

# MOUNT ZION ROAD

(50' WIDE R.O.W.)  
(ASPHALT ROADWAY)  
(TOWN ROAD)

| LEGEND                           |  |
|----------------------------------|--|
| EXISTING CONTOUR<br>(SEE NOTE 8) |  |
| LIDAR CONTOUR                    |  |
| STONE WALL                       |  |
| OVERHEAD WIRES                   |  |
| EDGE OF WOODS                    |  |
| METAL GUIDE RAIL                 |  |
| UTILITY POLE                     |  |
| GUY WIRE                         |  |
| TRAFFIC SIGN                     |  |
| WATER WELL                       |  |
| TEST PIT                         |  |
| EDGE OF PAVEMENT                 |  |
| EVIDENCE FOUND                   |  |

N.Y. East State Plane Coordinate System  
NAD 1983

| Parcel Line Table |              |        |
|-------------------|--------------|--------|
| Line #            | Direction    | Length |
| L1                | N89°42'22" W | 24.38  |
| L2                | N19°18'17" E | 25.85  |
| L3                | N02°04'19" E | 33.76  |
| L4                | N06°54'56" E | 52.27  |

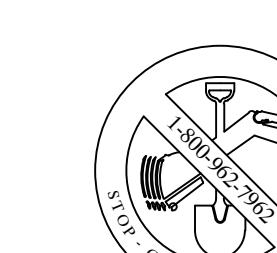
# HIDDEN ACRES DRIVE

(20' WIDE R.O.W. WIDENS TO 30' WIDE R.O.W.  
AS PER REFERENCE DEED)  
(GRAVEL ROADWAY)

## OWNER'S CERTIFICATION

THE UNDERSIGNED, OWNER OR OWNER'S AUTHORIZED  
REPRESENTATIVE OF THE PROPERTY SHOWN ON THIS PLAT,  
DOES HEREBY CERTIFY THAT HE/SHE HAS REVIEWED THIS PLAT,  
IS FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS NOTES  
AND HEREBY CONSENTS TO ALL SAID TERMS AND CONDITIONS AS  
STATED HEREON AND AGREES TO FILE THIS MAP WITH THE  
ULSTER COUNTY CLERK.

Signature \_\_\_\_\_ Date \_\_\_\_\_



THE STATE OF NEW YORK REQUIRES NOTIFICATION BY EXCAVATORS,  
DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S  
SURFACE ANYWHERE IN THE STATE.

## ZONING TABLE

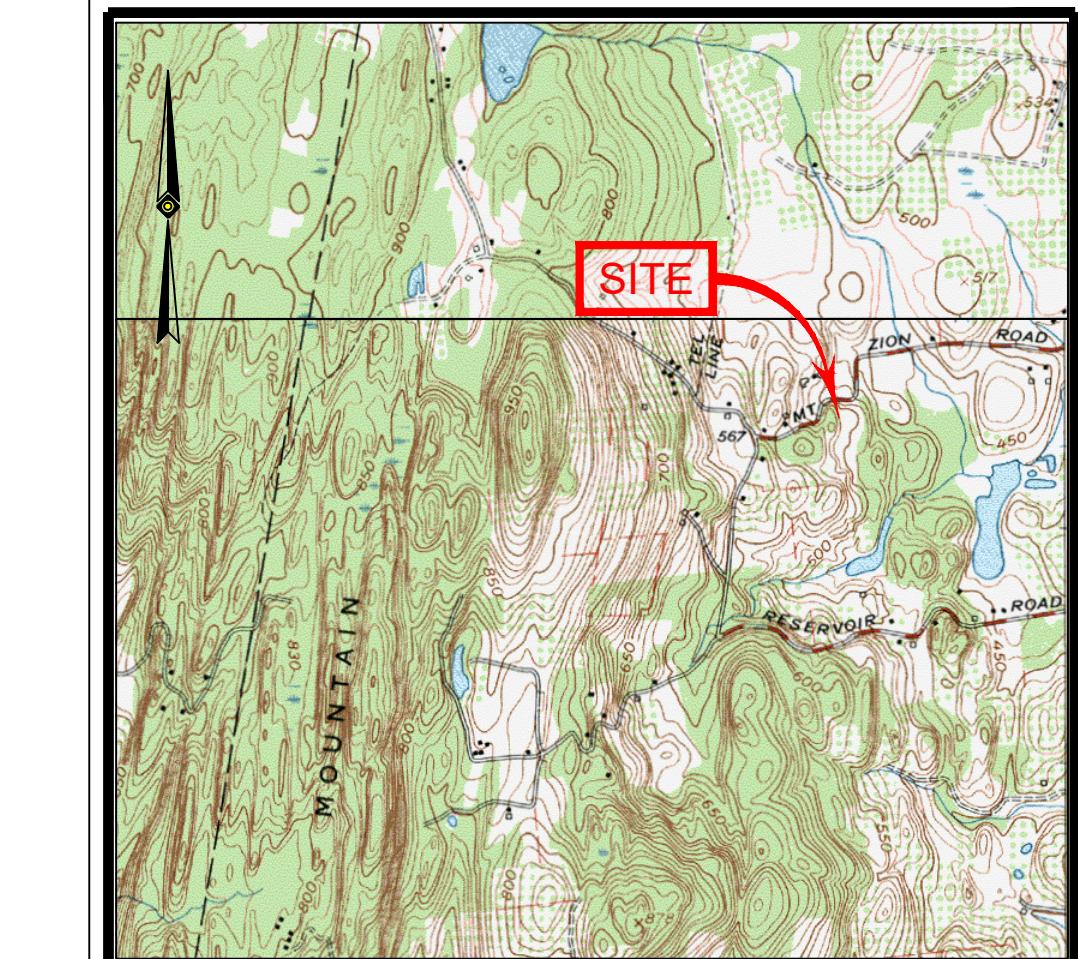
ZONING INFORMATION  
R-Ag-1 DISTRICT

SOURCE TOWN ZONING MAP

| ITEMS  | REQUIRED | LOT 1 | LOT 2 |
|--|----------|-------|-------|
| MIN LOT AREA   | 1 ACRE   | 1.115 | 1.324 |
| MIN LOT WIDTH  | 150'     | 200'± | 160'± |
| MIN LOT DEPTH (MEAN)   | 200'     | 260'± | 210'± |
| MIN AGRICULTURAL   | 75'      | 110'  | 305'± |
| MIN FRONT YARD   | 50'      | 83.7' | 75'   |
| MIN 1 SIDE YARD  | 35'      | 55'   | 38'   |
| MIN REAR YARD  | 80'      | 125'  | 80'   |
| MAX BUILDING HEIGHT  | 35'      | <35'  | <35'  |
| MAX BUILDING COVERAGE  | 20%      | 2.67% | 2.67% |
| PARCEL SUBJECT TO THE PROVISIONS OF THE TOWN OF MARLBOROUGH ZONING CODE 155-52 |          |       |       |

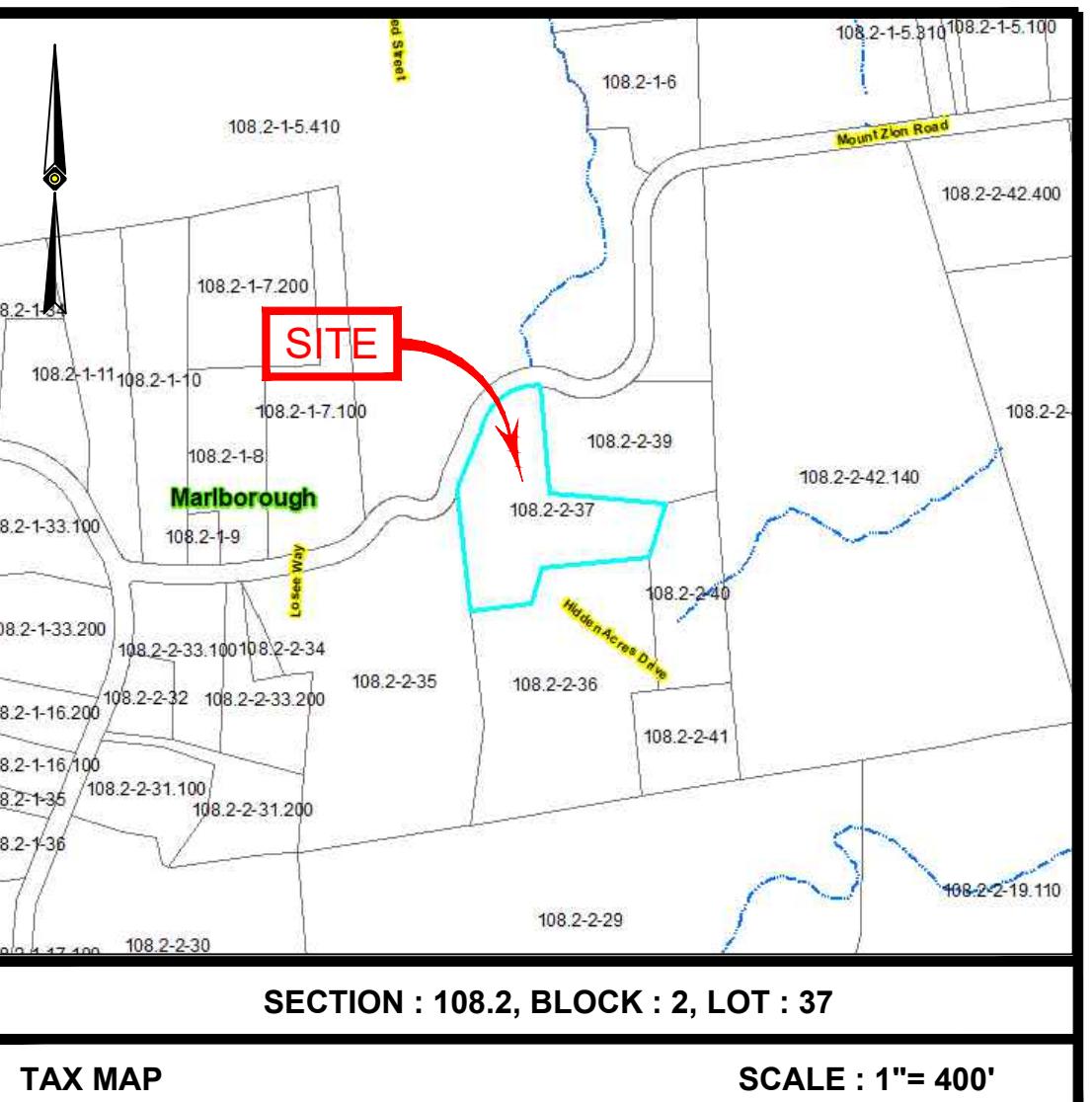
NOTE: ZONING CRITERIA IDENTIFIED HEREON ARE BASED UPON THE TOWN CODE DATED 09/13/1993 AS AVAILABLE ON ECODE360.COM

\* REQUIRES REAR YARD SETBACK VARIANCE.



LOCATION MAP SCALE : 1"= 2000'  
USGS QUADRANGLE: NEWBURGH

TOTAL AREA : 2.44 ACRES



SECTION : 108.2, BLOCK : 2, LOT : 37  
TAX MAP SCALE : 1"= 400'

## NOTES:

1) UNDERGROUND UTILITIES HAVE NOT BEEN SHOWN. BEFORE ANY SITE EVALUATION, PREPARATION OF DESIGN DOCUMENTS OR EXCAVATION IS TO BEGIN, THE LOCATION OF UNDERGROUND UTILITIES SHOULD BE VERIFIED BY THE PROPER UTILITY COMPANIES.

2) SUBSURFACE STRUCTURES NOT VISIBLE OR READILY APPARENT ARE NOT SHOWN AND THEIR LOCATION AND EXTENT ARE NOT CERTIFIED.

3) THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR BASEMENTS THAT MAY BE CONTAINED THEREIN. IT IS STRONGLY RECOMMENDED THAT A COMPLETE TITLE SEARCH BE PROVIDED TO THE SURVEYOR FOR REVIEW PRIOR TO THE PLACEMENT OF OR ALTERATION TO IMPROVEMENTS ON THE PROPERTY. SUBJECT TO WHATEVER STATE OF FACTS A COMPLETE SEARCH OF TITLE MAY REVEAL.

4) SUBJECT TO ALL RIGHTS OFWAYS, COVENANTS, EASEMENTS, RESTRICTIONS, CONDITIONS AND AGREEMENTS OF RECORD.

5) CERTIFICATIONS INDICATED HEREON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR PROFESSIONAL LAND SURVEYORS AS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS. SAID CERTIFICATIONS SHALL RUN ONLY TO THE PARTIES SO NOTED. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS, THEIR SUCCESSORS AND/OR ASSIGNS, OR SUBSEQUENT OWNERS.

6) MOUNT ZION ROAD BOUNDS COMPUTED 25' FROM EXISTING CENTERLINE.

7) THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.

8) EXISTING CONTOURS BASED ON FIELD SURVEY.  
LIDAR CONTOURS BASED ON NYSGIS 2014 LIDAR DATASET AND 2015 TOPOGRAPHIC 1 METER DEM.  
ELEVATION DATUM IS NAVD88 BASED ON RTK GPS OBSERVATIONS TAKEN AT THE TIME OF THE SURVEY.

9) TOGETHER WITH A RIGHT OF WAY 20' IN WIDTH WIDENING TO 30' IN WIDTH, FOR THE PURPOSE OF INGRESS AND EGRESS, AS DESCRIBED IN DEED LIBER 7072 PAGE 202.

10) LOT 1 AND LOT 2 TOGETHER WITH AND SUBJECT TO A DRIVEWAY MAINTENANCE AGREEMENT TO BE FILED WITH THE ULSTER COUNTY CLERK.

11) BEARINGS ARE WITH REFERENCE TO NAD 83 NEW YORK STATE PLANE COORDINATE SYSTEM, EAST ZONE, WITH A VARIANCE OF 09°35'19" FROM DEED LIBER 7072 PAGE 202.

## REFERENCE MAP:

MAP ENTITLED "MAP OF A SURVEY FOR DIORIO" DATED MAY 26, 2022, BY SPENCER S. HALL, L.S. #49138.

## REFERENCE DEED :

MICHELLE MEAD AS ADMINISTRATOR OF  
THE ESTATE OF RONALD MEAD A/K/A  
RONALD C. MEAD

- to -  
DIORIO REALTY, LLC  
DEED LIBER 7072 PAGE 202  
DATED 20 MAY, 2022  
FILED 27 MAY, 2022

RECORD OWNER :  
DIORIO REALTY, LLC  
62 HUDSON TERRACE  
MARLBOROUGH, NY 12542

## GRAPHIC SCALE



UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.

ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID COPYIES.

THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH EXISTING CODE OF PRACTICE FOR PROFESSIONAL LAND SURVEYORS AS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS.

PATRICIA PAULI BROOKS, LS  
NEW YORK PROFESSIONAL LAND SURVEYOR #49795

|                |                            |            |          |              |          |
|----------------|----------------------------|------------|----------|--------------|----------|
| 2              | REVISIONS PER ZBA COMMENTS | N/A        | G.P.     | P.P.B.       | 1-16-25  |
| 1              | ADD PROPOSED DRIVEWAYS     | N/A        | G.P.     | P.P.B.       | 1-16-25  |
| NO.            | DESCRIPTION OF REVISION    | FIELD CREW | DRAWN    | APPROVED     | DATE     |
| FIELD DATE     | 07-29-24                   |            |          |              |          |
| FIELD BOOK NO. | HV# 09                     |            |          |              |          |
| FIELD BOOK PG. | 157-158<br>63-64           |            |          |              |          |
| FIELD CREW     | B/N/IG                     |            |          |              |          |
| DRAWN:         | GIO<br>CLOSED<br>07-29-24  |            |          |              |          |
| REVIEWED:      | S.D.                       |            |          |              |          |
| APPROVED:      | P.P.B.                     | 08-12-2024 | 1" = 30' | 12-240304-00 | DWG. NO. |

SKETCH MAP OF SUBDIVISION OF LANDS OF  
DIORIO REALTY, LLC

SBL: 108.2-2-37 TOWN OF MARLBOROUGH  
COUNTY OF ULSTER, STATE OF NEW YORK

CONTROL POINT  
ASSOCIATES INC P.C.

WARREN, PENNSYLVANIA  
CHILOPS, PA 15522-9800  
MANHATTAN, NY 10036-3001  
SOUTHBROOK, MA 01984-3000  
ROCHESTER, NY 14625-1760  
PHILADELPHIA, PA 19105-2800  
FT. LEE, NEW JERSEY 07024-5700