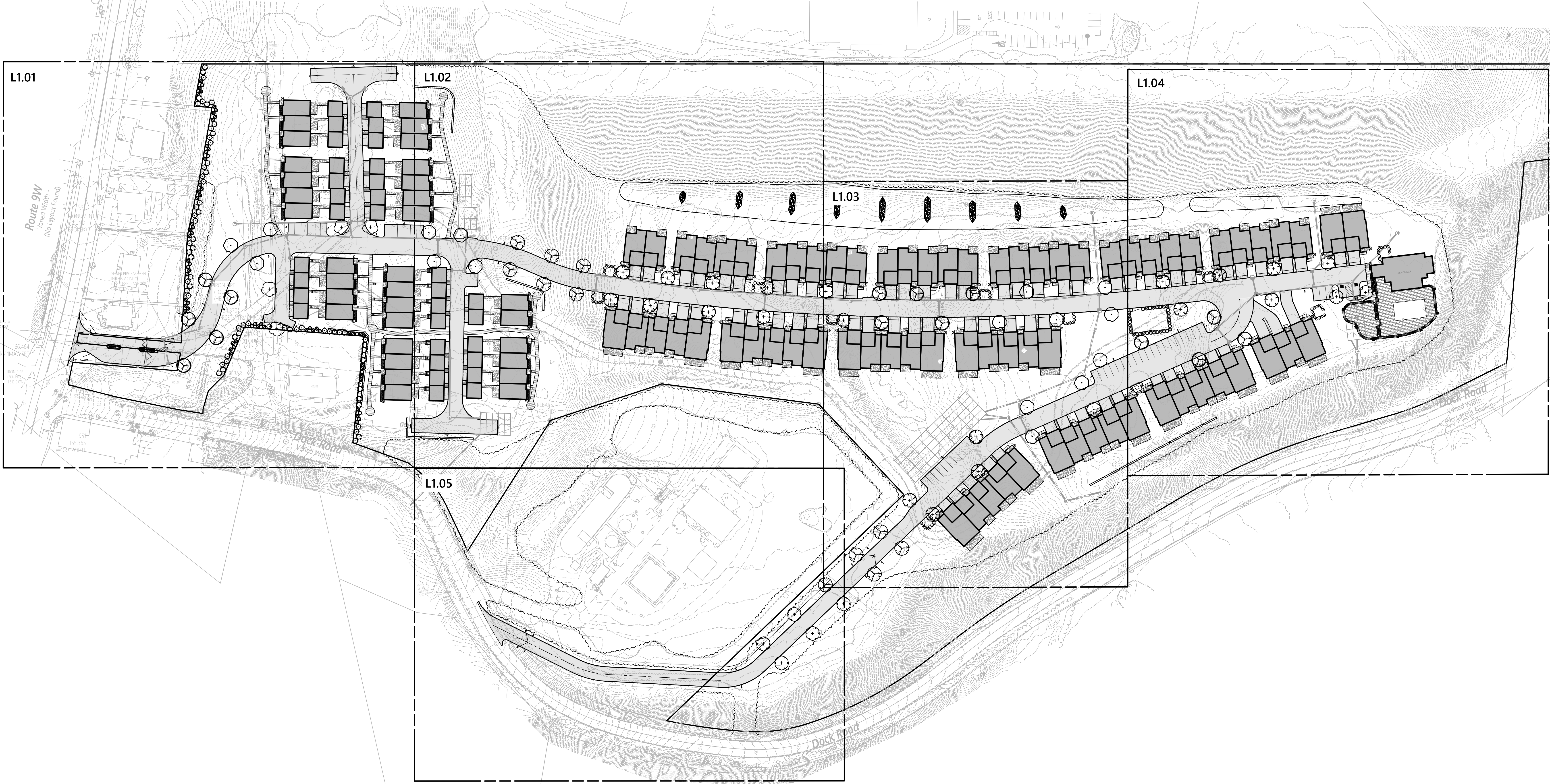
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Photometric Plan



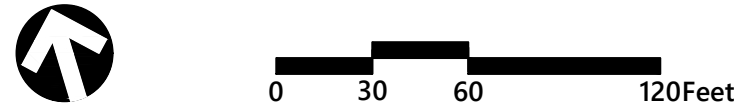
Drawing Number
C7.02
Sheet 29 of 47

Project Number
20578.01



OVERALL PLANT SCHEDULE

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
EVERGREEN TREES					
JVE	65	Juniperus virginiana 'Emerald Sentinel'	Eastern Redcedar	6 - 7' HT.	
TPG	67	Thuja plicata 'Green Giant'	Western Arborvitae	6 - 7' HT.	
SHADE TREES					
ARF	15	Acer rubrum 'Frank Jr.'	Redpointe® Maple	2 1/2 - 3" CAL	
GBA	13	Ginkgo biloba 'Autumn Gold' TM	Maidenhair Tree	2 1/2 - 3" CAL	
LS	17	Liquidambar styraciflua	Sweet Gum	2 1/2 - 3" CAL	
PAM	11	Platanus x acerifolia 'Morton Circle'	Exclamation!™ London Plane Tree	2 1/2 - 3" CAL	
QMC	4	Quercus muehlenbergii	Chinkapin Oak	2 1/2 - 3" CAL	
UDJ	14	Ulmus davidiana japonica 'Morton'	Accolade® Elm	2 1/2 - 3" CAL	
SHRUBS					
HQ	56	Hydrangea quercifolia	Oakleaf Hydrangea	18 - 24" HT / SPD	
IGG	338	Ilex glabra 'SMNIGAB17'	Gem Box® Inkberry Holly	12 - 18" HT./SPD.	
PJM	108	Pieris japonica 'Mountain Fire'	Mountain Fire Japanese Pieris	18 - 24" HT / SPD	
PLS	35	Prunus laurocerasus 'Schipkaensis'	Schipka Laurel	30 - 36" HT./SPD.	
CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
ORNAMENTAL GRASSES					
CAK	213	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	#1 CONT.	24" o.c.
DCN	1,501	Deschampsia cespitosa 'Northern Lights'	Northern Lights Tufted Hair Grass	5" Plug	12" o.c.
PERENNIALS					
CMI	456	Carex morrowii 'Ice Dance'	Ice Dance Japanese Sedge	5" Plug	12" o.c.
NWJ	20	Nepeta x faassenii 'Junior Walker'	Junior Walker Catmint	#1 CONT.	24" o.c.



Orchards on Hudson
Residential
Dock Road
Marlborough, NY


No.	Revision	Date	App'd.
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Overall Planting Plan



Project Number
20578.01

Sheet 41 of 47

L1.00

PLANT SCHEDULE L1.01

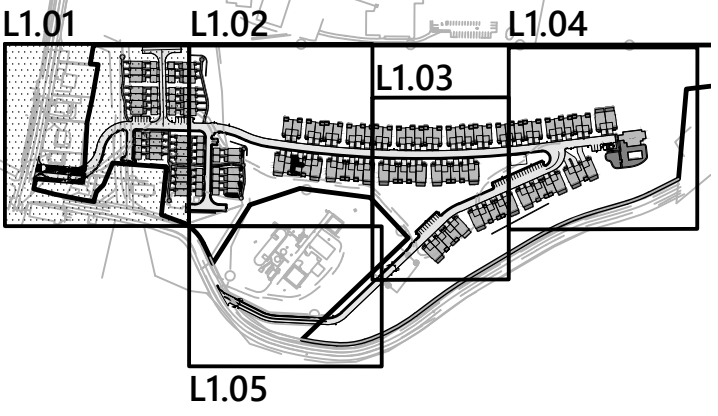
CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
EVERGREEN TREES					
JVE	65	Juniperus virginiana 'Emerald Sentinel'	Eastern Redcedar	6 - 7' HT.	
TPG	67	Thuja plicata 'Green Giant'	Western Arborvitae	6 - 7' HT.	
SHADE TREES					
ARF	5	Acer rubrum 'Frank Jr.'	Redpointe® Maple	2 1/2 - 3" CAL.	
LS	3	Liquidambar styraciflua	Sweet Gum	2 1/2 - 3" CAL.	
QMC	4	Quercus muehlenbergii	Chinkapin Oak	2 1/2 - 3" CAL.	
SHRUBS					
HQ	10	Hydrangea quercifolia	Oakleaf Hydrangea	18 - 24" HT / SPD	
IGG	133	Ilex glabra 'SMNIGAB17'	Gem Box® Inkberry Holly	12 - 18" HT/SPD.	
CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
ORNAMENTAL GRASSES					
DCN	885	Deschampsia cespitosa 'Northern Lights'	Northern Lights Tufted Hair Grass	5" Plug	12" o.c.
PERENNIALS					
NJW	20	Nepeta x faassenii 'Junior Walker'	Junior Walker Catmint	#1 CONT.	24" o.c.






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0 10 20 40 Feet

**Orchards on Hudson
Residential**
Dock Road
Marlborough, NY

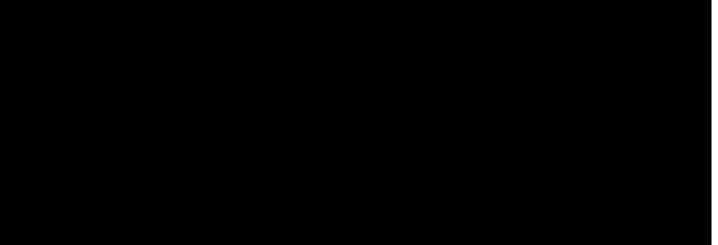
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Designed by	CN	Checked by	JCV
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Drawing Title

Planting Plan



Sheet

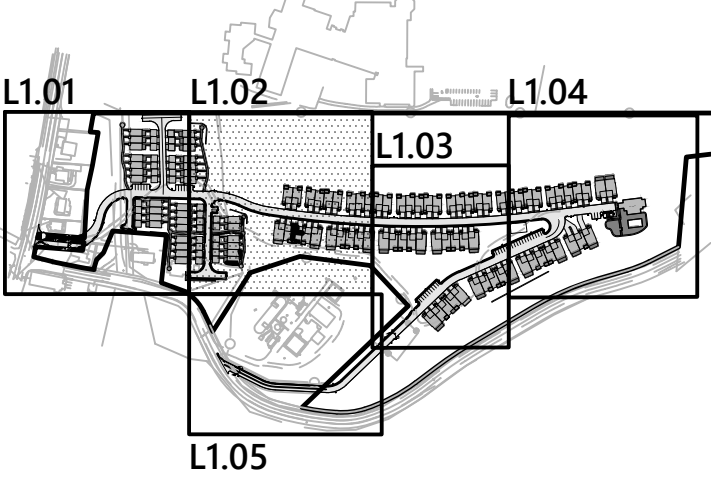
L1.01

42 of 47

Project Number
20578.01



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0 10 20 40 Feet

Orchards on Hudson
Residential

Dock Road
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Planting Plan



L1.02

Sheet 43 of 47

Project Number

20578.01

PLANT SCHEDULE L1.02

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
SHADE TREES					
GBA	3	Ginkgo biloba 'Autumn Gold' TM	Maidenhair Tree	2 1/2 - 3" CAL.	
LS	4	Liquidambar styraciflua	Sweet Gum	2 1/2 - 3" CAL.	
PAM	6	Platanus x acerifolia 'Morton Circle'	Exclamation™ London Plane Tree	2 1/2 - 3" CAL.	
UDJ	5	Ulmus davidiana japonica 'Morton'	Accolade® Elm	2 1/2 - 3" CAL.	
SHRUBS					
HQ	16	Hydrangea quercifolia	Oakleaf Hydrangea	18 - 24" HT / SPD	
IGG	110	Ilex glabra 'SMNIGAB17'	Gem Box® Inkberry Holly	12 - 18" HT./SPD.	
PJM	30	Pieris japonica 'Mountain Fire'	Mountain Fire Japanese Pieris	18 - 24" HT / SPD	
ORNAMENTAL GRASSES					
DCN	489	Deschampsia cespitosa 'Northern Lights'	Northern Lights Tufted Hair Grass	5" Plug	12" o.c.
PERENNIALS					
CMI	122	Carex morrowii 'Ice Dance'	Ice Dance Japanese Sedge	5" Plug	12" o.c.



Match Line

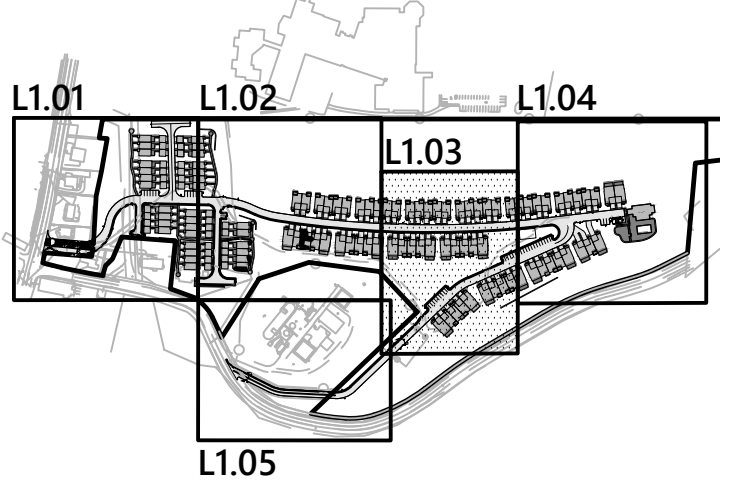
See Sheet L1.05

See Sheet L1.03

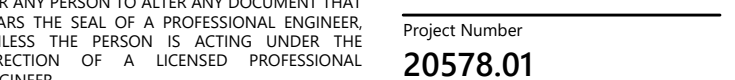
Match Line



<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>SIZE</u>	<u>SPACING</u>
<u>PERENNIALS</u>					
CMI	213	Carex morrowii 'Ice Dance'	Ice Dance Japanese Sedge	5" Plug	12" o.c.

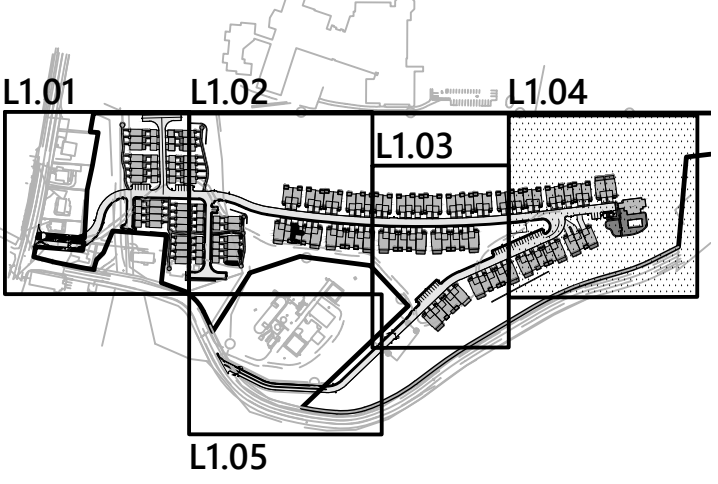


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PLANT SCHEDULE L1.04

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
SHADE TREES					
ARF	4	Acer rubrum 'Frank Jr.'	Redpointe® Maple	2 1/2 - 3" CAL.	
GBA	3	Ginkgo biloba 'Autumn Gold' TM	Maidenhair Tree	2 1/2 - 3" CAL.	
UDJ	5	Ulmus davidiana japonica 'Morton'	Accolade® Elm	2 1/2 - 3" CAL.	
SHRUBS					
HQ	16	Hydrangea quercifolia	Oakleaf Hydrangea	18 - 24" HT / SPD	
IGG	62	Ilex glabra 'SMNIGAB17'	Gem Box® Inkberry Holly	12 - 18" HT./SPD.	
PJM	40	Pieris japonica 'Mountain Fire'	Mountain Fire Japanese Pieris	18 - 24" HT / SPD.	
PLS	34	Prunus laurocerasus 'Schipkaensis'	Schipka Laurel	30 - 36" HT./SPD.	
ORNAMENTAL GRASSES					
CAK	213	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	#1 CONT.	24" o.c.
DCN	127	Deschampsia cespitosa 'Northern Lights'	Northern Lights Tufted Hair Grass	5" Plug	12" o.c.
PERENNIALS					
CMI	121	Carex morrowii 'Ice Dance'	Ice Dance Japanese Sedge	5" Plug	12" o.c.

See Sheet L1.03

Match Line



0 10 20 40 Feet

Orchards on Hudson
Residential

Dock Road
Marlborough, NY

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Site Plan Approval August 9, 2024

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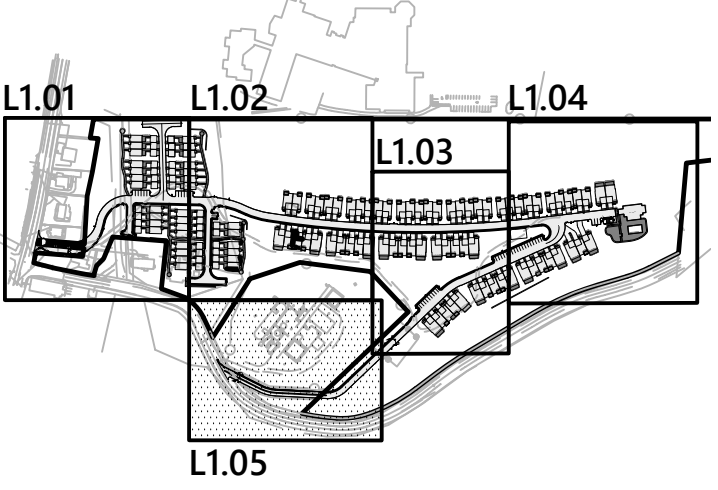
Planting Plan



L1.04

Sheet 45 of 47

Project Number
20578.01



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**Orchards on Hudson
Residential**
Dock Road
Marlborough, NY

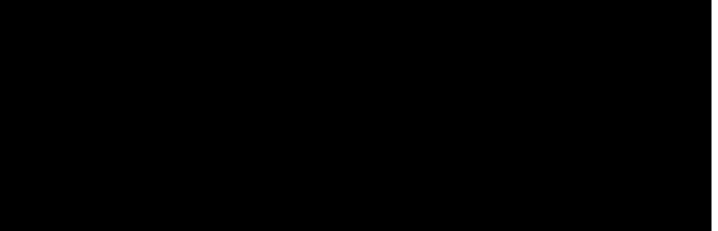
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Drawing Title

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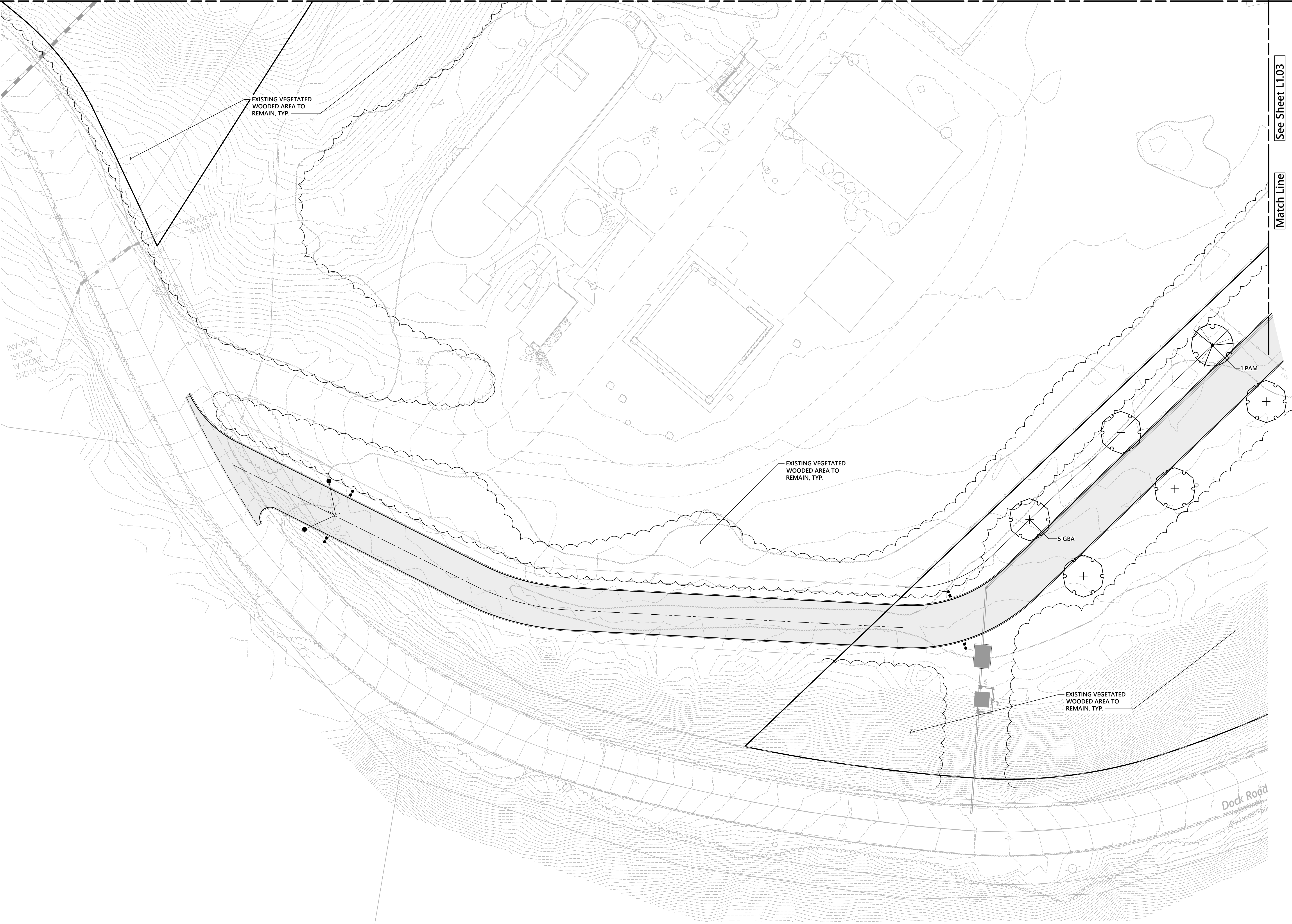
Project Number
L1.05
Sheet 46 of 47
Project Number
20578.01

Match Line

See Sheet L1.02

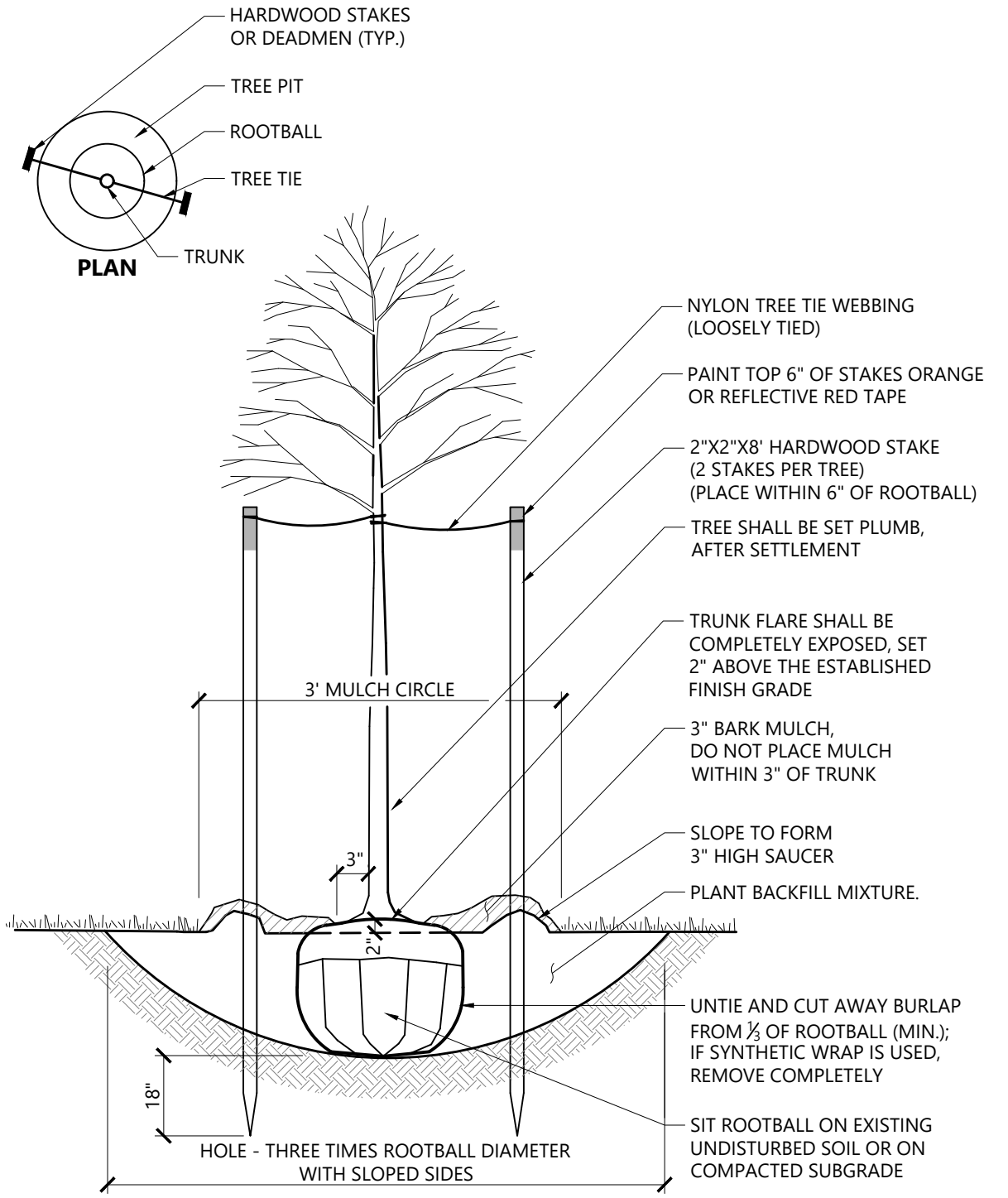
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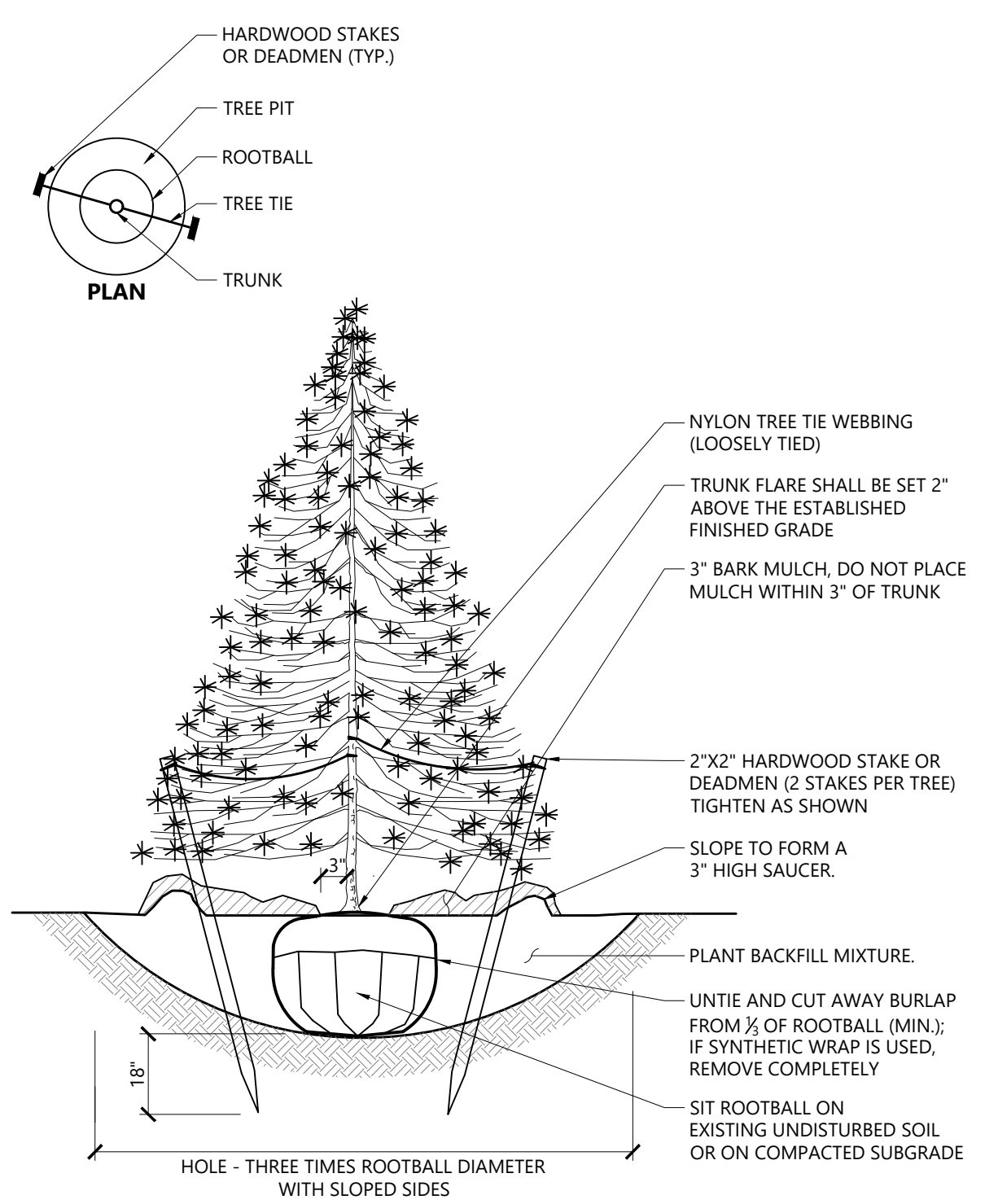


PLANT SCHEDULE L1.05

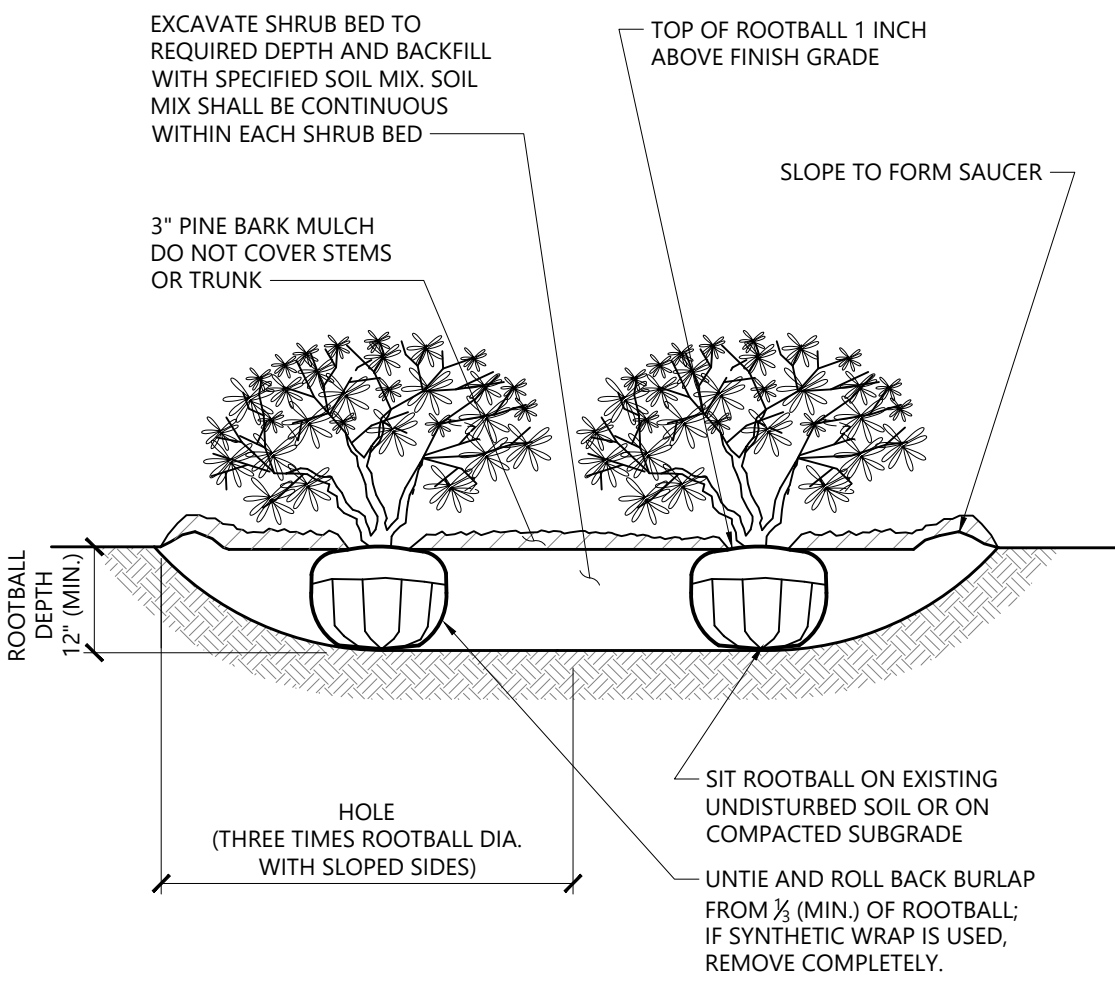
CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
SHADE TREES				
GBA	5	Ginkgo biloba 'Autumn Gold' TM	Maidenhair Tree	2 1/2 - 3" CAL.
PAM	1	Platanus x acerifolia 'Morton Circle'	Exclamation!™ London Plane Tree	2 1/2 - 3" CAL.



Tree Planting (For Trees Under 4" Caliper) 9/21
N.T.S. Source: VHB LD_602



Evergreen Tree Planting 9/21
N.T.S. Source: VHB LD_604

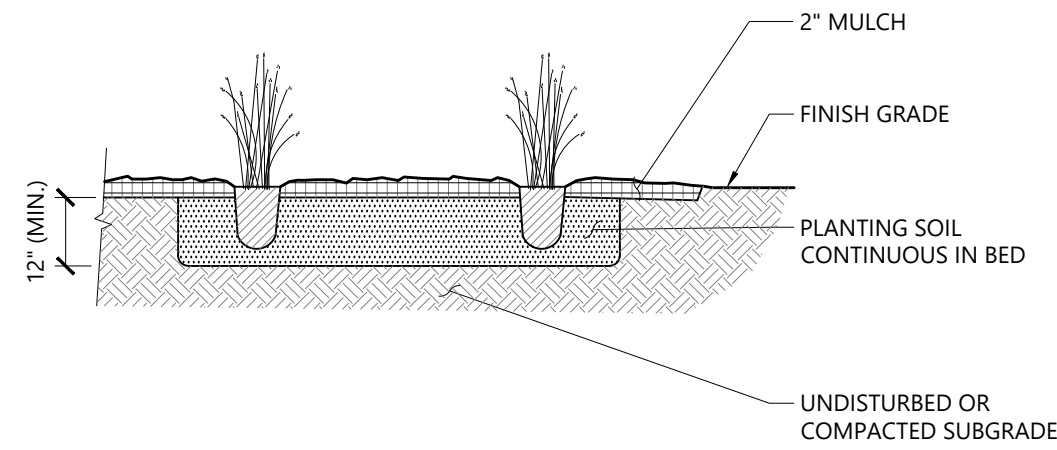
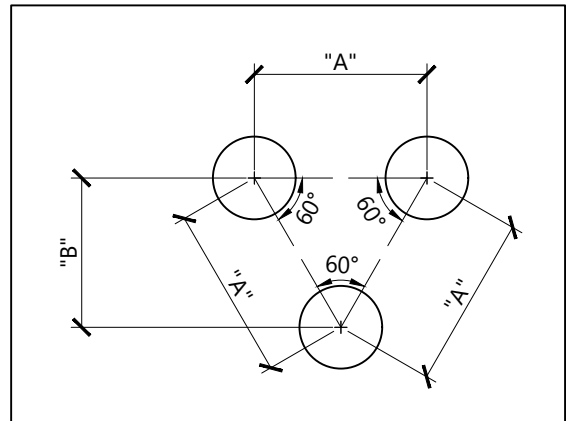


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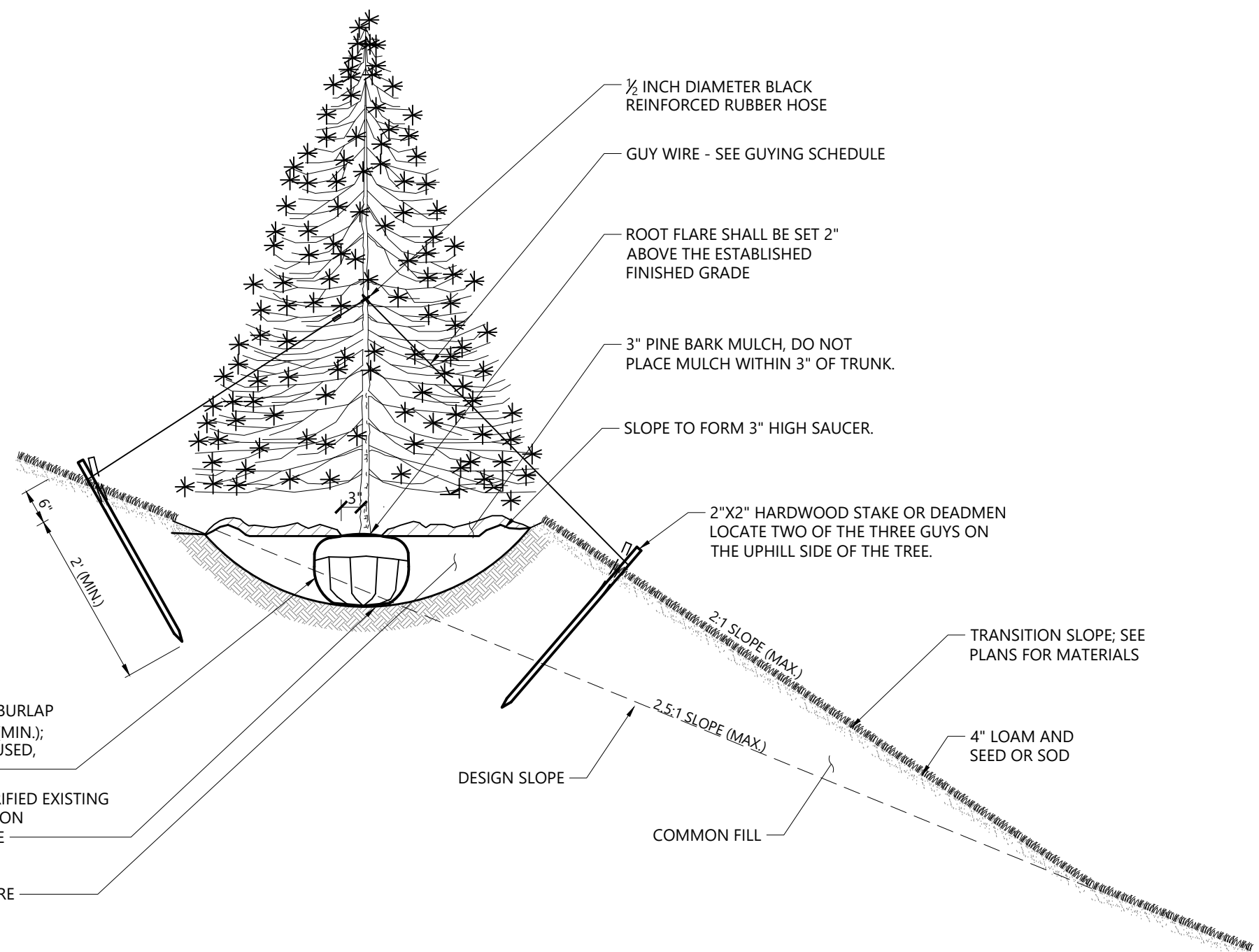
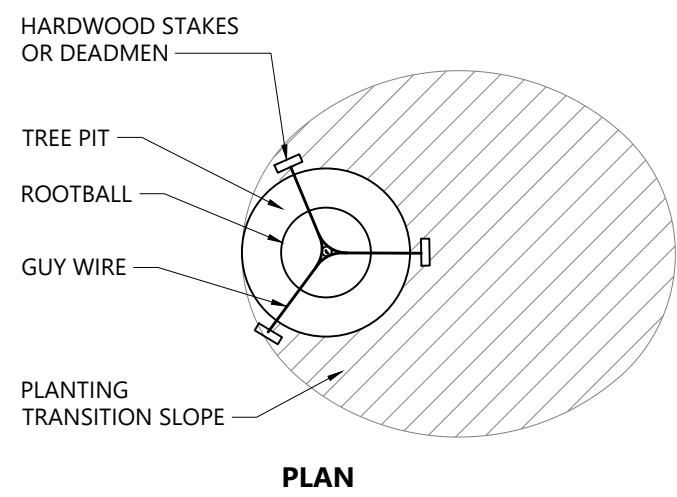
1. LOOSEN ROOTS AT THE OUTER EDGE OF ROOTBALL OF CONTAINER GROWN SHRUBS.

Shrub Bed Planting 1/16
N.T.S. Source: VHB LD_601

PLANT SPACING	
PLANT SPACING ("A")	ROW SPACING ("B")
6 IN. O.C.	5 IN. O.C.
8 IN. O.C.	7 IN. O.C.
10 IN. O.C.	8 1/2 IN. O.C.
12 IN. O.C.	10 1/2 IN. O.C.
15 IN. O.C.	13 IN. O.C.
18 IN. O.C.	16 IN. O.C.
24 IN. O.C.	21 IN. O.C.
30 IN. O.C.	26 IN. O.C.
36 IN. O.C.	30 IN. O.C.
48 IN. O.C.	42 IN. O.C.
54 IN. O.C.	48 IN. O.C.
60 IN. O.C.	54 IN. O.C.



Perennial and Ornamental Grass Planting 1/16
N.T.S. Source: VHB LD_618



Tree Planting on Slope 1/16
N.T.S. Source: VHB LD_605

Tree Protection

1. EXISTING TREES TO REMAIN SHALL BE PROTECTED WITH TEMPORARY CONSTRUCTION FENCE. ERECT FENCE AT EDGE OF THE TREE DRIPLINE PRIOR TO START OF CONSTRUCTION.
2. CONTRACTOR SHALL NOT OPERATE VEHICLES WITHIN THE TREE PROTECTION AREA. CONTRACTOR SHALL NOT STORE VEHICLES OR MATERIALS, OR DISPOSE OF ANY WASTE MATERIALS, WITHIN THE TREE PROTECTION AREA.
3. DAMAGE TO EXISTING TREES CAUSED BY THE CONTRACTOR SHALL BE REPAIRED BY A CERTIFIED ARBORIST AT THE CONTRACTOR'S EXPENSE.
4. NO UNAUTHORIZED TREE REMOVALS, UNLESS AS SPECIFIED ON CONTRACT DOCUMENTS, APPROVED BY LOCAL MUNICIPALITIES, AND LANDSCAPE ARCHITECT.

Edge of Woods Clearing

1. EXISTING TREES TO REMAIN SHALL BE PROTECTED WITH TEMPORARY EROSION CONTROL FENCE AND HAY BALE BARRIER. ERECT BARRIER AT EDGE OF THE EARTHWORK CUT LINE PRIOR TO TREE CLEARING. LAY OUT THIS LINE BY FIELD SURVEY.

Plant Maintenance Notes

1. CONTRACTOR SHALL PROVIDE COMPLETE MAINTENANCE OF THE LAWNS AND PLANTINGS. NO PERMANENT IRRIGATION SYSTEM IS PROPOSED FOR THIS SITE. THE CONTRACTOR SHALL SUPPLY SUPPLEMENTAL WATERING FOR NEW LAWNS AND PLANTINGS DURING THE PLANT GUARANTEE PERIOD.
2. CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, AND EQUIPMENT FOR THE COMPLETE LANDSCAPE MAINTENANCE WORK. WATER SHALL BE PROVIDED BY THE CONTRACTOR.
3. WATERING SHALL BE REQUIRED DURING THE GROWING SEASON, WHEN NATURAL RAINFALL IS BELOW ONE INCH PER WEEK.
4. WATER SHALL BE APPLIED IN SUFFICIENT QUANTITY TO THOROUGHLY SATURATE THE SOIL IN THE ROOT ZONE OF EACH PLANT.
5. CONTRACTOR SHALL REPLACE DEAD PLANTS AND LESS THAN 75%-ALIVE PLANTS AT THE END OF THE PLANT GUARANTEE PERIOD. CONTRACTOR SHALL TURN OVER MAINTENANCE TO THE FACILITY MAINTENANCE STAFF AT THAT TIME.

Turf Seeding Notes:

1. **SEED MIX 'A':** UNLESS OTHERWISE NOTED, ALL DISTURBED LANDSCAPE AREAS NOT BEING PLANTED, SHALL BE SEEDED WITH THE LATEST VERSION OF THE FOLLOWING SEED MIX:

TURF-TYPE TALL FESCUE BLEND:

VARIETY	PURITY %	GERM %	ORIGIN
4TH MILLENNIUM SRP TALL FESCUE	33.13	94	OR
RAPTOR III TALL FESCUE	33.28	95	OR
AVENGER III TALL FESCUE	32.97	97	OR

WEEDS %: 0.00 OTHER CROP %: 0.00 INERT %: 0.62

OR, APPROVED EQUAL

SEEDING RATE SHALL BE 8 LBS. PER 1,000.00 SQ. FT.

2. **SEED MIX 'A' - ALTERNATE BID** - UNLESS OTHERWISE NOTED, ALL DISTURBED LANDSCAPE AREAS NOT BEING PLANTED OR MULCHED, SHALL BE **SODDED** WITH A TURF-TYPE TALL FESCUE BLEND SOD PRODUCT.

3. ALL SEEDING SHALL BE HYDRO-SEEDED WITH THE FOLLOWING ENGINEERED WOOD FIBER HYDROMULCH AS PER MANUFACTURER'S SPECIFICATIONS. SUBMIT SAMPLE & PRODUCT DATA FOR APPROVAL PRIOR TO ORDERING.

FLEXITERRA HP-FGM - AS MANUFACTURED BY:
PROFILE PRODUCTS
750 W. LAKE COOK RD
SUITE 440
BUFFALO GROVE, IL 60089
1-800-207-6457

OR, APPROVED EQUAL

4. CONTRACTOR SHALL SUBMIT SEED: SOURCE, SAMPLE, AND CERTIFIED ANALYSIS; AND HYDRO-MULCH SAMPLE & PRODUCT DATA FOR LANDSCAPE ARCHITECT APPROVAL PRIOR TO ORDERING.

5. LAWNS SHALL EXHIBIT A UNIFORM, THICK, WELL-DEVELOPED STAND OF GRASS AND SHALL NOT HAVE BARE SPOTS IN EXCESS OF FOUR INCHES IN DIAMETER. BARE SPOTS SHALL COMPRISE NO MORE THAN TWO-PERCENT (2%) OF THE TOTAL AREA OF THE LAWN.

Planting Notes

1. ALL PROPOSED PLANTING LOCATIONS SHALL BE STAKED AS SHOWN ON THE PLANS FOR FIELD REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
2. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL BELOW GRADE AND ABOVE GROUND UTILITIES AND NOTIFY OWNERS REPRESENTATIVE OF CONFLICTS.
3. NO PLANT MATERIALS SHALL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE OF ANY CONFLICT.
4. A 3-INCH DEEP MULCH PER SPECIFICATION SHALL BE INSTALLED UNDER ALL TREES AND SHRUBS, AND IN ALL PLANTING BEDS, UNLESS OTHERWISE INDICATED ON THE PLANS, OR AS DIRECTED BY OWNER'S REPRESENTATIVE.
5. ALL PLANTING BACKFILL SOILS SHALL RECEIVE CERTIFIED WEED-FREE FULLY COMPOSTED LEAF MOLD SOIL AMENDMENT AT A RATE OF 33% (1 PART COMPOST TO 2 PARTS PLANTING SOIL). SUBMIT COMPOST CERTIFICATION & PRODUCT DATA PRIOR TO ORDERING FOR APPROVAL.
6. ALL TREES SHALL BE BALLED AND BURLAPPED, UNLESS OTHERWISE NOTED IN THE DRAWINGS OR SPECIFICATION, OR APPROVED BY THE OWNER'S REPRESENTATIVE.
7. FINAL QUANTITY FOR EACH PLANT TYPE SHALL BE AS GRAPHICALLY SHOWN ON THE PLAN. THIS NUMBER SHALL TAKE PRECEDENCE IN CASE OF ANY DISCREPANCY BETWEEN QUANTITIES SHOWN ON THE PLANT LIST AND ON THE PLAN. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN THE NUMBER OF PLANTS SHOWN ON THE PLANT LIST AND PLANT LABELS PRIOR TO BIDDING.
8. ANY PROPOSED PLANT SUBSTITUTIONS MUST BE REVIEWED BY LANDSCAPE ARCHITECT AND APPROVED IN WRITING BY THE OWNER'S REPRESENTATIVE.
9. ALL PLANT MATERIALS INSTALLED SHALL MEET THE LATEST SPECIFICATIONS OF THE "AMERICAN STANDARDS FOR NURSERY STOCK" PUBLISHED BY AMERICAN HORT AND CONTRACT DOCUMENTS.
10. ALL PLANT MATERIALS SHALL BE GUARANTEED FOR TWO YEARS FOLLOWING DATE OF FINAL ACCEPTANCE. DEAD PLANTS, AND PLANTS LESS THAN 75% ALIVE SHALL BE REPLACED. PLANT GUARANTEE DATE STARTS UPON FINAL ACCEPTANCE IN WRITING FROM LANDSCAPE ARCHITECT ACKNOWLEDGING SUCCESSFUL COMPLETION OF PROPOSED LANDSCAPE INSTALLATION IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, AND PUNCH LISTS AND DEFICIENCIES HAVE BEEN RESOLVED.
11. AREAS DESIGNATED "TOPSOIL & SEED" SHALL RECEIVE MINIMUM 6" OF TOPSOIL AND SPECIFIED SEED MIX. LAWNS OVER 2:1 SLOPE SHALL BE PROTECTED WITH EROSION CONTROL FABRIC. SUBMIT PRODUCT DATA FOR APPROVAL.

Irrigation Notes

1. CONTRACTOR SHALL PROVIDE COMPLETE IRRIGATION SYSTEM DESIGN AND INSTALLATION FOR PLANTINGS AND LAWN AREAS. DESIGN SHALL BE CERTIFIED BY A PROFESSIONAL LANDSCAPE ARCHITECT, ENGINEER, OR CERTIFIED IRRIGATION DESIGNER. DESIGN PLANS SHALL BE SUBMITTED TO OWNER'S REPRESENTATIVE FOR APPROVAL.
2. ALL LAWN AREAS SHALL BE ZONED SEPARATELY FROM PLANTING (MULCH) BEDS AREAS.
3. CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, AND EQUIPMENT FOR THE COMPLETE INSTALLATION OF THE IRRIGATION SYSTEM.
4. ALL IRRIGATION PIPING SHALL BE PVC. SUBMIT PIPE SIZES AND TYPES FOR APPROVAL.
5. CONTRACTOR SHALL PROVIDE DRAWINGS, MATERIAL SPECIFICATIONS, SCHEMATICS, AND OTHER LITERATURE AS MAY BE REQUIRED, FOR ALL CONDUIT, CONTROLS, TIMERS, VALVES, SPRINKLER HEADS, CONNECTORS, WIRING, RAIN GAUGE, ETC. TO THE OWNER'S CONSTRUCTION MANAGER FOR APPROVAL PRIOR TO INSTALLATION.
6. IRRIGATION CONTROLLER SHALL BE AN EPA WATERSENSE-LABELED WEATHER-BASED IRRIGATION CONTROLLER.
7. CONTRACTOR SHALL COORDINATE HIS/HER WORK WITH THE GENERAL CONTRACTOR AND SUB CONTRACTORS.
8. (INSIDE BUILDING) BACKFLOW PREVENTER AND METER IS REQUIRED. IT SHALL BE IN CONFORMANCE WITH STATE AND MUNICIPAL REQUIREMENTS.

(OUTSIDE BUILDING) BACKFLOW PREVENTER AND METER IS REQUIRED. IT SHALL BE IN CONFORMANCE WITH STATE AND MUNICIPAL REQUIREMENTS. LOCATE THIS EQUIPMENT IN A LOCKABLE "HOT BOX".

9. (INSIDE BUILDING) IRRIGATION CONTROL PANEL, BACKFLOW PREVENTER AND METER SHALL BE LOCATED IN THE BUILDING MECHANICAL ROOM. COORDINATE WITH THE GENERAL CONTRACTOR.

(OUTSIDE BUILDING) IRRIGATION CONTROL PANEL SHALL BE LOCATED IN A LOCKABLE CABINET DESIGNED TO HOUSE THE CONTROL PANEL.

10. SITE CONTRACTOR SHALL PROVIDE 4" SCHEDULE 40 PVC SLEEVES & PVC CAPS, BOTH ENDS, UNDER PAVEMENT TO PROVIDE ACCESS FOR IRRIGATION LINES TO ALL IRRIGATED AREAS.

11. IRRIGATION CONTRACTOR SHALL DEMONSTRATE FULL FUNCTIONALITY AND ADEQUATE WATERING OF PLANTINGS TO OWNER AND LANDSCAPE CONTRACTOR. SUBMIT WRITTEN SIGN-OFF FROM LANDSCAPE CONTRACTOR TO LANDSCAPE ARCHITECT FOR APPROVAL.

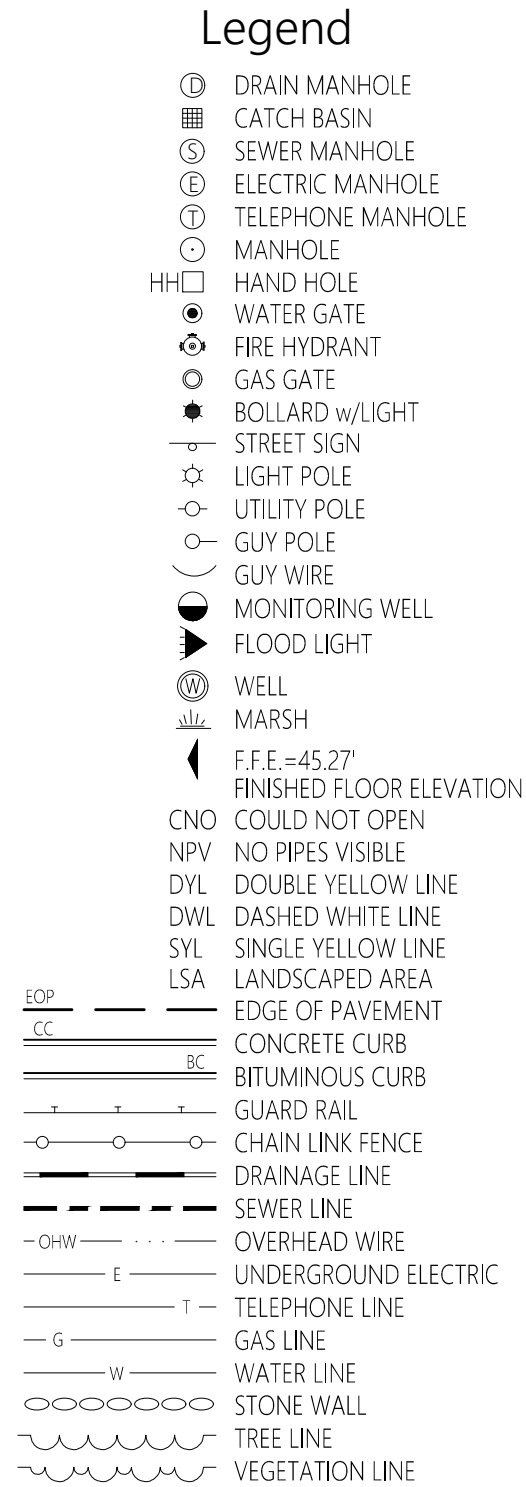
**Orchards on Hudson
Residential**
Dock Road
Marlborough, NY

Rev. Revision Date Appr.

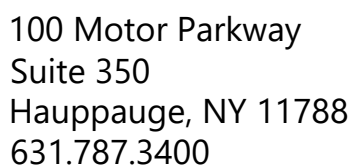
Designed by CN Checked by JCV
Issued for Date

Site Plan Approval August 9, 2024

Not Approved for Construction
Drawing Title
Planting Notes and Details

[illegible]

1. FINAL MAP OF SUBDIVISION OF LANDS OF JOSEPHINE MAZZELLA, SITUATE TOWN OF MARLBOROUGH, ULSTER COUNTY, NEW YORK, SCALE T=60', DATE: OCTOBER 14, 2002, REVISED: AUGUST 18, 2003. BROOKS AND BROOKS LAND SURVEYORS, P.C., HIGHLAND NY.
2. ALTA/NPS LAND TITLE SURVEY OF 103 & 137 DOCK ROAD - 8 HUDSON WAY, SITUATED IN THE TOWN OF MARLBOROUGH, ULSTER COUNTY, NEW YORK, SCALE T=60', DATE: DECEMBER 21, 2021. VHB INC., HALPAUUGE, NY.



**Survey of Property
Town of Marlborough
Ulster County,
New York**

June 3, 2024

Sheet 1 of 3

