

ADJOINING OWNERS

Moriarty Services, Inc. (reputed owner) L 5485 P 282 103.1-5-1	Moriarty Services, Inc. (reputed owner) L 5485 P 282 103.1-5-2	Moriarty Services, Inc. (reputed owner) L 5485 P 282 103.1-5-3	Moriarty Services, Inc. (reputed owner) L 5485 P 282 103.1-5-4
Gustavo L. Miranda & Elisa Lopez (reputed owner) L 5753 P 1 103.1-5-5	Theresa Corso & Robert Corso (reputed owner) L 1405 P 788 95.4-3-32	Timothy A. Marquis & Tara J. Marquis (reputed owner) L 1527 P 64 95.4-3-33.1	Theresa Ann Corso (reputed owner) L 3415 P 277 95.4-3-35
Hudson Valley Domicile, LLC (reputed owner) L 3016 P 219 95.4-3-8	Apple Exchange, Inc. (reputed owner) L 1240 P 599 95.4-3-21	Janet Wahl-Cordero (reputed owner) L 5566 P 54 95.4-3-4	James Mannese (reputed owner) L 4418 P 292 95.4-3-6.11
James J. Mannese & Bridget L. Mannese (reputed owner) L 5608 P 168 95.4-3-6.21			



LEGEND	
PROPERTY LINE	ADJACENT PROPERTY LINE
EASEMENT LINE	
LoD	LIMIT OF DISTURBANCE
EXISTING WETLAND	
EXISTING WETLAND STREAM	
200	EXISTING MAJOR CONTOUR
201	EXISTING MINOR CONTOUR
E/T/C	EXISTING FLOOD PLAIN
	EXISTING UTILITY
	EXISTING TREELINE



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Landscape Architecture

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Project No. 90107001



081473

APPROVED
MICHAEL J. FINAN
PSED PROFESSIONAL ENGINEER

GENERAL NOTES

1. SURVEY INFORMATION SHOWN IN THIS PLAN SET IS FROM A SURVEY ENTITLED "ORGANIC VALLEY, LLC" DATED APRIL 22, 2024 BY LAWSON SURVEYING & MAPPING.
2. HORIZONTAL DATUM IS NEW YORK STATE EAST ZONE (3101) NAD 83 GPS DERIVED.
3. VERTICAL DATUM IS NAVD 88 GPS DERIVED.
4. A WETLAND AND WATERBODY DELINEATION PERFORMED BY NORTH COUNTRY ECOLOGICAL SERVICES IN MAY 2024.

ULSTER COUNTY STANDARD NOTES

NO SITE PREPARATION OR CONSTRUCTION, INCLUDING UTILITY CONNECTIONS, SHALL COMMENCE UNTIL A VALID HIGHWAY WORK PERMIT HAS BEEN SECURED FROM THE ULSTER COUNTY DEPARTMENT OF PUBLIC WORKS UNDER SECTION 136 OF THE HIGHWAY LAW.

HIGHLAND SOLAR

SECTION 95.4, BLOCK 3, LOT 7.10, 7.210, & 7.220

TOWN OF MARLBOROUGH
ULSTER COUNTY

Project

REV	DATE	DRAWN	CHECKED	DESCRIPTION
0.	08/02/2024	LC	C2	INITIAL SUBMITTAL
1.	11/15/2024	LC	C2	PER TOWN COMMENTS & UCDP SUBMITTAL

Drawing No.

CB101

EXISTING
CONDITIONS PLAN

Sheet 2 of 17

120
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60
120
SCALE: 1 INCH = 120 FEET

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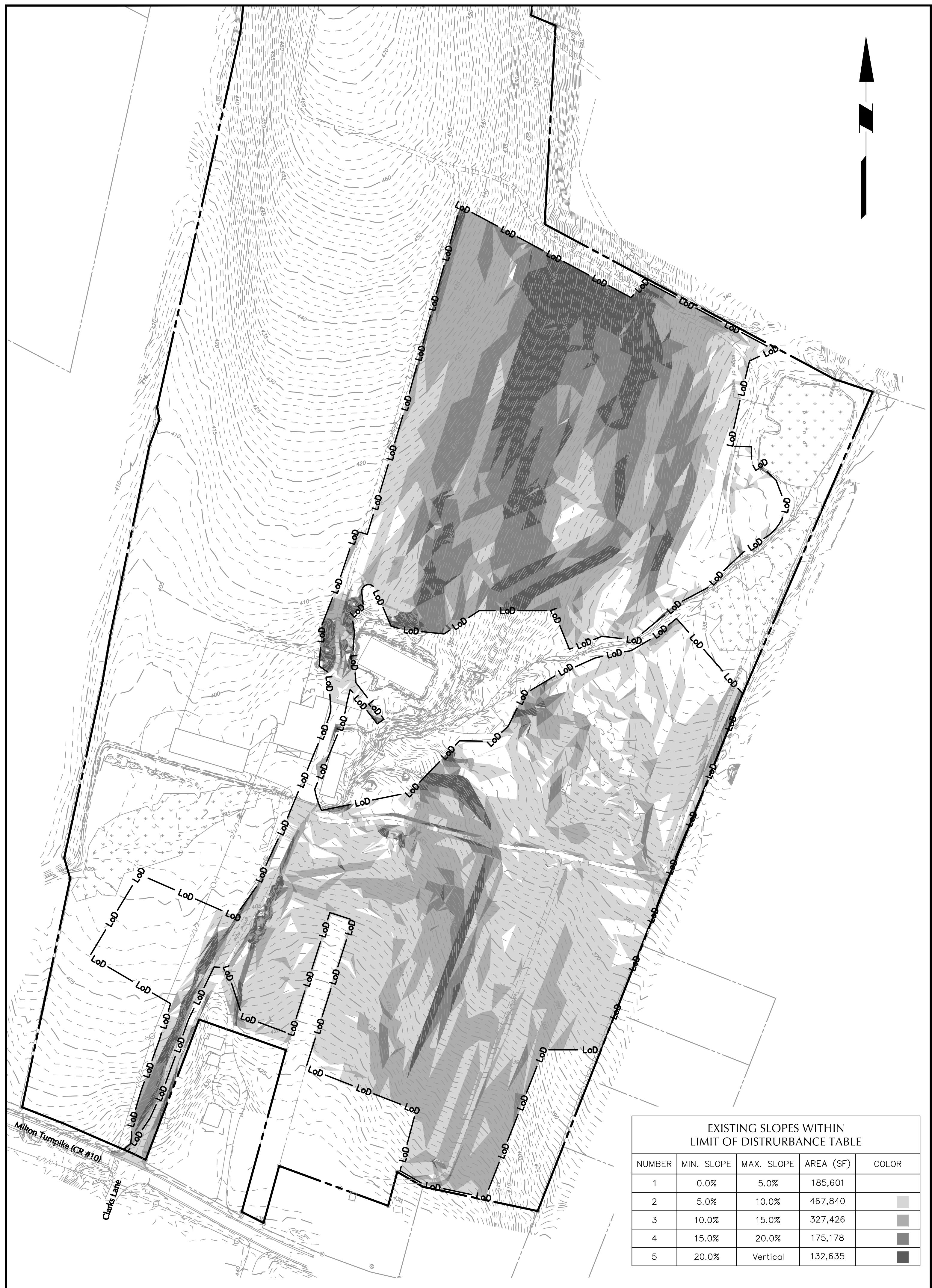
081473
MICHAEL J. FINAN
REGISTERED PROFESSIONAL ENGINEER

Project No. 90107001

HIGHLAND SOLAR

SECTION 95.4, BLOCK 3, LOT 7:10, 7:210, & 7:220
TOWN OF MARLBOROUGH
NEW YORK
ULSTER COUNTY

Project



120
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120

SCALE: 1 INCH = 120 FEET

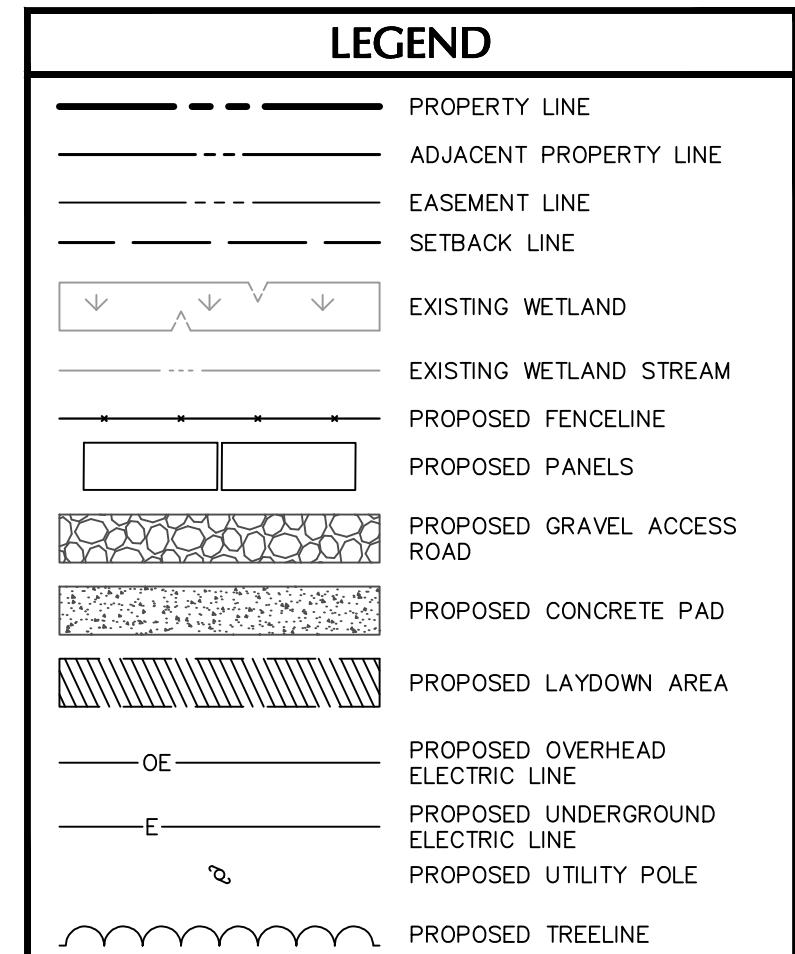
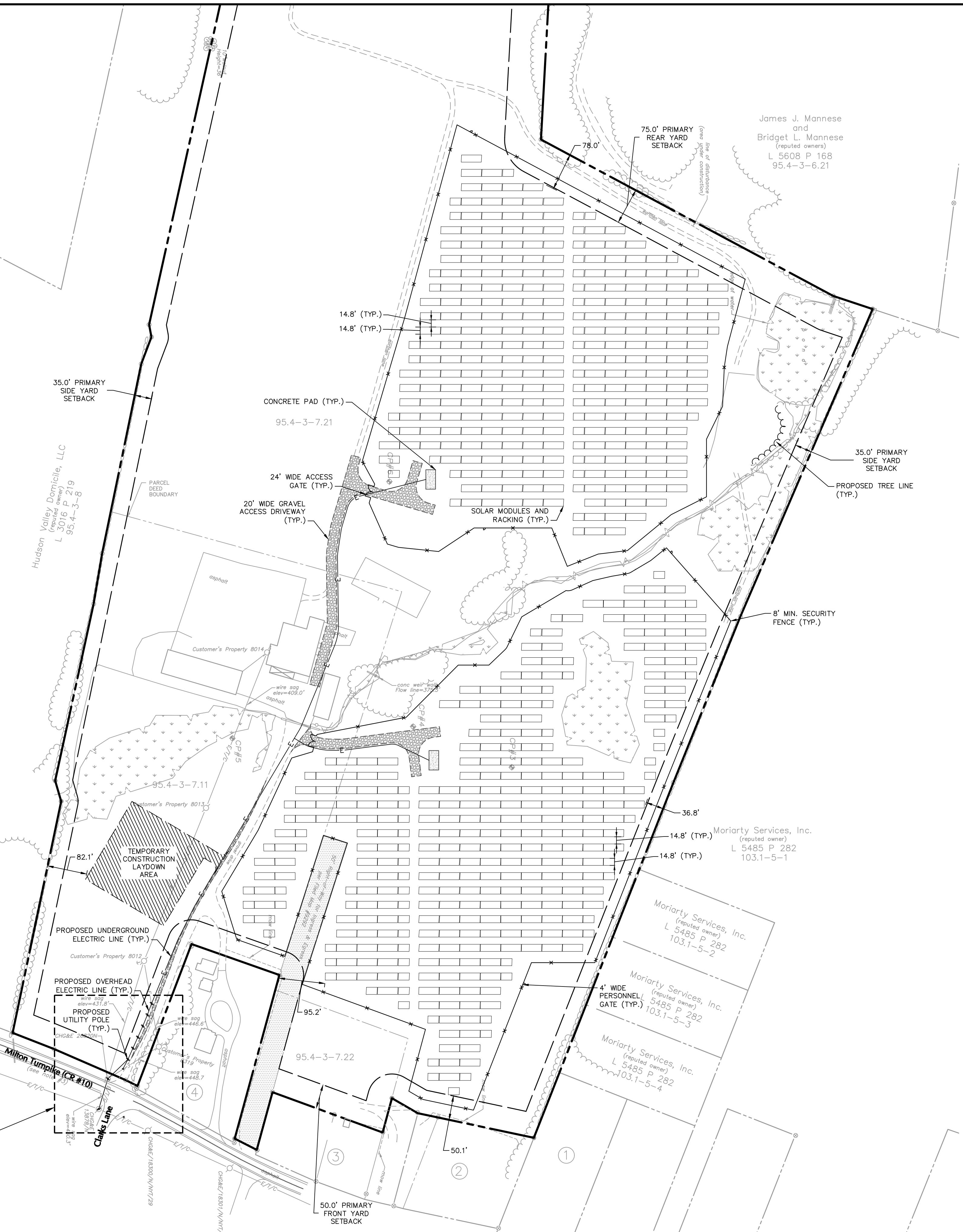
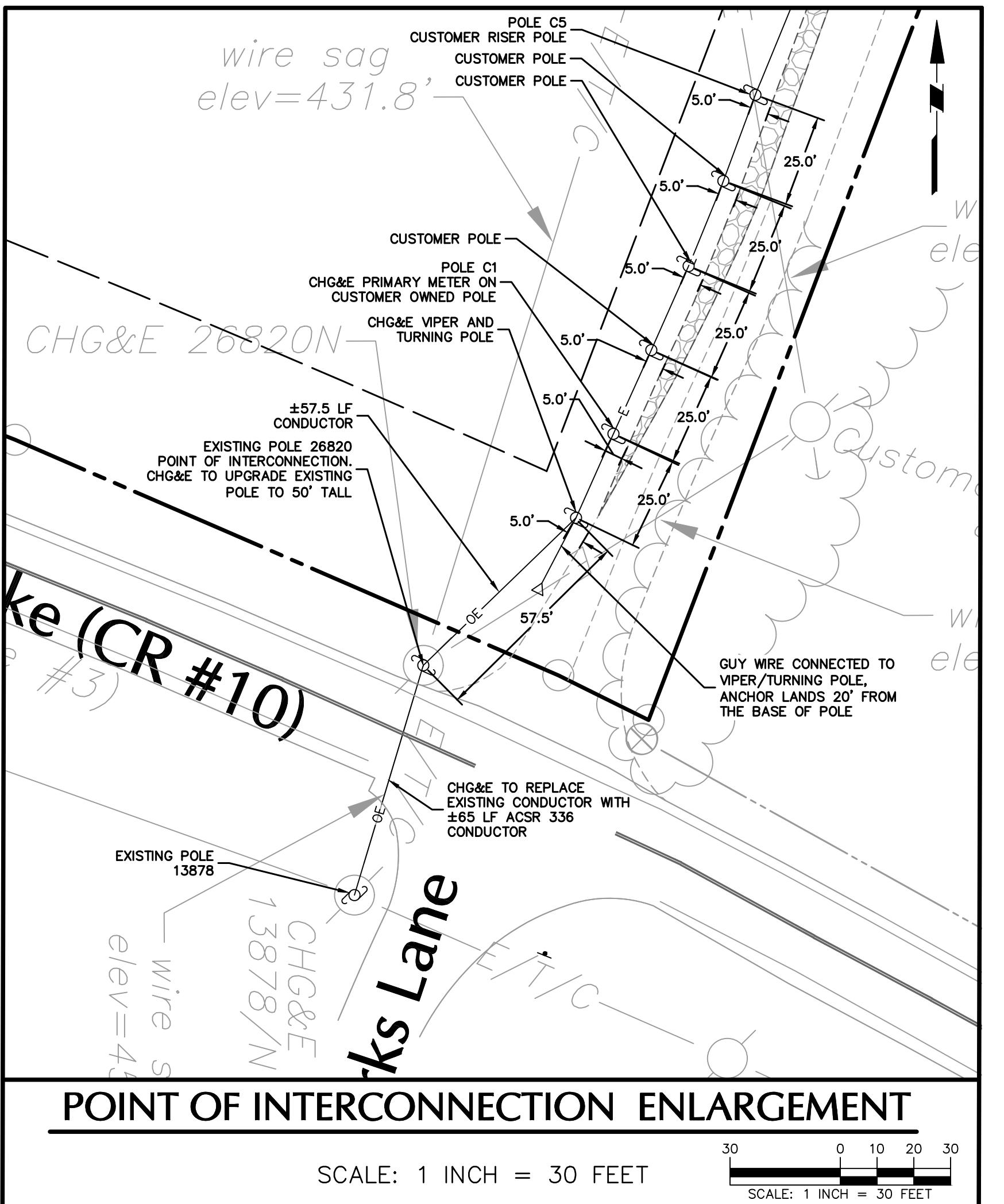
CA101

SLOPES ANALYSIS

PLAN

Sheet 3 of 17

ZONING COMPLIANCE TABLE			
PROPERTY ADDRESS:	206 MILTON TURNPIKE		
TAX PARCEL:	95.4-3-7.110, 7.210 & 7.220		
ZONING DISTRICT:	RAG-1		
SITE USE:	LARGE SCALE SOLAR ENERGY SYSTEM		
ITEM	REQUIRED ⁽¹⁾	EXISTING	PROPOSED
MIN. LOT SIZE	1 ACRE	78.0 ACRES	78.0 ACRES
MIN. LOT WIDTH	150 FEET	1,148.7 FEET	1,148.7 FEET
MIN. LOT DEPTH	200 FEET	1,796.6 FEET	1,796.6 FEET
MIN. FRONT YARD SETBACK	50 FEET	803.4 FEET	50.1 FEET
MIN. SIDE YARD SETBACK			
ONE	35 FEET	170.2 FEET	36.8 FEET
BOTH	80 FEET	780.4 FEET	118.9 FEET
MIN. REAR YARD SETBACK	75 FEET	931.3 FEET	78.0 FEET
MAX. BUILDING COVERAGE	20%	0.9%	0.9%
MAX. AREA OF USE ⁽²⁾	20 ACRES	--	16.75 ACRES
MAX. LOT COVERAGE ⁽²⁾	30%	--	10.7%
MAX. HEIGHT ⁽²⁾	15 FEET	--	<15 FEET
NOTE:			
1. THE REQUIREMENTS SHOWN ARE PER TOWN OF MARLBOROUGH TOWN CODE SECTION 155 ZONING.			
2. THE REQUIREMENTS SHOWN ARE PER TOWN OF MARLBOROUGH TOWN CODE SECTION 155-32.2 SOLAR ENERGY, SECTION I.			



UTILITY NOTES

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS IN A MANNER WHICH WILL NOT NEGATIVELY AFFECT ANY EXISTING USERS OF THESE UTILITIES.
2. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY (WATER, SEWER, GAS, ELECTRIC, TELEPHONE AND CABLE) LOCATIONS, INVERTS AND CONDITIONS PRIOR TO CONSTRUCTION. ANY CONDITIONS FOUND TO DIFFER FROM THOSE SHOWN ON THE DRAWINGS AND REQUIRING MODIFICATIONS TO THE SITE DESIGN SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE CONSTRUCTION. DIFFERING UTILITY CONDITIONS THAT ARE ENCOUNTERED BY THE CONTRACTOR, THAT REQUIRE MODIFICATION OF SITE DESIGN AND THAT ARE NOT BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CORRECT AT HIS SOLE COST.
3. THE LOCATION OF EXISTING ELECTRIC LINES ARE APPROXIMATE. THE CONTRACTOR MUST CONSULT THE LOCAL UTILITY COMPANIES FOR ADDITIONAL INFORMATION. ALL PROPOSED ELECTRICAL WORK, TRANSFORMER PADS, AND ASSOCIATED APPURTENANCES WILL BE IN CONFORMANCE WITH APPLICABLE LOCAL, COUNTY, STATE AND FEDERAL GUIDELINES AND REQUIREMENTS.
4. MIN. DEPTH OF COVER OVER ELECTRIC SERVICES SHALL BE TWO (2) FT.
5. PROVIDE A KNOX BOX AT EACH GATED ENTRANCE FOR FIRE DEPARTMENT USE.

GENERAL SITE NOTES

1. THE CONTRACTOR SHALL FURNISH, INSTALL, TEST AND COMPLETE ALL WORK TO THE SATISFACTION OF THE ENGINEER AND OWNER IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION; AS SUCH, THESE PLANS DO NOT COMPLETELY REPRESENT, NOR ARE THEY INTENDED TO REPRESENT, ALL SPECIFIC INSTRUCTIONS REQUIRED FOR SITWORK CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO CONSTRUCT ALL IMPROVEMENTS DEPICTED ON THESE PLANS IN ACCORDANCE WITH ALL APPLICABLE RULES, REGULATIONS AND LAWS IN EFFECT AT THE TIME OF CONSTRUCTION.
2. THE CONTRACTOR SHALL ACCEPT THE SITE AS IS. THE CONTRACTOR SHALL ASSESS CONDITIONS, AND THE KIND, QUALITY AND QUANTITY OF WORK REQUIRED. THE OWNER AND ENGINEER MAKE NO GUARANTEE IN REGARD TO THE ACCURACY OF ANY INFORMATION THAT WAS OBTAINED DURING INVESTIGATIONS. THE CONTRACTOR SHALL: MAKE A THOROUGH SITE INSPECTION IN ORDER TO FIELD CHECK EXISTING SITE CONDITIONS; CORRELATE CONDITIONS WITH THE DRAWINGS; AND, RESOLVE ANY POSSIBLE CONSTRUCTION CONFLICTS WITH THE OWNER AND ENGINEER PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL PERFORM ADDITIONAL TOPOGRAPHIC SURVEYS IF HE/SHE DEEMS NECESSARY, PROVIDED THEY ARE COORDINATED WITH THE OWNER. ANY CONDITIONS DETERMINED BY THE CONTRACTOR THAT DIFFER FROM THE INFORMATION SHOWN ON THE DRAWINGS THAT ARE NOT BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER PRIOR TO THE START OF WORK SHALL NOT BE CONSIDERED GROUNDS FOR ADDITIONAL PAYMENT OR CHANGES TO THE CONTRACT DURATION, OR ANY OTHER CLAIMS AGAINST THE OWNER OR OWNER'S ENGINEER.
3. THE CONTRACTOR SHALL, WHEN HE/SHE DEEMS NECESSARY, PROVIDE A WRITTEN REQUEST FOR INFORMATION (RFI) TO THE OWNER AND/OR OWNER'S DESIGNATED REPRESENTATIVE, AND ENGINEER PRIOR TO THE CONSTRUCTION OF ANY SPECIFIC SITWORK ITEM. THE (RFI) SHALL BE IN A FORM ACCEPTABLE TO OWNER AND/OR OWNER'S DESIGNATED REPRESENTATIVE, AND ENGINEER AND SHALL ALLOW FOR A MINIMUM OF THREE WORK DAYS FOR A WRITTEN REPLY. RFIS SHALL BE NUMBERED CONSECUTIVELY BY DATE SUBMITTED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITWORK ITEMS CONSTRUCTED DIFFERENTLY THAN INTENDED OR AS DEPICTED ON THE PLANS.
4. INFORMATION RELATED TO ELEVATIONS AND PROPOSED UTILITIES (SUCH AS ROADWAY GRADES, INVERT ELEVATIONS, RIM ELEVATIONS, GRATE ELEVATIONS, BUILDING FINISHED FLOOR ELEVATIONS, ETC.) MAY BE FOUND IN MORE THAN ONE LOCATION IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL SUFFICIENTLY REVIEW ALL PLANS, PROFILES AND ANY OTHER INFORMATION IN THE CONTRACT DOCUMENTS FOR CONSISTENCY PRIOR TO BID. ANY INCONSISTENCIES OR DISCREPANCIES THAT ARE FOUND BY THE CONTRACTOR OR HIS ASSIGNS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER IN WRITING, IN THE FORMAT OF AN RFI PRIOR TO BID.
5. THERE ARE ADDITIONAL NOTES, SPECIFICATIONS AND REQUIREMENTS CONTAINED THROUGHOUT THE PLAN SET AS WELL AS REFERENCES TO SPECIFICATIONS FROM APPLICABLE GOVERNING AUTHORITIES AND INDUSTRY STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN, REVIEW AND ADHERE TO ALL THESE DOCUMENTS.
6. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT ALL CONSTRUCTION STAKEOUT FOR THIS PROJECT MUST BE COMPLETED FROM THE SITE SPECIFIC SURVEY CONTROL (HORIZONTAL AND VERTICAL) UPON WHICH THE DESIGN IS BASED. THE CONTRACTOR SHOULD NOT RELY ON OR RE-ESTABLISH SURVEY CONTROL BY GPS OR OTHER METHODS FOR USE IN CONSTRUCTION STAKEOUT OR ANY OTHER PURPOSE FOR THIS PROJECT. ANY DISCREPANCIES BETWEEN THE EXISTING HORIZONTAL OR VERTICAL DATA SHOWN ON THESE DRAWINGS AND THAT ENCOUNTERED IN THE FIELD MUST BE REPORTED TO THE DESIGN TEAM PRIOR TO CONSTRUCTION FOR RESOLUTION.
7. SOLAR RACKING LAYOUT SHOWN IN THIS PLAN SET IS FROM A FILE RECEIVED FROM CARSON POWER TITLED "BASEPLAN" DATED JULY 29, 2024.

ULSTER COUNTY STANDARD NOTE

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DATE	BY WHOM	SIGNED	REASON FOR SIGN.
08/30/2024	LC	CZ	INITIAL SUBMITTAL
11/15/2024	LC	CZ	PER TOWN COMMENTS & UCDPW SUBMITTAL

CS100

OVERALL SITE PLAN



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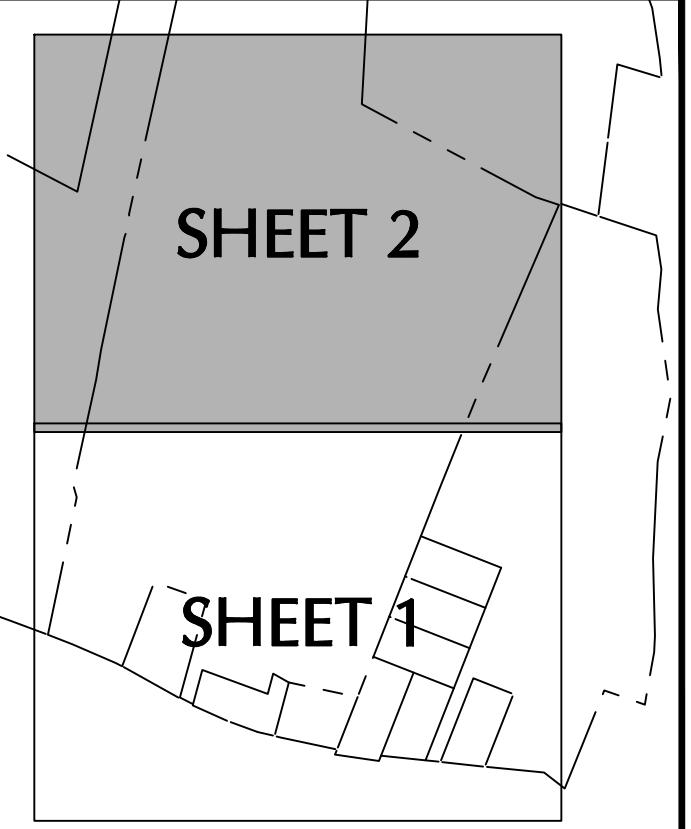
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Project No. 90107801



KEY MAP

LEGEND

—	PROPERTY LINE
—	ADJACENT PROPERTY LINE
—	EASEMENT LINE
—	SETBACK LINE
▼▼▼	EXISTING WETLAND
...	EXISTING WETLAND STREAM
—	PROPOSED FENCELINE
—	PROPOSED PANELS
...	PROPOSED GRAVEL ACCESS ROAD
...	PROPOSED CONCRETE PAD
...	PROPOSED LAYDOWN AREA
—OE—	PROPOSED OVERHEAD ELECTRIC LINE
—E—	PROPOSED UNDERGROUND ELECTRIC LINE
—P—	PROPOSED UTILITY POLE
wavy line	PROPOSED TREELINE

HIGHLAND SOLAR

SECTION 95.4, BLOCK 3, LOT 7.10, 7.210, & 7.220
TOWN OF MARLBOROUGH
NEW YORK
ULSTER COUNTY

Project

REV	DATE	DRAWN	CHECKED	DESCRIPTION
0.	08/30/2024	LC	C2	INITIAL SUBMITTAL
1.	11/15/2024	LC	C2	PER TOWN COMMENTS & UCDP SUBMITTAL

Drawing No.

CS102

SITE PLAN

(2 OF 2)

Sheet 7 of 17

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60

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SCALE: 1 INCH = 60 FEET

Date: 11/21/2024 Time: 15:44 User: Icaserta Style Table: Langan.stb Layout: CS101 Document Code: 190107801-0501-CS101-0102

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Drawing No. CS102

Sheet 7 of 17

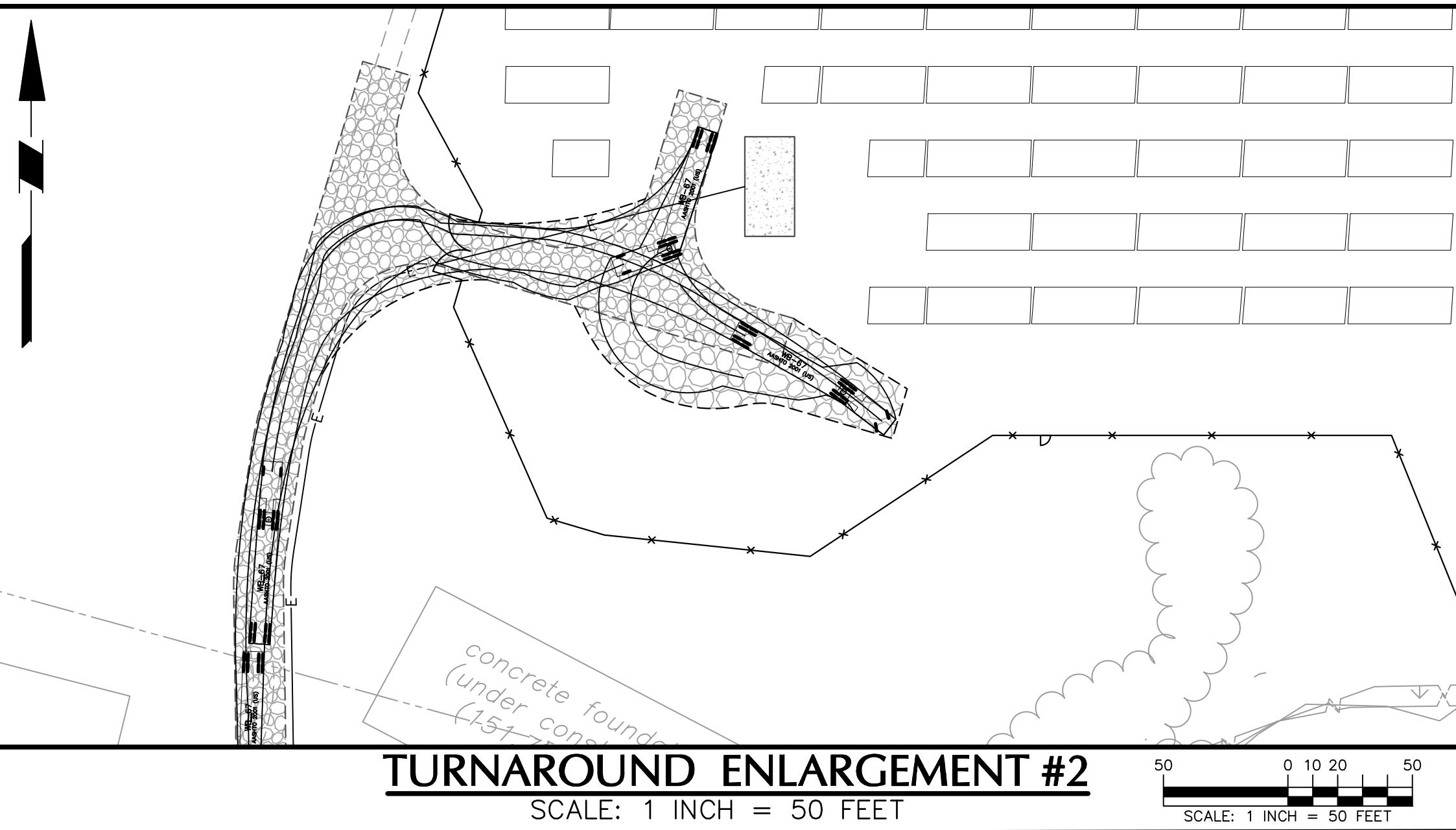
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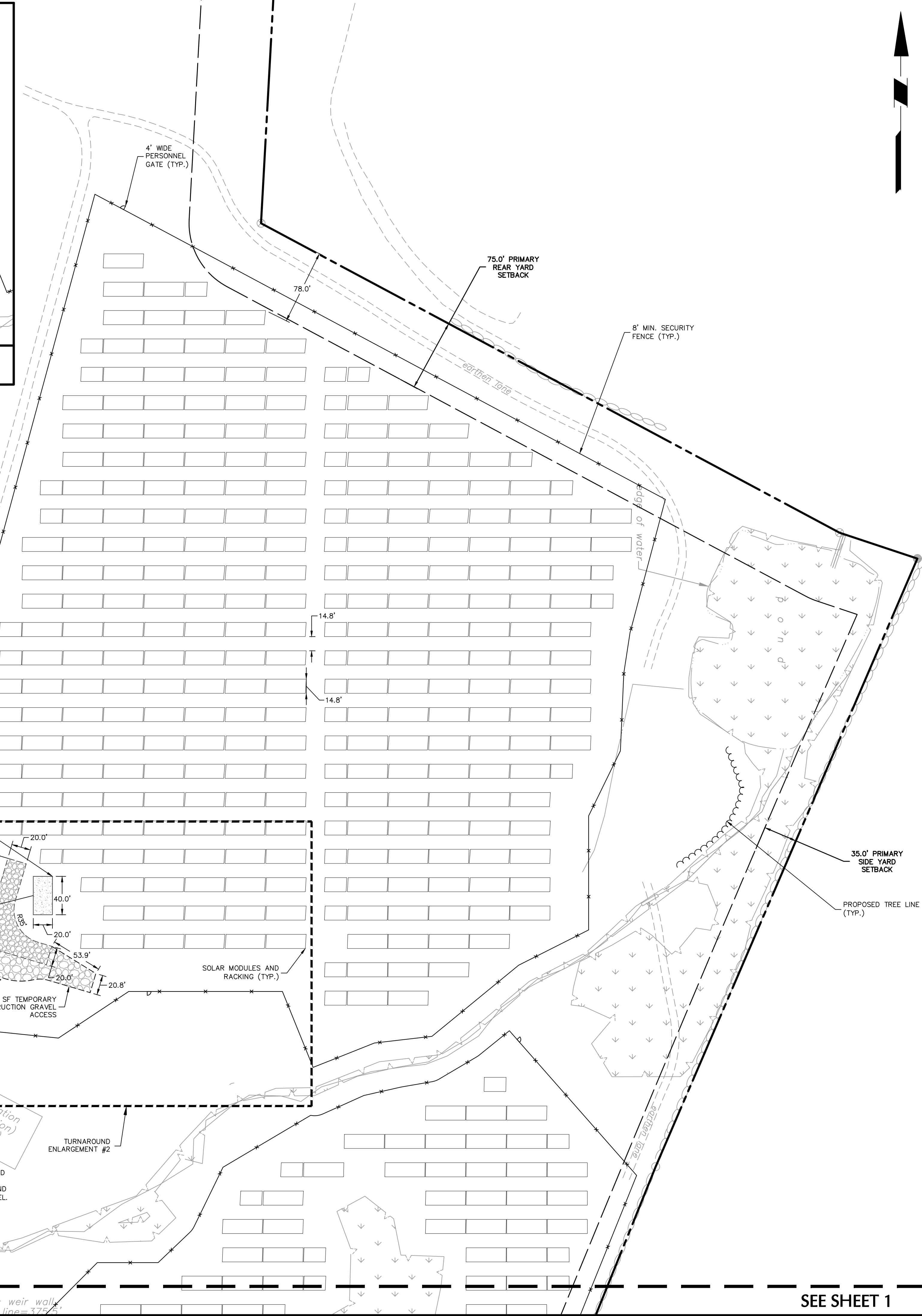
Sheet 7 of 17

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TURNAROUND ENLARGEMENT #2

SCALE: 1 INCH = 50 FEET



SEE SHEET 1

SEE SHEET 2



KEY MAP

LEGEND

APPROXIMATE WORK QUANTITIES	
<u>TO EXISTING GRADE:</u>	
2,990	CU. YD.
7,140	CU. YD.
4,150	CU. YD.
<u>ADJUSTMENTS:</u>	
SWAY:	1,140 CU. YD.
DS:	220 CU. YD.
BASINS:	35 CU. YD.
MENT (CUT):	35 CU. YD.
150	- 1,430 = 2,720 CU. YD. (FILL)
<u>BASED UPON COMPARING THE FINISHED GRADE TO THE EXISTING GRADES. ANALYSIS DOES NOT COUNT FOR ANY COMPACTION OR LOSS OF MATERIAL.</u>	

HIGHLAND SOLAR

SECTION 95.4, BLOCK 3, LOT 7.110, 7.210, & 7.220

NEW YORK
TOWN OF MARLBOROUGH
PUTNAM COUNTY

CG101

ADING PLAN (1 OF 2)

ULSTER COUNTY STANDARD NOTE

SCALE: 1 INCH = 60 FEET

et 8 of 17

7



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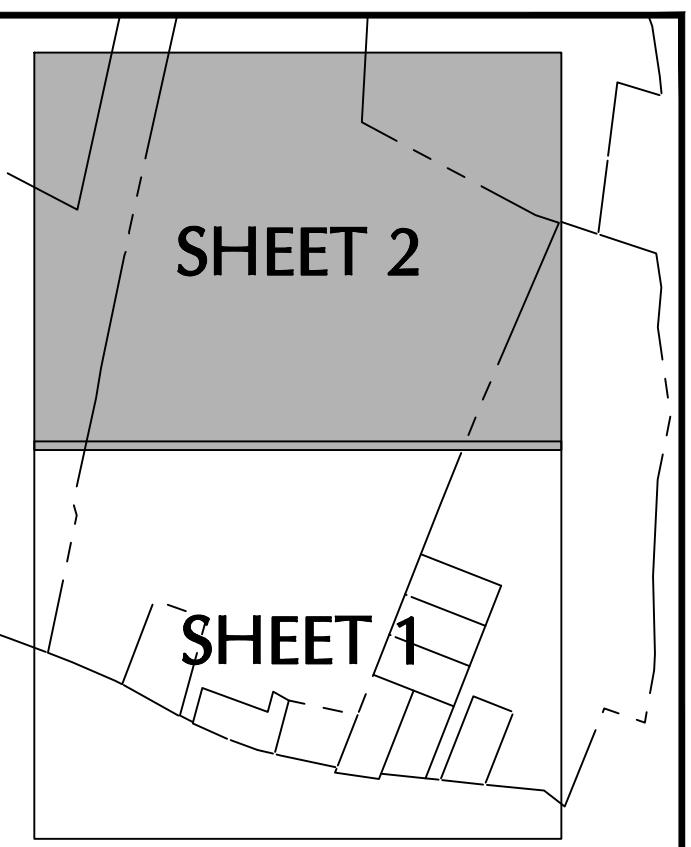
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Project No. 90107801



KEY MAP

LEGEND

- 100 PROPOSED CONTOUR MAJOR
- 107 PROPOSED CONTOUR MINOR
- - - PROPOSED GRAVEL DIAPHRAGM
- - - PROPOSED DRAINAGE PIPE

HIGHLAND SOLAR

SECTION 95.4, BLOCK 3, LOT 7:10, 7:20, & 7:220

TOWN OF MARLBOROUGH

ULSTER COUNTY

Project

Twin 30" CMPs
N Inv./east pipe = 325.64'
N Inv./west pipe = 325.74'
(south end of pipes under water)

SEE SHEET 2

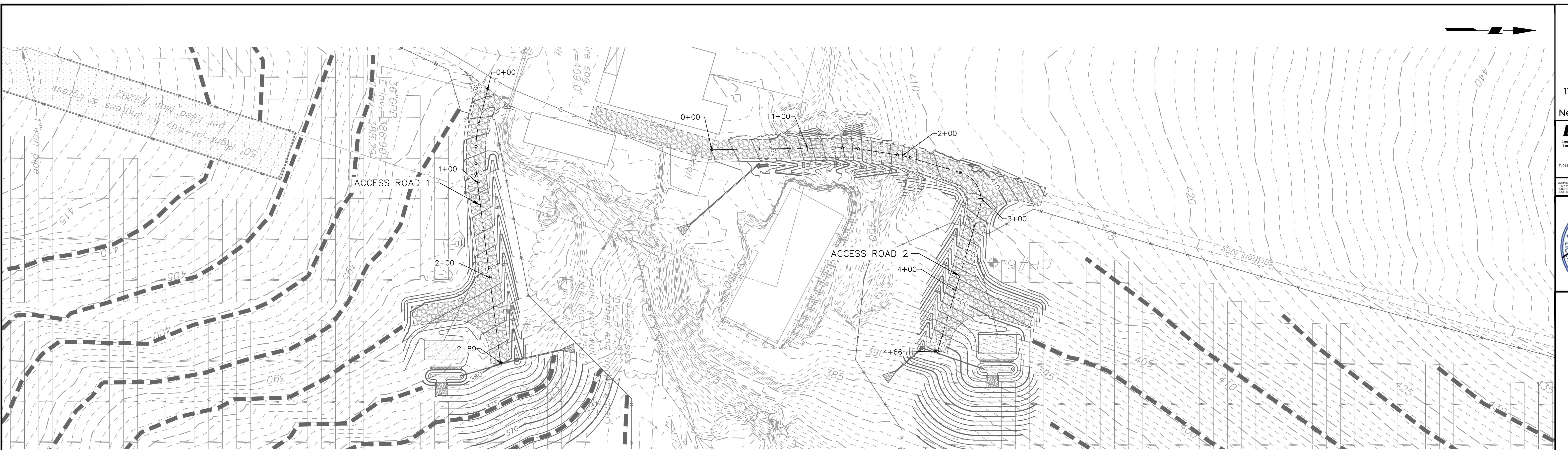
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CG102
GRADING PLAN
(2 OF 2)

Sheet 9 of 17

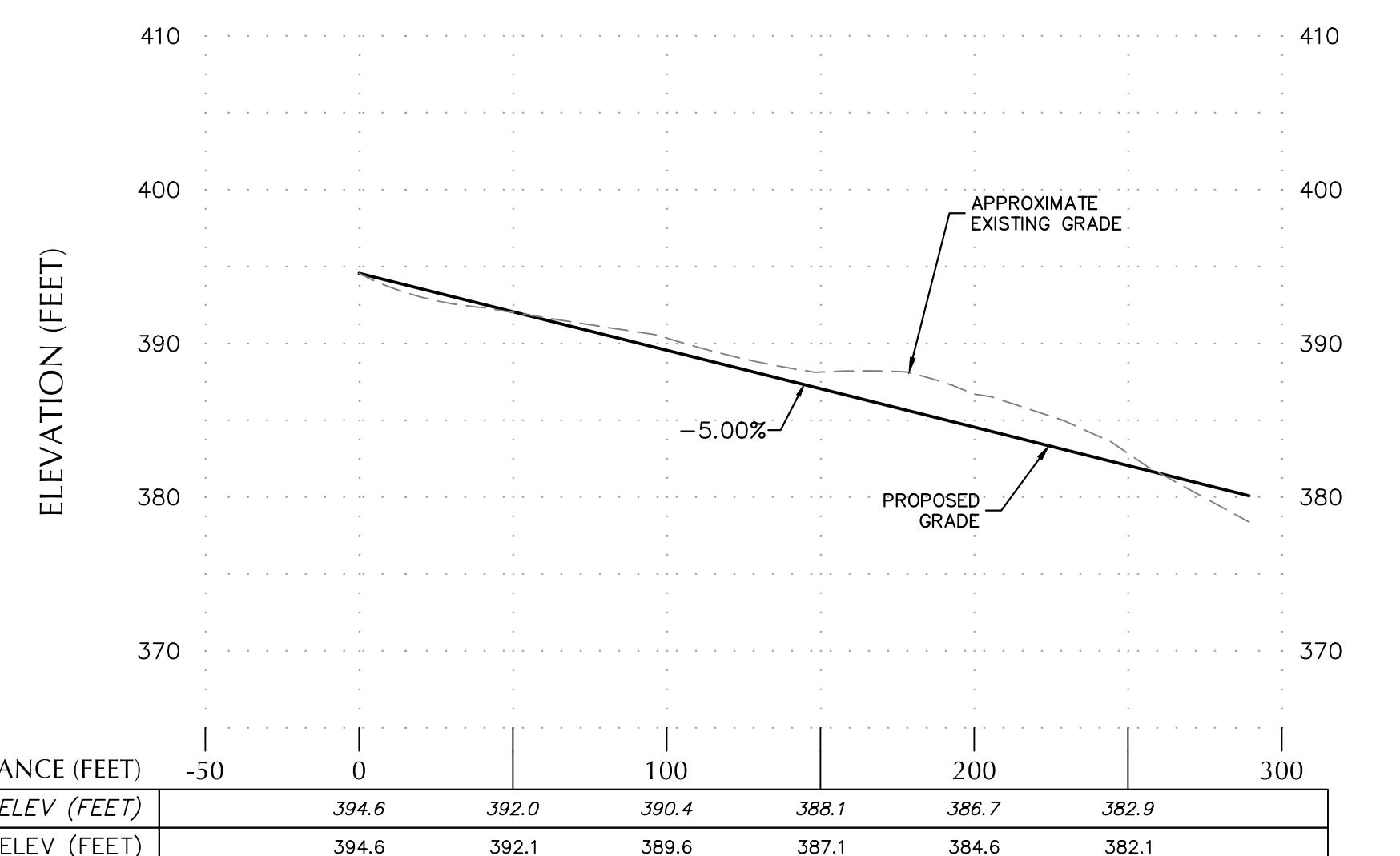
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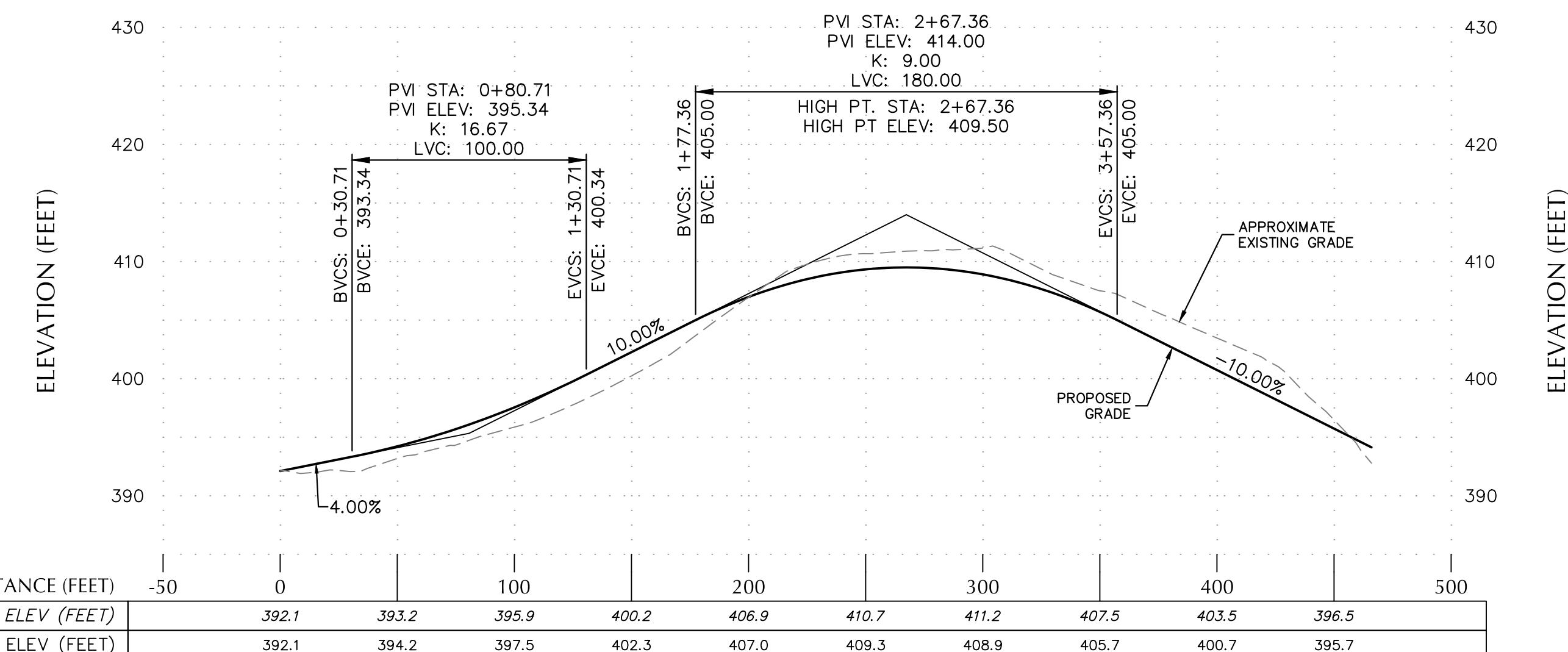


PROPOSED DRIVEWAY PLAN

SCALE: 1 INCH = 50 FEET



ACCESS ROAD 1 PROFILE
H: 1" = 50'
V: 1" = 10'



ACCESS ROAD 2 PROFILE
H: 1" = 50'
V: 1" = 10'

HIGHLAND SOLAR

SECTION 95.4, BLOCK 3, LOT 7:10, 7:210, & 7:220
TOWN OF MARLBOROUGH
NEW YORK

ULSTER COUNTY

Project



10 0 2 4 10

SCALE: 1 INCH = 10 FEET

50 0 10 20 50

SCALE: 1 INCH = 50 FEET

CG201

ACCESS ROAD
PROFILES

Sheet 10 of 17

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POLLUTION PREVENTION NOTES

GOOD HOUSEKEEPING PRACTICES ARE DESIGNED TO MAINTAIN A CLEAN AND ORDERLY WORK ENVIRONMENT. GOOD HOUSEKEEPING MEASURES MUST BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS BY THOSE PARTIES INVOLVED WITH THE DIRECT CARE AND DEVELOPMENT OF THE SITE. THE FOLLOWING MEASURES SHOULD BE IMPLEMENTED TO CONTROL THE POSSIBLE EXPOSURE OF HARMFUL SUBSTANCES AND MATERIALS TO STORMWATER RUNOFF:

1. MATERIAL RESULTING FROM THE CLEARING AND GRUBBING OPERATION MUST BE STOCKPILED AWAY FROM STORM DRAINAGE, WATER BODIES AND/OR WATERCOURSES AND SURROUNDED WITH ADEQUATE EROSION AND SEDIMENT CONTROL MEASURES. SOIL STOCKPILE LOCATIONS MUST BE EXPOSED NO LONGER THAN 14 DAYS BEFORE SEEDING.
2. EQUIPMENT MAINTENANCE AREAS MUST BE PROTECTED FROM STORMWATER FLOWS AND MUST BE SUPPLIED WITH APPROPRIATE WASTE RECEPTECLES FOR SPENT CHEMICALS, SOLVENTS, OILS, GREASES, GASOLINE, AND ANY POLLUTANTS THAT MIGHT CONTAMINATE THE SURROUNDING HABITAT AND/OR WATER SUPPLY. EQUIPMENT WASH-DOWN ZONES MUST BE LOCATED WITHIN AREAS DRAINING TO SEDIMENT CONTROL DEVICES.
3. THE USE OF DETERGENTS FOR LARGE-SCALE (I.E., VEHICLES, BUILDINGS, PAVEMENT SURFACES, ETC.) WASHING IS PROHIBITED.
4. MATERIAL STORAGE LOCATIONS AND FACILITIES (I.E., COVERED STORAGE AREAS, STORAGE SHEDS, ETC.) MUST BE LOCATED ON-SITE AND MUST BE STORED ACCORDING TO THE MANUFACTURER'S STANDARDS IN A DEDICATED STAGING AREA. CHEMICALS, PAINTS, SOLVENTS, FERTILIZERS, AND OTHER TOXIC MATERIAL MUST BE STORED IN WATERPROOF CONTAINERS. RUNOFF CONTAINING SUCH MATERIALS MUST BE COLLECTED, REMOVED FROM THE SITE, TREATED AND DISPOSED AT AN APPROVED SOLID WASTE OR CHEMICAL DISPOSAL FACILITY.
5. HAZARDOUS SPILLS MUST BE IMMEDIATELY CONTAINED TO PREVENT SUCH POLLUTANTS FROM ENTERING THE SURROUNDING HABITAT AND/OR WATER SUPPLY. SPILL KITS MUST BE PROVIDED ON-SITE AND MUST BE DISPLAYED IN A PROMINENT LOCATION FOR EASE OF ACCESS AND USE. SPILLS GREATER THAN FIVE (5) GALLONS MUST BE REPORTED TO THE NYSDC RESPONSE UNIT AT 1-800-457-7362. IN ADDITION, A RECORD OF THE INCIDENT(S) AND/OR NOTIFICATIONS MUST BE DOCUMENTED AND ATTACHED TO THE SWPP.
6. PORTABLE SANITARY WASTE FACILITIES MUST BE PROVIDED ON-SITE FOR WORKERS AND MUST BE PROPERLY MAINTAINED.
7. DUMPSTERS AND/OR DEBRIS CONTAINERS MUST BE LOCATED ON-SITE AND MUST BE OF ADEQUATE SIZE TO MANAGE RESPECTIVE MATERIALS. REGULAR COLLECTION AND DISPOSAL OF WASTES MUST OCCUR AS REQUIRED.
8. TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE LOCATED A MINIMUM OF 50 FEET FROM STORM DRAINAGE FACILITIES AND WATERCOURSES. EACH FACILITY SHOULD BE LOCATED AWAY FROM CONSTRUCTION TRAFFIC OR ACCESS AREAS TO PREVENT DISTURBANCE OR TRACKING. A SIGN SHOULD BE INSTALLED ADJACENT TO EACH WASHOUT FACILITY TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES. WHEN TEMPORARY CONCRETE WASHOUT FACILITIES ARE NO LONGER REQUIRED FOR THE WORK, THE HARVESTED CONCRETE MUST BE REMOVED AND DISPOSED OF. MATERIALS USED TO CONSTRUCT THE TEMPORARY CONCRETE WASHOUT FACILITIES MUST BE REMOVED AND DISPOSED OF. HOLES, DEPRESSIONS OR OTHER GROUND DISTURBANCE CAUSED BY THE REMOVAL OF THE TEMPORARY CONCRETE WASHOUT FACILITIES MUST BE BACKFILLED AND/OR REPAVED, SEDED, AND MULCHED FOR FINAL STABILIZATION.
9. NON-STORMWATER COMPONENTS OF SITE DISCHARGE MUST BE CLEAN WATER. WATER USED FOR CONSTRUCTION, WHICH DISCHARGES FROM THE SITE, MUST ORIGINATE FROM A PUBLIC WATER SUPPLY OR PRIVATE WELL APPROVED BY THE HEALTH DEPARTMENT. WATER USED FOR CONSTRUCTION THAT DOES NOT ORIGINATE FROM AN APPROVED PUBLIC SUPPLY MUST NOT DISCHARGE FROM THE SITE. IT CAN BE RETAINED IN THE PONDS UNTIL IT INFILTRATES AND EVAPORATES.

EROSION & SEDIMENT CONTROL NOTES

1. REFER TO THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NYSDC) SPDES GENERAL PERMIT IN APPENDIX A OF THE STORMWATER POLLUTION PREVENTION PLAN FOR ADDITIONAL REQUIREMENTS.
2. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE INSTALLED IN ACCORDANCE WITH NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL LATEST EDITION.
3. BEFORE BEGINNING CONSTRUCTION, THE OWNER MUST SET UP A PRE-CONSTRUCTION MEETING WITH THE QUALIFIED PROFESSIONAL, QUALIFIED INSPECTOR, CONTRACTORS, AND SUBCONTRACTORS TO DISCUSS THE RESPONSIBILITIES RELATED TO THE STORMWATER POLLUTION PREVENTION PLAN IMPLEMENTATION.
4. THE CONTRACTOR AND SUBCONTRACTOR MUST IDENTIFY THE TRAINED INDIVIDUAL THAT WILL BE RESPONSIBLE FOR THE IMPLEMENTATION AND MAINTENANCE OF THE EROSION AND SEDIMENT CONTROL MEASURES DURING CONSTRUCTION.
5. BEFORE BEGINNING CONSTRUCTION, ALL EROSION AND SEDIMENT CONTROLS MUST BE INSTALLED IN ACCORDANCE WITH THE PLANS. SITE PREPARATION ACTIVITIES MUST BE PLANNED TO MINIMIZE THE SCOPE AND DURATION OF SOIL DISTURBANCE. EXISTING VEGETATION TO REMAIN MUST BE PROTECTED TO ENSURE OVER CLEARING DOES NOT OCCUR.
6. PERMANENT TRAFFIC CORRIDORS MUST BE ESTABLISHED AND "ROUTES OF CONVENIENCE" MUST BE AVOIDED. STABILIZED CONSTRUCTION ENTRANCES MUST BE INSTALLED AT THE LOCATIONS SHOWN ON THE PROJECT PLANS.
7. STOCKPILED TOPSOIL MUST BE ENCLOSED WITH SILT FENCE OR HAY BALES AND COVERED OR TEMPORARILY SEADED. ALL GRASS SEED MUST CONTAIN AT LEAST 25% RAPID GERMINATING PERENNIAL RYE GRASS.
8. DAMAGE TO SURFACE WATERS RESULTING FROM EROSION AND SEDIMENTATION MUST BE MINIMIZED BY STABILIZING DISTURBED AREAS AND BY REMOVING SEDIMENT FROM CONSTRUCTION SITE DISCHARGES.
9. DUST MUST BE CONTROLLED BY SPRINKLING EXPOSED SOIL AREAS PERIODICALLY WITH WATER AS REQUIRED.
10. EROSION MATERIAL TEMPORARILY STOCKPILED ON SITE DURING CONSTRUCTION MUST BE LOCATED IN AN AREA AWAY FROM STORM DRAINAGE AND MUST BE PROPERLY PROTECTED BY A SILT FENCE BARRIER.
11. EARTHWORK ACTIVITIES MUST BE CONSISTENT WITH THE PHASING PLANS. THE EARTHWORK OPERATION AREAS MUST BE STABILIZED ON AN ONGOING BASIS WITH NO AREAS THAT ARE NOT CURRENTLY UNDER CONSTRUCTION LEFT WITHOUT AT LEAST TEMPORARY COVER FOR MORE THAN 14 DAYS.
12. EROSION AND SEDIMENT CONTROL INSPECTIONS:
 - A. THE TRAINED INDIVIDUAL MUST INSPECT ALL EROSION AND SEDIMENT CONTROL MEASURES ON A DAILY BASIS TO ENSURE PROPER PERFORMANCE. ANY SEDIMENT BUILD-UP MUST BE CLEANED AND REMOVED. ALL DAMAGES TO EROSION AND SEDIMENT CONTROLS MUST BE REPAVED AT THE END OF THE WORK DAY.
 - B. THE QUALIFIED INSPECTOR MUST CONDUCT SITE INSPECTIONS EVERY 7 DAYS. ANY DEFICIENCIES NOTED IN THE REPORTS MUST BE CORRECTED IMMEDIATELY BY THE CONTRACTOR.
 - C. IF SOIL DISTURBANCE ACTIVITIES ARE SUSPENDED FOR WINTER SHUTDOWN, TEMPORARY STABILIZATION MEASURES WILL BE APPLIED TO ALL DISTURBED AREAS. IF APPROVED BY THE NYSDC OR MS4 MUNICIPALITY, THE FREQUENCY OF INSPECTIONS BY THE QUALIFIED INSPECTOR MAY BE REDUCED TO ONE INSPECTION EVERY 30 DAYS.
 - D. IF AUTHORIZED BY THE NYSDC OR MS4 MUNICIPALITY TO DISTURB MORE THAN 5 ACRES AT ONE TIME, THE QUALIFIED INSPECTOR MUST CONDUCT AT LEAST 2 SITE INSPECTIONS, SEPARATED BY 2 DAYS, EVERY 7 DAYS UNTIL SUCH TIME THAT LESS THAN 5 ACRES OF SOIL REMAIN EXPOSED.
13. TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES MUST BE REMOVED WHEN ALL DISTURBED AREAS HAVE UNDERGONE FINAL STABILIZATION. WHEN UPGRADE SURFACES ARE PROPERLY STABILIZED AND ALL STORMWATER MANAGEMENT SYSTEMS ARE IN PLACE AND OPERATIONAL, ALL AREAS DISTURBED BY THE REMOVAL OF THE TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES MUST BE REPAVED IN TOPSOIL, SEADED, AND MULCHED. FINALLY, EROSION CONTROL MEASURES, SUCH AS PLACEMENT OF MULCH OR GEOTEXTILE, IS COMPLETED ON ALL AREAS NOT PAVED OR COVERED BY PERMANENT STRUCTURES.



PHASING AREA	CONSTRUCTION PHASE																	
	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	
1	CL ESC	RD TS																
2		CL ESC	GR TS															
3			CL ESC	GR TS														
4				CL ESC	GR TS													
5					CL ESC	GR TS												
6						CL ESC	GR TS											
FINAL															FNC SMP	RDF	RST	RIM

CONSTRUCTION SEQUENCE KEY																	
CL	COMPLETE TREE REMOVAL AND STUMPING.																
ESC	INSTALL EROSION AND SEDIMENT CONTROL PRACTICES.																
FNC	INSTALL FENCE.																
GR	SITE GRADING.																
LD	REMOVE TEMPORARY LAYDOWN AREA. STABILIZE THE DISTURBED AREA.																
RD	CONSTRUCT ACCESS ROAD, TEMPORARY LAYDOWN AREA, AND/OR INVERTER PADS.																
RDF	COMPLETE SITE RESTORATION OVER PERMEABLE HAUL ROAD AND FINALIZE INSTALLATION.																
RM	REMOVE TEMPORARY EROSION AND SEDIMENT CONTROL PRACTICES. STABILIZE THE DISTURBED AREA.																
RST	COMPLETE SITE RESTORATION. APPLY SEED AND MULCH.																
SMP	INSTALL GRASS FILTER STRIP.																
SOL	INSTALL SOLAR PANELS.																
TS	APPLY TEMPORARY SEED AND MULCH.																

NOTE - PHASE AND DESCRIPTIONS ARE INTENDED TO PROVIDE A GENERAL DESCRIPTION OF GROUND DISTURBING ACTIVITIES. GROUND DISTURBANCES SUCH AS TRENCHING FOR CONDUIT AND OTHER ELECTRICAL EQUIPMENT INSTALLATION NEEDS MAY ALSO BE OCCURRING DURING ANY GIVEN PHASE. THE OVERALL DISTURBANCE WILL BE MONITORED BY THE QUALIFIED INSPECTOR TO ENSURE THE SITE DISTURBANCE REMAINS UNDER FIVE ACRES AT ANY GIVEN TIME.

LEGEND	
LOD	LIMIT OF DISTURBANCE
PHASE BOUNDARY	
100	PROPOSED MAJOR CONTOUR
101	PROPOSED MINOR CONTOUR

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Project No. 90107001
Section 95.4, Block 3, Lot 7:10, 7:210, & 7:220
TOWN OF MARLBOROUGH
NEW YORK
Ulster County

CE100
PHASING PLAN

Drawing No. 001
Date: 08/30/2024
11/15/2024
Rev. 0, 1

Scale: 1 INCH = 120 FEET
Sheet 11 of 17
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SEE SHEET 2





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WARNING: THE PRACTICE OF THE HIGHWAY ENGINEER IS AN ARTISTIC AND PERSONAL UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER TO ACT IN THE STATE'S NAME.

Project No. 90107001



081473
MICHAEL J. FINAN
LICENSED PROFESSIONAL ENGINEER

SECTION 95.4, BLOCK 3, LOT 7:10, 7:210, & 7:220
TOWN OF MARLBOROUGH
NEW YORK
ULSTER COUNTY

Project

CS502

DETAILS (2 OF 2)

Sheet 15 of 17

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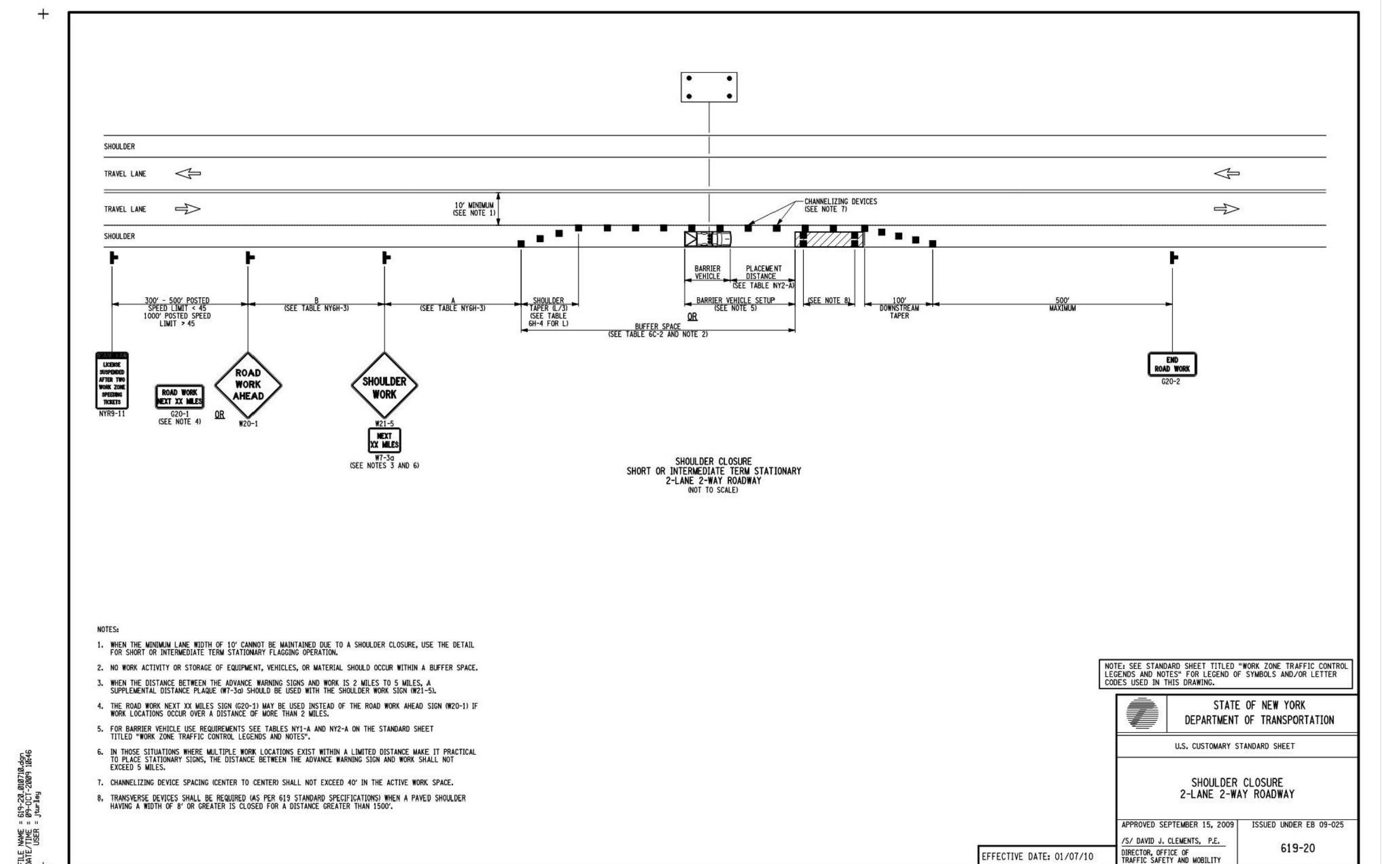


TABLE NY 1-A BARRIER VEHICLE USE REQUIREMENTS (LONG TERM, INTERMEDIATE TERM, AND SHORT TERM STATIONARY CLOSURES)									
CLOSURE TYPE	EXPOSURE CONDITION ¹	USE REQUIREMENTS ^{4,5}							
		NON-FREIGHT (PRE-CONSTRUCTION POSTED SPEED LIMIT)		FREIGHT (24 MPH 35-40 MPH < 30 MPH)		NON-FREIGHT (24 MPH 35-40 MPH < 30 MPH)		FREIGHT (24 MPH 35-40 MPH < 30 MPH)	
LANE CLOSURE	WORKERS ON FOOT OR IN VEHICLES EXPOSED TO TRAFFIC	REQUIRED ³	REQUIRED ³	REQUIRED ³	OPTIONAL ²	REQUIRED ³	REQUIRED ³	OPTIONAL ²	OPTIONAL ²
	NON-TRAVISABLE HAZARD (E.G. EQUIPMENT, MATERIALS, EXCAVATION, ETC.)	REQUIRED ³	REQUIRED ³	OPTIONAL ²	OPTIONAL ²	REQUIRED ³	REQUIRED ³	OPTIONAL ²	OPTIONAL ²
SHOULDER CLOSURE	WORKERS ON FOOT OR IN VEHICLES EXPOSED TO TRAFFIC	REQUIRED ³	REQUIRED ³	OPTIONAL ²	OPTIONAL ²	REQUIRED ³	REQUIRED ³	OPTIONAL ²	OPTIONAL ²
	NON-TRAVISABLE HAZARD (E.G. EQUIPMENT, MATERIALS, EXCAVATION ONLY)	REQUIRED ³	OPTIONAL ²	OPTIONAL ²	OPTIONAL ²	REQUIRED ³	REQUIRED ³	OPTIONAL ²	OPTIONAL ²

1. THE EXPOSURE CONDITION DESCRIBED IN TABLE NY 1-A ASSUMES THERE IS NO POSITIVE PROTECTION FROM TRAVELING TRAFFIC. HAZARDS ARE NOT PROTECTED BY A TEMPORARY TRAFFIC BARRIER, BARRIER VEHICLES ARE NOT REQUIRED.

2. WHERE THE REQUIREMENT IS "OPTIONAL", EITHER A BARRIER VEHICLE OR THE STANDARD LONGITUDINAL BUFFER SPACE (TABLE 6C-2) SHALL BE PROVIDED.

3. REQUIREMENTS SHALL INCLUDE PROVIDING A SEPARATE BARRIER VEHICLE FOR EACH CLOSED LANE. THE BARRIER VEHICLE SHALL BE POSITIONED IN THE CENTER OF THE LANE. DURING THE STATIONARY CLOSURE, THE BARRIER VEHICLE SHALL REMAIN IN PLACE DURING BOTH WORK AND TRAFFIC. THE BARRIER VEHICLE SHALL NOT MOVE EXCEPT AS REQUIRED. THESE REQUIREMENTS MAY BE MADE AS APPROVED BY THE REGIONAL DIRECTOR OR HISHER DESIGNEE. WHERE THE BARRIER VEHICLE PLACEMENT WOULD BE INEFFECTIVE OR WOULD INTERFERE WITH THE SAFE OPERATION OF TRAFFIC.

4. BARRIER VEHICLES ARE NOT REQUIRED FOR MILLING AND/OR PAVING OPERATIONS, BUT THE STANDARD LONGITUDINAL BUFFER SPACE (TABLE 6C-2) SHALL BE PROVIDED.

5. BARRIER VEHICLES ARE NOT REQUIRED FOR FLAGGING OPERATIONS, BUT THE STANDARD LONGITUDINAL BUFFER SPACE (TABLE 6C-2) SHALL BE PROVIDED.

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TABLE NY 1-B SHADOW VEHICLE USE REQUIREMENTS (MOBILE CLOSURES)									
CLOSURE TYPE	EXPOSURE CONDITION	USE REQUIREMENTS							
		NON-FREIGHT (PRE-CONSTRUCTION POSTED SPEED LIMIT)		FREIGHT (24 MPH 35-40 MPH < 30 MPH)		NON-FREIGHT (24 MPH 35-40 MPH < 30 MPH)		FREIGHT (24 MPH 35-40 MPH < 30 MPH)	
LANE CLOSURE	WHEN ANY WORKER, VEHICLE, OR OTHER HAZARD IS EXPOSED TO TRAFFIC	REQUIRED ^{2,4}	REQUIRED ^{2,4}	REQUIRED ^{2,4}	REQUIRED ^{2,4}	REQUIRED ^{2,4}	REQUIRED ^{2,4}	REQUIRED ^{2,4}	REQUIRED ^{2,4}
	WHEN ANY WORKER, VEHICLE, OR OTHER HAZARD IS EXPOSED TO TRAFFIC	REQUIRED ^{2,4}	REQUIRED ^{2,4}	REQUIRED ^{2,4}	REQUIRED ^{2,4}	REQUIRED ^{2,4}	REQUIRED ^{2,4}	REQUIRED ^{2,4}	REQUIRED ^{2,4}
SHOULDER CLOSURE	WHEN ANY WORKER, VEHICLE, OR OTHER HAZARD IS EXPOSED TO TRAFFIC	REQUIRED ^{2,4}	REQUIRED ^{2,4}	REQUIRED ^{2,4}	REQUIRED ^{2,4}	REQUIRED ^{2,4}	REQUIRED ^{2,4}	REQUIRED ^{2,4}	REQUIRED ^{2,4}

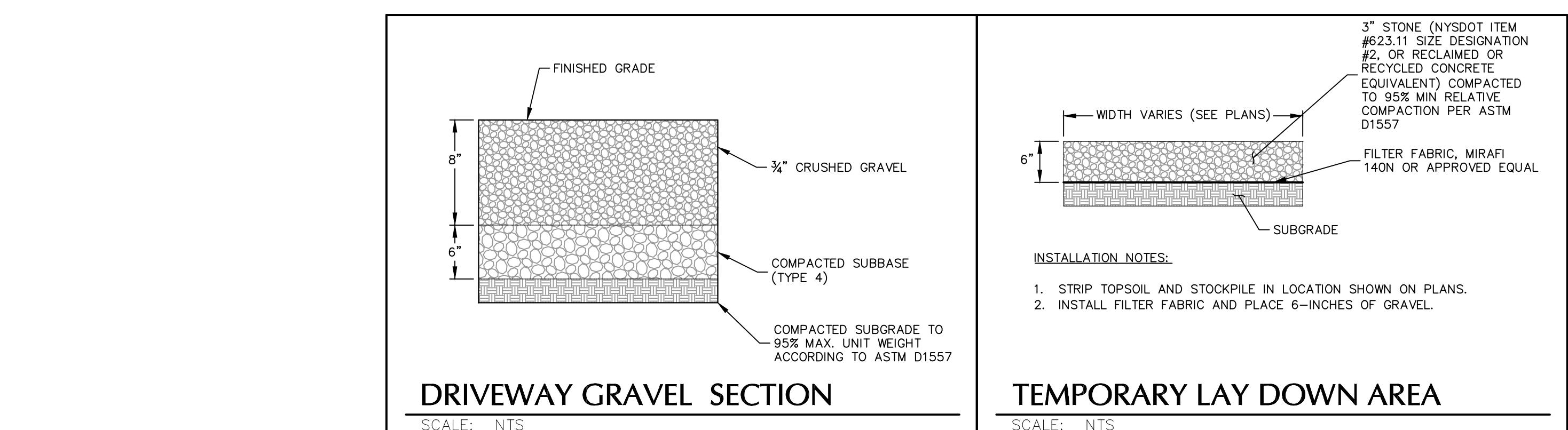
1. A MOBILE CLOSURE SHALL BE USED FOR ANY WORK ACTIVITY THAT MOVES CONTINUOUSLY OR INTERMITTENTLY ALONG THE TRAVELED WAY OR SHOULDER SLOWER THAN THE PREVAILING SPEED OF TRAFFIC. CHANNELING DEVICES ARE NOT USED FOR MOBILE CLOSURES.

2. SHADOW VEHICLES SHALL BE EQUIPPED WITH AN APPROVED REAR MOUNTED ATTENUATOR. TRUCK MOUNTED ATTENUATORS ARE NOT REQUIRED. SHADOW VEHICLES SHALL BE EQUIPPED WITH A FREIGHT SPEED LIMIT OF 35 MPH OR LESS ON NON-FREIGHT ROADWAYS HAVING A PRE-CONSTRUCTION POSTED SPEED LIMIT OF 35 MPH OR MORE. SHOULDER CLOSURES SHALL BE EQUIPPED WITH A MOBILE CLOSURE ON NON-FREIGHT ROADWAYS HAVING A PRE-CONSTRUCTION POSTED SPEED LIMIT OF 45 MPH OR MORE.

3. FOR MOBILE LANE CLOSURES ON NON-FREIGHT ROADWAYS HAVING A PRE-CONSTRUCTION POSTED SPEED LIMIT OF 30 MPH OR LESS AND MOBILE SHOULDER CLOSURES ON NON-FREIGHT ROADWAYS HAVING A PRE-CONSTRUCTION POSTED SPEED LIMIT OF 45 MPH OR LESS, SHADOW VEHICLES ARE NOT REQUIRED TO BE EQUIPPED WITH A REAR MOUNTED ATTENUATOR.

4. A SHADOW VEHICLE IS USED TO PROTECT EXPOSED WORKERS (ON FOOT OR IN A VEHICLE) AND SHALL BE REQUIRED FOR MOBILE CLOSURES. THE SHADOW VEHICLE SHALL INCLUDE THE EQUIPMENT PROVIDED IN THE STATIONARY VEHICLE FOR EACH CLOSED LANE AND EACH CLOSED PAVED SURFACE. IN ADDITION, ADDITIONAL SHADOW VEHICLES MAY BE REQUIRED TO PROMOTE THE SAFE OPERATION OF TRAFFIC AND THE INCREASED PROTECTION OF EXPOSED WORKERS, AS DIRECTED BY THE REGIONAL DIRECTOR OR HISHER DESIGNEE.

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NOTES:

1. STRIP TOPSOIL AND STOCKPILE IN LOCATION SHOWN ON PLANS.
2. INSTALL FILTER FABRIC AND PLACE 6-INCHES OF GRAVEL.

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GENERAL LANDSCAPE PLANTING NOTES

1. NAMES OF PLANTS AS DESCRIBED ON THIS PLAN SHALL BE THOSE GIVEN IN "STANDARDIZED PLANT NAMES", 1942 EDITION, OR AS SPECIFIED ON THE PLANT LIST OR SPECIFICATION. NAMES OF PLANT VARIETIES NOT INCLUDED THEREIN CONFORM TO NAMES GENERALLY ACCEPTED IN NURSERY TRADE.
2. ALL EXPOSED GROUND SURFACES THAT ARE NOT PAVED WITHIN THE CONTRACT LIMIT LINE, AND THAT ARE NOT COVERED BY LANDSCAPE PLANTING OR SEEDING AS SPECIFIED, SHALL BE COVERED BY A NATURAL MULCH THAT WILL PREVENT SOIL EROSION AND THE EMANATION OF DUST.
3. NO PLANT SHALL BE PUT INTO THE GROUND BEFORE ROUGH GRADING HAS BEEN COMPLETED AND APPROVED BY THE PROJECT LANDSCAPE ARCHITECT OR PROJECT ENGINEER.
4. STANDARDS FOR TYPE, SPREAD, HEIGHT, ROOT BALL AND QUALITY OF NEW PLANT MATERIAL SHALL BE IN ACCORDANCE WITH GUIDELINES AS SET FORTH IN THE "AMERICAN STANDARD FOR NURSERY STOCK", PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERY RETAILERS. PLANTS SHALL HAVE NORMAL HABIT OF GROWTH AND BE HEALTHY, VIGOROUS, AND FREE FROM DISEASES AND INSECT INFESTATION.
5. NEW PLANT MATERIAL SHALL BE NURSERY GROWN UNLESS SPECIFIED OTHERWISE. ALL PLANTS SHALL BE PLUMBE AND SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANT'S ORIGINAL GRADE BEFORE DIGGING. PLANT MATERIAL OF THE SAME SPECIES AND SPECIFIED AS THE SAME SIZE SHOULD BE SIMILAR IN SHAPE, COLOR AND HABIT. THE LANDSCAPE ARCHITECT HAS THE RIGHT TO APPROVE OR REJECT PLANT MATERIAL.
6. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UNDERGROUND UTILITY AND SEWER LINES PRIOR TO THE START OF EXCAVATION ACTIVITIES. NOTIFY THE PROJECT ENGINEER AND OWNER IMMEDIATELY OF ANY CONFLICTS WITH PROPOSED PLANTING LOCATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE.
7. THE CONTRACTOR SHALL NOT MAKE SUBSTITUTIONS. IF THE SPECIFIED LANDSCAPE MATERIAL IS NOT OBTAINABLE, THE CONTRACTOR SHALL SUBMIT PROOF OF NON-AVAILABILITY TO THE LANDSCAPE ARCHITECT AND OWNER, TOGETHER WITH A WRITTEN PROPOSAL FOR USE OF AN EQUIVALENT MATERIAL.
8. LANDSCAPE CONTRACTOR TO TAKE OUT PLANTING LOCATIONS, FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT AND/OR OWNER FOR PLANTING WORK BEGINS. THE LANDSCAPE ARCHITECT AND/OR OWNER SHALL DIRECT THE CONTRACTOR IN THE FINAL PLACEMENT OF ALL PLANT MATERIAL AND LOCATION OF PLANTING BEDS TO ENSURE COMPLIANCE WITH DESIGN INTENT UNLESS OTHERWISE INSTRUCTED.
9. THE LANDSCAPE ARCHITECT MAY REVIEW PLANT MATERIAL AT THE SITE BEFORE PLANTING, FOR COMPLIANCE WITH REQUIREMENTS FOR GENUS, SPECIES, VARIETY, SIZE, AND QUALITY. THE LANDSCAPE ARCHITECT RETAINS THE RIGHT TO FURTHER REVIEW PLANT MATERIAL AT THE SITE, AND MAY REJECT PLANT MATERIAL IF IT IS DETERIORATED, UNACCEPTABLE, OR DEFECTIVE. THE LANDSCAPE ARCHITECT MAY REMOVE REJECTED PLANT MATERIAL IMMEDIATELY FROM PROJECT SITE AS DIRECTED BY THE LANDSCAPE ARCHITECT OR OWNER.
10. DELIVERY, STORAGE, AND HANDLING
 - A. PACKAGED MATERIALS: PACKAGED MATERIALS SHALL BE DELIVERED IN CONTAINERS SHOWING WEIGHT, ANALYSIS, AND NAME OF LAMP. CONTAINERS SHALL BE PROTECTED FROM DETERIORATION DURING DELIVERY, AND WHILE STORED AT SITE.
 - B. TREES AND SHRUBS: THE CONTRACTOR SHALL PROVIDE TREES AND SHRUBS DUG FOR THE GROWING SEASON FOR WHICH THEY WILL BE PLANTED. DO NOT PLANT PRIOR TO DELIVERY UNLESS OTHERWISE DIRECTED BY THE LANDSCAPE ARCHITECT. DO NOT BEND, BEND, OR BEND TREES AND SHRUBS. DO NOT BEND, BEND, OR BEND TREES AND SHRUBS. PROVIDE PROTECTIVE COVERING DURING TRANSIT, DO NOT DROP BALLED AND BURLED STOCK DURING DELIVERY OR HANDLING.
 - C. ALL PLANTS SHALL BE BALLED AND BURLED OR CONTAINED GROWN AS SPECIFIED. NO CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND. ALL ROOTBALL WRAPPING AND BINDING MATERIAL MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED FROM THE ROOTBALL. ALL BOUNDARY MATERIAL SHALL BE REMOVED FROM THE ROOTBALL. A 12" DIAMETER HOLE IN THE CENTER OF THE ROOTBALL, THE WIRE BASKET SHALL BE CUT AND FOLDED DOWN 8" INCHES INTO THE PLANTING HOLE WITH CONTAINER GROWN STOCK, THE CONTAINER SHALL BE REMOVED AND THE ROOTBALL SHALL BE CUT THROUGH THE SURFACE IN TWO LOCATIONS. THE PLANTING HOLE SHALL BE TILLED AFTER PLANTING. PLANTING HOLE SHALL BE COMPLETED AND PLANTED IMMEDIATELY. IF PLANTING IS DELAYED MORE THAN 24 HOURS AFTER DELIVERY, THE CONTRACTOR SHALL SET TREES AND SHRUBS IN SHADE, PROTECT FROM WEATHER AND MECHANICAL DAMAGE AND KEEP ROOTS MOIST BY COVERING WITH MULCH, BURLAP, OR OTHER ACCEPTABLE MEANS OF RETAINING MOISTURE.
 - D. ALL LANDSCAPED AREAS TO BE CLEARED OF ROCKS, STUMPS, TRASH AND OTHER UNSIGHTLY DEBRIS. ALL FINE GRADED AREAS SHOULD BE HAKED SMOOTH ELIMINATING ANY CLUMPS AND AND UNLEVEL SURFACES PRIOR TO PLANTING OR MULCHING.
 - E. ALL PLANT MATERIAL SHALL BE PLANTED AS PER DETAILS, NOTES AND CONTRACT SPECIFICATIONS. THE LANDSCAPE ARCHITECT MAY REVIEW PLANT MATERIAL AND MAINTENANCE PROCEDURES.
 - F. PLANT ACCEPTANCE: PLANT MATERIAL WHICH IS NOT ACTIVE AND IN NUGGETY GROWING CONDITION FOR A PERIOD OF TWO YEARS FOLLOWING PLANTING BY THE OWNER, PLANT MATERIAL FOUND TO BE UNHEALTHY, DYING OR DEAD DURING THIS PERIOD, SHALL BE REMOVED AND REPLACED IN KIND BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
 - G. THE CONTRACTOR SHALL KEEP AREA CLEAN DURING DELIVERY AND INSTALLATION OF PLANT MATERIALS. REMOVE AND DISPOSE OF OFF-SITE ANY ACCUMULATED DEBRIS OR UNUSED MATERIALS. REPAIR DAMAGE TO ADJACENT AREAS CAUSED BY LANDSCAPE INSTALLATION OPERATIONS.
 - H. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL THEN BE WATERED WEEKLY OR AS REQUIRED BY SITE AND WEATHER CONDITIONS TO MAINTAIN VIGOROUS AND HEALTHY PLANT GROWTH.
 - I. THE BACKFILL MIXTURE AND SOIL MIXES TO BE INSTALLED FOR THE SPECIFICATIONS.
 - J. AFTER PLANT IS PLACED IN TIE PIT LOCATION, ALL TWINE HOLDING ROOT BALL TOGETHER SHOULD BE COMPLETELY REMOVED AND THE BURLAP SHOULD BE PULLED DOWN SO 1/3 OF THE ROOT BALL IS EXPOSED. SYNTHETIC BURLAP SHOULD BE COMPLETELY REMOVED AFTER INSTALLATION.
 - K. MULCH SHOULD NOT BE PILED UP AROUND THE TRUNK OF ANY PLANT MATERIAL. NO MULCH OR TOPSOIL SHOULD BE TOUCHING THE BASE OF THE TRUNK ABOVE THE ROOT COLLAR.
 - L. A FENCE INSTALLATION SHALL BE COMPLETED PRIOR TO COMMENCEMENT OF ANY LANDSCAPE PLANTING, LAWN AND GRASSES, OR IRRIGATION WORK.
 - M. FOR ANY DISCREPANCIES BETWEEN THE PLANT SCHEDULE AND PLANTING PLAN THE GRAPHIC QUANTITY SHOWN SHALL GOVERN.
 - N. PLANT MATERIALS SHALL NOT BE PLANTED UNTIL THE FINISHED GRADING HAS BEEN COMPLETED.
 - O. ALL PLANT INSTALLATIONS SHALL BE COMPLETED EITHER BETWEEN APRIL 1 – JUNE 15 OR SEPTEMBER 1 – OCTOBER 15, UNLESS OTHERWISE DIRECTED BY THE PROJECT LANDSCAPE ARCHITECT. SEE LAWN SEEDING DATES IN SEEDING NOTES.

LANDSCAPE MAINTENANCE NOTES

1. MAINTENANCE OPERATIONS BEFORE APPROVAL
 - A. PLANT CARE SHALL BEGIN IMMEDIATELY AFTER EACH PLANT IS SATISFACTORILY INSTALLED AND SHALL CONTINUE THROUGHOUT THE LIFE OF THE CONTRACT UNTIL FINAL ACCEPTANCE OF THE PROJECT.
 - B. CARE SHALL INCLUDE, BUT NOT BE LIMITED TO, PLACING MULCH THAT HAS BEEN DISPLACED BY EROSION OR OTHER MEANS, REPAIRING AND RELOCATING PLANT SUPPORTS, STAKES AND GUYS AS ORIGINALLY INSTALLED, WATERING WHEN NEEDED OR DIRECTED, AND PERFORMING ANY OTHER WORK REQUIRED TO KEEP THE PLANTS IN A HEALTHY CONDITION.
 - C. CONTRACTOR SHALL REMOVE AND REPLACE ALL DEAD, DEFECTIVE AND/OR REJECTED PLANTS AS REQUIRED BEFORE FINAL ACCEPTANCE.
2. MAINTENANCE DURING CONSTRUCTION:
 - A. MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER PLANTING. PLANTS SHALL BE WATERED, MULCHED, WEEDED, PRUNED, FERTILIZED, CULTIVATED, AND OTHERWISE MAINTAINED AND PROTECTED UNTIL PROVISIONAL ACCEPTANCE. SETTLED PLANTS SHALL BE RESET TO PROPER GRADE AND POSITION, PLANTING SAUCER RESTORED AND DEAD MATERIAL REMOVED. STAKES AND WIRES SHALL BE TIGHTENED AND POSITION CORRECTIVE WORK SHALL BE CORRECTED AS SOON AS POSSIBLE AFTER IT BECOMES APPARENT. PLANT AND SEEDING SEASON PERIODS.
 - B. IF A SUBSTANTIAL NUMBER OF PLANTS ARE SICKLY OR DEAD AT THE TIME OF INSPECTION, ACCEPTANCE SHALL NOT BE GRANTED AND THE CONTRACTOR'S RESPONSIBILITY FOR MAINTENANCE OF ALL PLANTS SHALL BE EXTENDED FROM THE TIME REPLACEMENTS ARE MADE OR EXISTING PLANTS ARE DEEMED ACCEPTABLE BY THE LANDSCAPE ARCHITECT.
 - C. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE SPECIFIED ON THE PLANT LIST OR THAT WHICH WAS TO COEXIST WITH THE PLANT. THEY SHALL BE FURNISHED AND PLANTED AS SPECIFIED. THE COST SHALL BE BORNE BY THE CONTRACTOR. RELOCATED PLANTS SHALL BE REMOVED AND DAMAGE DUE TO OCCUPANCY OF THE PROJECT IN ANY PART, VANDALISM, PHYSICAL DAMAGE BY ANIMALS, VEHICLES, ETC. AND LOSSES DUE TO CURTAILMENT OF WATER BY LOCAL AUTHORITIES SHALL BE APPROVED AND PAID FOR BY THE OWNER.
 - D. PLANTS SHALL BE GUARANTEED FOR A PERIOD OF TWO YEARS AFTER INSPECTION AND PROVISIONAL ACCEPTANCE.
 - E. AT THE END OF THE ESTABLISHMENT PERIOD, INSPECTION SHALL BE MADE AGAIN. ANY PLANT REQUIRED UNDER THIS CONTRACT THAT IS DEAD OR UNSATISFACTORY TO THE LANDSCAPE ARCHITECT OR OWNER SHALL BE REMOVED FROM THE SITE AND REPLACED DURING THE NORMAL PLANTING SEASON.
3. LAWN MAINTENANCE:
 - A. BEGIN MAINTENANCE IMMEDIATELY AFTER EACH PORTION OF LAWN IS PLANTED AND CONTINUE FOR 8 WEEKS AFTER ALL LAWN PLANTING IS COMPLETED.
 - B. WATER TO KEEP SURFACE SOIL MOIST, REPAIR WASHED OUT AREAS BY FILLING WITH TOPSOIL, LIMING, FERTILIZING AND RE-SEEDING; MOW TO 2 1/2 – 3 INCHES AFTER GRASS REACHES 3 1/2 INCHES IN HEIGHT, AND MOW FREQUENTLY ENOUGH TO KEEP GRASS FROM EXCEEDING 3 1/2 INCHES. WEED BY LOCAL SPOT APPLICATION ONLY AFTER GRASS IS WELL-ESTABLISHED.
 - C. REMOVE WEEDS FROM THE LAWN AREAS, ONCE GRASS IS WELL ESTABLISHED. IF WEEDS ARE STILL PRESENT, REFER TO SUPPLIER RECOMMENDATIONS FOR PREFERRED TREATMENT METHOD.

PLANTING SOIL SPECIFICATIONS

1. PLANTING SOIL ALTERNATELY MAY BE REFERRED TO AS TOPSOIL. SHOULD BE FRIABLE, FERTILE, WELL DRAINED, FREE OF DEBRIS, TOADS, TRASH AND STONES OVER 1/2" DIA., IT SHOULD HAVE A HIGH ORGANIC CONTENT SUITABLE TO SUSTAIN HEALTHY PLANT GROWTH AND SHOULD LOOK AESTHETICALLY PLEASING HAVING NO NOXIOUS ODORS.
2. PLANTING SOIL:
 - A. REUSE SURFACE SOILS STOCKPILED ON SITE, VERIFYING COMPLIANCE WITH PLANTING SOIL AND TOPSOIL CRITERIA IN THIS SPECIFICATION THROUGH TESTING. CLEAN SURFACE SOIL OF ALL ROOTS, PLANTS, SOD, AND GRAVEL OVER 1" IN DIAMETER AND DELETERIOUS MATERIALS. IF ON-SITE SOILS ARE TO BE USED FOR PROPOSED PLANTING, THE CONTRACTOR SHALL TEST THE SOILS FOR PROPOSED PLANTING, THAT ON-SITE SOILS MEET THE SAME CRITERIA AS INDICATED IN NOTES PLANS AND SPECIFICATIONS.
 - B. SUPPLEMENT WITH IMPORTED OR MANUFACTURED TOPSOIL FROM OFF SITE SOURCES WHEN TOPSOIL AND PLANTING SOIL QUANTITIES ARE INSUFFICIENT; OBTAIN SOIL DISPLACED FROM NATURALLY WELL-DRAINED SITES WHERE CONTAMINATED SITES ARE PRESENT.
 - C. CONTRACTOR SHALL TEST SOILS AND FURNISH SAMPLES UPON REQUEST. PACKAGED MATERIALS SHALL BE UNOPENED BAGS OR CONTAINERS, EACH BEARING A NAME, GUARANTEE, AND TRADEMARK OF THE PRODUCER, MATERIAL COMPOSITION, MANUFACTURER'S CERTIFIED ANALYSIS, AND THE WEIGHT OF THE MATERIAL. SOIL OR AMENDMENT MATERIALS SHALL BE STORED IN SITE TEMPORARILY IN STOCKPILES PRIOR TO PLACEMENT AND SHALL BE COVERED WITH A TARPULIN UNTIL TIME OF ACTUAL USE.
3. ALL PLANTING SOILS SHALL BE SUBMITTED FOR TESTING TO THE STATE COOPERATIVE EXTENSION SERVICE, OR APPROVAL EQUAL PRIOR TO DELIVERY TO THE SITE. CONTRACTOR SHALL FURNISH SOIL SAMPLES AND SOIL TEST REQUEST FORM TO THE LANDSCAPE ARCHITECT. THE LANDSCAPE ARCHITECT MAY REQUEST ADDITIONAL TESTS AS CONSISTENT ACROSS THE SITE. TOTAL VOLUME OF PLANTING SOIL REQUIRED TEST RESULTS SHALL EVALUATE FOR ALL CRITERIA LISTED IN THIS SPECIFICATION. IF TESTING ACTIVITY DETERMINES THAT THE SOILS ARE DEFICIENT IN ANY CRITERIA, THE CONTRACTOR SHALL ADD AMENDMENTS BY ADDING AMENDMENTS, THE CONTRACTOR SHALL FOLLOW STATED RECOMMENDATIONS FOR SOIL IMPROVEMENT AND FURNISH SUBMITTALS FOR ALL AMENDMENTS PRIOR TO DELIVERY OF SOIL TO THE PROJECT SITE.
4. A. THE FOLLOWING TESTING SHOULD BE PERFORMED AND RESULTS GIVEN TO THE LANDSCAPE ARCHITECT FOR APPROVAL BEFORE PLANTING:
 - A.1. SOIL TEST: TO DETERMINE THE FOLLOWING: LOAMY SAND, 60-75% SAND, 25-40% SILT, AND 5-15% CLAY.
 - A.2. FERTILITY ANALYSIS: pH (5.5-6.5), SOLUBLE SALTS (LESS THAN 2 MMHO/CM), NITRATE, PHOSPHATE, POTASSIUM, CALCIUM AND MAGNESIUM.
 - A.3. ORGANIC MATTER: 100% OF THE SOIL SHOULD BE 2.5-5% IN NATIVE SOILS; UP TO 10% IN AMENDED SOILS
 - A.4. TOXIC SUBSTANCE ANALYSIS
 - A.5. MATERIAL DRAINAGE RATE: 50% PASSING IN 2 MINUTES, 40% RETAINED
 - A.6. LEAF LITTER: COMPOSTED FOR A MINIMUM OF 1 YR. SHOULD BE FREE OF DEBRIS, STONES OVER 1/2", WOOD CHIPS OVER 1".
5. SOIL AMENDMENT FOR PLANTING SOIL
 - A. IF SOIL ORGANIC CONTENT IS INADEQUATE, THE SOIL SHALL BE AMENDED WITH COMPOST OR ACCEPTABLE, WEED FREE, ORGANIC MATTER. ORGANIC AMENDMENT SHALL BE WELL COMPOSTED, PH RANGE OF 6-8; MOISTURE CONTENT 35-55% BY WEIGHT 100% PASSING THROUGH 1" SIEVE; SOLUBLE SALT CONTENT LESS THAN 0.5 MM MO/CM; MILLIMOSMO/CM; ENVIRONMENTAL CRITERIA FOR CLEAN FILL.
 - B. A. ORGANIC MATTER: AS A SOIL AMENDMENT: LEAF LITTER WITH 60-90% ORGANIC CONTENT BY WEIGHT, SHREDDED LEAF LITTER, COMPOSTED FOR A MINIMUM OF 1 YR. SHOULD BE FREE OF DEBRIS, STONES AND TRASH.
 - C. AMENDMENTS FOR BACK FILL IN TREE AND SHRUB PITS:
 - a. GROUND LIMESTONE (WITH A MIN. OF 85% OF CALCIUM AND MAGNESIUM CARBONATES) USED PENDING RESULTS OF SOIL ANALYSIS
 - b. BRING pH LEVELS TO 5.5-6.5. TO 4.5 MIN. TO 5.5 FOR ERICACEOUS PLANTS
 - c. BERMUDA SORGHUM: PLANT HEALTH CARE 800-421-9051 (SEE MANUFACTURER RECOMMENDATIONS) USED IN PLANTING HOLE
 - d. MYCOR-ROOT SAVER BY "PLANT HEALTH CARE" 800-421-9051 (SEE MANUFACTURER RECOMMENDATIONS) USED IN BACKFILL MIXTURE WITH TREES.
 - D. WHERE PLANTING AREAS ARE PROPOSED FOR FORMER PAVED OR GRAVEL AREAS, BEDS SHALL BE EXCAVATED TO A MINIMUM 30" DEPTH AND AT A MINIMUM, BE BACKFILLED WITH BOTTOM LAYER OF SANDY LOAM (ORGANIC CONTENT LESS THAN 25%) OVER WHICH TOPSOIL AND PLANTING SOILS WILL BE PLACED AT DEPTHS INDICATED IN PLANT DETAILS AND NOTES.
 - E. INFILTRATION/ DETENTION BASIN SOIL MIX
 - a. SPECIFIED SOIL MIX IS TO BE USED IN ALL DETENTION AND INFILTRATION BASINS.
 - b. TOPSOIL/HORTICULTURAL SOIL MIX: REFER TO SPECIFICATIONS LISTED IN SECTION ABOVE
 - F. FINAL BIORTENTION MIX
 - 1) CHEMICAL ANALYSIS
 - 2) pH: 5.5-6.5
 - 3) SOLUBLE SALTS: LESS THAN 2 MMHO/CM
 - G. 3. CONTRACTOR TO SUBMIT TOXIC SUBSTANCE ANALYSIS AND MATERIAL DRAINAGE RATE IN ADDITION TO INFORMATION LISTED ABOVE. DRAINAGE RATE OF MATERIAL TO BE 20 INCHES/HOUR(+/- 1 INCH/HOUR).
 - H. CLEAN SOIL FILL IN LANDSCAPE AREAS:
 - A. LANDSCAPE FILL MATERIAL BELOW PLANTING SOILS SHALL HAVE THE PHYSICAL PROPERTIES OF A SANDY LOAM WITH AN ORGANIC CONTENT OF LESS THAN 2% AND A pH BETWEEN 5 - 7.
 - B. SOIL PLACEMENT:
 - A. CONTRACTOR TO PROVIDE SIX INCHES (6") MINIMUM DEPTH PLANTING SOIL LAYER IN LAWN AREAS, TWELVE INCHES (12") MINIMUM DEPTH PLANTING SOIL LAYER IN GROUNDCOVER AND PERENNIAL AREAS, EIGHTEEN INCHES (18") MINIMUM DEPTH PLANTING SOIL LAYER IN SHRUB AREAS, AND THIRTY-SIX INCHES (36") MINIMUM DEPTH PLANTING SOIL LAYER IN TREE PLANTING AREAS.
 - B. SCARIFY AND/OR TILL COMPACTED SUBSOILS TO A MINIMUM DEPTH OF 6 INCHES. THOROUGHLY A 6 INCH DEPTH LAYER OF PLANTING SOIL INTO THE SUBSOIL PRIOR TO PLACING PLANTING SOIL AT THE DEPTHS INDICATED ABOVE. PLANTING SOIL SHALL BE PLACED IN 12"-18" LOTS AND WATER THOROUGHLY BEFORE PLANTING. PLANTING SOILS AND FINISH GRADES HAVE BEEN ACHIEVED. NO SOILS SHALL BE PLACED IN A FROZEN OR MUDDY CONDITION.
 - C. PLANTING SOIL PRESENT AT THE SITE, IF ANY, MAY BE USED TO SUPPLEMENT TOTAL AMOUNT REQUIRED. CONTRACTOR TO ANALYSIS OF PLANTING SOIL UTILIZED IN ALL PLANTING AREAS.
 - C. SOIL CONDITIONING
 - A. MAINTAIN AND/OR NUTRIENT LEVELS AS REQUIRED TO ENSURE AN ACCEPTABLE GROWING MEDIUM. LOWER pH USING ELEMENTAL SULFUR ONLY. PEAT MOSS OR COPPER SULFATE MAY NOT BE USED. GROUND LIMESTONE AS A SOIL AMENDMENT MATERIAL WILL ONLY BE USED PENDING RESULTS OF SOIL ANALYSIS. PROVIDE WITH MINIMUM 85% CALCIUM AND MAGNESIUM CARBONATES AND SHALL HAVE TOTAL 100% PASSING THE 10 MM SIZE; MINIMUM 60% PASSING 20 MESH SIZE, AND MINIMUM 60% PASSING 10 MESH SIZE.
 - B. ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF AT THE CONTRACTOR'S EXPENSE.
 - C. SOIL MODIFICATIONS (PENDING RESULTS OF SOIL ANALYSIS)
 - a. THOROUGHLY TILL ORGANIC MATTER LEAF COMPOST INTO THE TOP 6 TO 12 IN. OF MOST PLANTING SOILS TO 100% DECOMPOSITION. ADDITIONAL NUTRIENTS AND NUTRIENTS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID MATERIAL WITH A pH HIGHER THAN 7.0. PEAT MOSS MAY NOT BE USED AS ORGANIC MATTER AMENDMENT.
 - b. MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR GYPSUM. COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 60% BY VOLUME. TOTAL AMENDMENT SHOULD BE 10% IN HEAVY SOILS BY PLANTING ON RAISED MOUNDS OR BEDS AND INCLUDING SUBSURFACE DRAINAGE LINES.
 - c. MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.
 - I. SOIL PLACEMENT
 - A. CONTRACTOR TO PROVIDE SIX INCHES (6") MINIMUM DEPTH PLANTING SOIL LAYER IN LAWN AREAS, TWELVE INCHES (12") MINIMUM DEPTH PLANTING SOIL LAYER IN GROUNDCOVER AND PERENNIAL AREAS, EIGHTEEN INCHES (18") MINIMUM DEPTH PLANTING SOIL LAYER IN SHRUB AREAS, AND THIRTY-SIX INCHES (36") MINIMUM DEPTH PLANTING SOIL LAYER IN TREE PLANTING AREAS.
 - B. SCARIFY AND/OR TILL COMPACTED SUBSOILS TO A MINIMUM DEPTH OF 6 INCHES. THOROUGHLY A 6 INCH DEPTH LAYER OF PLANTING SOIL INTO THE SUBSOIL PRIOR TO PLACING PLANTING SOIL AT THE DEPTHS INDICATED ABOVE. PLANTING SOIL SHALL BE PLACED IN 12"-18" LOTS AND WATER THOROUGHLY BEFORE PLANTING. PLANTING SOILS AND FINISH GRADES HAVE BEEN ACHIEVED. NO SOILS SHALL BE PLACED IN A FROZEN OR MUDDY CONDITION.
 - C. PLANTING SOIL PRESENT AT THE SITE, IF ANY, MAY BE USED TO SUPPLEMENT TOTAL AMOUNT REQUIRED. CONTRACTOR TO ANALYSIS OF PLANTING SOIL UTILIZED IN ALL PLANTING AREAS.

MEADOW SEEDING NOTES

1. SITE VEGETATION ALTERNATELY MAY BE REFERRED TO AS MEADOWS. MEADOWS SHALL BE REMOVED, MEADOW SEED MIX 'A' (SPECIFIED BELOW) WILL BE USED TO STABILIZE THE DISTURBED AREA WITHIN THE LIMITS OF DISTURBANCE.
2. MEADOW MIX_A
 - 1. ERNST SEED MIX ERNMX-186 "ERNST SOLAR FARM SEED MIX"
 - 2. 45.40% FESTUCA RUBRA CREEPING RED FESCUE
 - 3. 15.00% FESTUCA LONGIFOLIA HARD FESCUE, 'SWORD' II
 - 4. 10.00% FESTUCA RUBRA SSP. COMMUTATA CHEWINGS FESCUE
 - 5. 5.00% POA PRATENSIS KENTUCKY BLUEGRASS, 'MAVERICK'
 - 6. 5.00% POA PRATENSIS KENTUCKY BLUEGRASS, 'NAVY'
 - 7. 4.50% TRIFOLIUM REPENS WHITE CLOVER, DUTCH
3. NOTES:
 - 1. PLANTED AT A RATE OF 260 LBS./ACRE OF 100% PURE LIVE SEED.
 - 2. FOR SPRING SEEDING, APPLY A NURSE CROP OF OATS AT A RATE OF 30 LBS./ACRE.
 - 3. FOR FALL SEEDING, APPLY A NURSE CROP OF WINTER RYE AT A RATE OF 30 LBS./ACRE.

MEADOW MIX_B

1. ERNST SEED MIX ERNMX-611 "NORTHEAST SOLAR POLLINATOR 4" MIX"
 - 1. 35.00% BOUTELOA CURTIPENDULA, BUTTE BUTTE SIDEOTS GRAMA, BUTTE
 - 2. 35.00% SCHIZACHYRUM SPUMANUM, BUTTE FORT INDIANTOWN GAP-PA ECOTYPE LITTLE BLUESTEM, FORT INDIANTOWN GAP-PA ECOTYPE
 - 3. 10.00% AGROSTIS PERENNANS ALBANY PINE BUSH-NY ECOTYPE AUTUMN BENTGRASS, ALBANY PINE BUSH-NY ECOTYPE
 - 4. 4.00% ASCLEPIAS TUBEROSA BUTTERFLY MILKWEED
 - 5. 4.00% CHAMAECARIA FASCICULATA PARTRIDGE PEA, PA ECOTYPE
 - 6. 4.00% COREOPSIS LANCEOLATA LANCELEAF COREOPSIS
 - 7. 4.00% RUBUSIDIA HIRTA BLACKEYED SUSAN
 - 8. 0.90% PYCNOANTHEMUM TENUIFOLIUM NARROWLEAF MOUNTAINMINT
 - 9. 0.80% PYRENOCARPA DISCOLOR TALL WHITE BEARDTONGUE
 - 10. 0.70% AGERATUM HUMILE, PA ECOTYPE ARROWLEAF AGERATUM, PA ECOTYPE
 - 11. 0.50% ASTER PREMNAEOPUS, PA ECOTYPE ZIGZAG ASTER, PA ECOTYPE
 - 12. 0.50% SISYRINCHIUM ANGUSTIFOLIUM NARROWLEAF BLUE EYED GRASS
 - 13. 0.50% ZIZIA AUREA GOLDEN ALEXANDERS
 - 14. 0.10% SOLIDAGO NEMORALIS, PA ECOTYPE GRAY GOLDENROD, PA ECOTYPE
2. NOTES:
 - 1. SEED AT A RATE OF 15 LBS./ACRE OF 100% PURE LIVE SEED.
 - 2. FOR SPRING SEEDING, APPLY A NURSE CROP OF OATS AT A RATE OF 30 LBS./ACRE.
 - 3. FOR FALL SEEDING, APPLY A NURSE CROP OF WINTER RYE AT A RATE OF 30 LBS./ACRE.

MEADOW SEED MIX_C

1. ERNST SEED MIX ERNMX-183 "NATIVE DETENTION AREA MIX"
 - 1. 32% PANICUM CLADINOSTEM, "TIGGA" DEERTONGUE, "TIGGA"
 - 2. 20% CAREX VULPINOIDEA FOX SEDGE
 - 3. 20% PANICUM VIRGATUM, "SHAWNEE" VIRGIN WILDRYE
 - 4% AGROSTIS PERENNANS, ALBANY PINE BUSH SWITCHGRASS, "SHAWNEE"
 - 2% JUNCUS TENUIS AUTUMN BENTGRASS, ALBANY PINE BUSH
 - 1% JUNCUS EFFUSUS PATH RUSH
 - 1% PANICUM RIGIDULUM REDTOP PANICGRASS
2. NOTES:
 - 1. SEED AT A RATE OF 20 LBS./ACRE OF 100% PURE LIVE SEED.
 - 2. FOR SPRING SEEDING, APPLY A NURSE CROP OF OATS AT A RATE OF 30 LBS./ACRE.
 - 3. FOR FALL SEEDING, APPLY A NURSE CROP OF WINTER RYE AT A RATE OF 30 LBS./ACRE.